



**CITY OF FRIENDSWOOD
PLANNING AND ZONING COMMISSION
THURSDAY, JANUARY 28, 2021 - 7:00 PM**

AGENDA

NOTICE IS HEREBY GIVEN OF A FRIENDSWOOD AMENDED AGENDA TO CORRECT DATES ON ITEM 6A FOR A PLANNING AND ZONING COMMISSION REGULAR MEETING TO BE HELD AT 910 S. FRIENDSWOOD DRIVE, FRIENDSWOOD, TEXAS, FRIENDSWOOD CITY HALL, COUNCIL CHAMBERS, REGARDING THE ITEMS OF BUSINESS ACCORDING TO THE AGENDA LISTED BELOW:

1. Call to order

2. Communication from the public/committee liaisons

(To comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects be placed on a later regular Commission agenda for discussion and/or possible action)

3. Consent Agenda

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner so requests in which case the item would be removed from the consent agenda and considered separately.

A. Minutes for the regular meeting held January 14, 2021

4. Action Items

According to the Planning and Zoning Rules of Procedure (R2019-15), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

A. Consideration and possible action regarding the site plan for GC Ortho to be located at 108 N. Friendswood Drive

B. Consideration and possible action regarding the site plan for Friendship Center to be located at 501 S. Friendswood Drive

5. Discussion Items

A. Discussion regarding updates to the Zoning Ordinance Section 7. P. Permitted Uses, specifically the annual review of the Permitted Use Table and to receive staff report regarding revised NAICS Codes

- B. Discussion regarding the summary of 2021 Action Items as a result of the Annual Retreat that was held December 3, 2020.

6. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

- A. Regular meeting Thursday, February 11
Regular meeting Thursday, February 25

7. Communications

- A. From Commissioners - suggestions for future agenda items, general comments and/or updates from liaison assignments
- B. From Planning Subcommittee – update on tasks
- C. From Ordinance Subcommittee – update on tasks
- D. From City Council Liaison, Robert Griffon - general comments and communication from City Council
- E. From Staff - Virtual training opportunity coming up April 14-16 - UT Land Use Conference; commercial and residential project updates, City Council action and ordinance updates

8. Adjournment



Aubrey Harbin, LEED AP
Director of Community Development/City Planning

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made **two (2)** business days or more prior to this meeting. Please contact the City Secretary's Office at (281) 996-3270 for further information.

**I, MELINDA WELSH, CITY SECRETARY OF THE CITY OF FRIENDSWOOD DO
HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE
FRIENDSWOOD PLANNING AND ZONING WAS POSTED IN A PLACE
CONVENIENT TO THE GENERAL PUBLIC IN COMPLIANCE WITH CHAPTER 551,
TEXAS GOVERNMENT CODE, ON**

DATE

AT TIME

MELINDA WELSH, TRMC
CITY SECRETARY

All meetings of the Planning & Zoning Commission are open to the public, except when there is a necessity to meet in an Executive Session (closed to the public) under the provisions of Section 551, Texas Government Code. The Planning & Zoning Commission reserves the right to convene into Executive Session to hear any of the above described agenda items that qualifies for an executive session by publicly announcing the applicable section number of the Open Meetings Act.



**CITY OF FRIENDSWOOD
PLANNING AND ZONING COMMISSION
THURSDAY, JANUARY 14, 2021 - 7:00 PM**

Minutes

**MINUTES OF A FRIENDSWOOD REGULAR MEETING HELD AT 910 S. FRIENDSWOOD
DRIVE, FRIENDSWOOD, TEXAS FRIENDSWOOD CITY HALL, COUNCIL CHAMBERS,**

STATE OF TEXAS
CITY OF FRIENDSWOOD
COUNTIES OF GALVESTON/HARRIS
JANUARY 14, 2021

1. Call to order

MINUTES OF A REGULAR MEETING OF THE FRIENDSWOOD PLANNING AND ZONING
COMMISSION THAT WAS HELD ON THURSDAY, JANUARY 14, 2021, AT 07:02 PM 910 S.
FRIENDSWOOD DRIVE, FRIENDSWOOD, TEXAS

CHAIRMAN JOE MATRANGA
VICE-CHAIRMAN RICHARD SASSON
COMMISSIONER TRAVIS MANN
COMMISSIONER TOM HINCKLEY
COMMISSIONER RICHARD CLARK - VIA VIDEO
COMMISSIONER LISA LUNDQUIST
COUNCIL LIAISON ROBERT GRIFFON
CITY ATTORNEY MARY KAY FISCHER
DIRECTOR OF CDD/PLANNER AUBREY HARBIN
DEVELOPMENT COORDINATOR BECKY BENNETT
COMMISSIONER MARCUS PERRY WAS ABSENT FROM THE MEETING.

2. Action Items

According to the Planning and Zoning Rules of Procedure (R2019-15), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

- A. Oath of Office: Aubrey Harbin, Notary Public, will administer the Oath of Office for one new Commissioner, Travis Mann

Harbin provided the Oath of Office for Commissioner Mann.

3. Communication from the public/committee liaisons

(To comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects be placed on a later regular Commission agenda for discussion and/or possible action)

None.

4. Public Hearing

- A. To receive comments both oral and written regarding:

Proposed amendments to Appendix C Zoning Ordinance to require less dense residential uses in higher dense residential districts to still meet the district regulations of the less dense district by amending "Section 7. B. (R-2 and R-3) MFR-L, residential, general purpose and description," "Section 7.C.(R-4) MFR-M, residential, general purpose and description," and "Section 7.D.(R-5) MFR-H, residential, general purpose and description;" and to amend "Section 7.P.6. Permitted Use Table" to allow less dense residential uses in higher dense residential districts by defining Residential Uses in the table

Bennett stated the Ordinance Subcommittee discussed allowing less dense residential uses in higher density zoning districts. She said an example would be to permit a single family home in a multi-family district as opposed to a duplex. Bennett explained the zoning ordinance was updated several years ago and removed residential uses from the Permitted Use Table (PUT) because they were explained in another section. She said by removing residential uses from the PUT, staff inadvertently removed the ability for single family in multi family districts.

- B. Proposed amendments to Appendix C Zoning Ordinance Section 7.Q.2. "Residential Regulation Matrix" to amend sub note F to allow lots in existence that are zoned Single Family Residential and are less than 90 feet wide to continue with the setbacks that were established when the lot was platted or created

Bennett said the Ordinance Subcommittee discussed amending the zoning ordinance to allow destroyed homes on lots less than 90-feet wide to build back with their previous setback. She explained older subdivisions such as Wedgewood Village and Forest Bend were annexed into the city with 5-foot side yards on lots much smaller than 90-feet wide. She further stated that when these homes are flooded or burn they must then build back with the current city setbacks which are designed for 90-feet lots and it creates a hardship. Bennett said the Zoning Board of Adjustment had heard four cases in five years for such scenarios which triggered staff to research changing the ordinance.

5. Consent Agenda

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner so requests in which case the item would be removed from the consent agenda and considered separately.

****Commissioner Lisa Lundquist moved to approve Consent Agenda. Seconded by Commissioner Tom Hinckley. The motion was approved unanimously.**

- A. Approval of the minutes of the special meeting held Thursday, December 3, 2020
- B. Approval of the minutes of the regular meeting held Thursday, December 10, 2020
- C. Friends Heights Final Plat

6. Consideration and Possible Actions

- A. Consideration and possible action regarding a recommendation for the proposed amendments to Appendix C Zoning Ordinance to require less dense residential uses in higher dense residential districts to still meet the district regulations of the less dense district by amending "Section 7. B. (R-2 and R-3) MFR-L, residential, general purpose and description," "Section 7.C.(R-4) MFR-M, residential, general purpose and description," and "Section 7.D.(R-5) MFR-H, residential, general purpose and description;" and to amend "Section 7.P.6. Permitted Use Table" to allow less dense residential uses in higher dense residential districts by defining Residential Uses in the table

**Commissioner Lisa Lundquist moved to approve Consideration and possible action regarding a recommendation for the proposed amendments to Appendix C Zoning Ordinance to require less dense residential uses in higher dense residential districts to still meet the district regulations of the less dense district by amending "Section 7. B. (R-2 and R-3) MFR-L, residential, general purpose and description," "Section 7.C.(R-4) MFR-M, residential, general purpose and description," and "Section 7.D.(R-5) MFR-H, residential, general purpose and description;" and to amend "Section 7.P.6. Permitted Use Table" to allow less dense residential uses in higher dense residential districts by defining Residential Uses in the table. Seconded by Vice-Chairman Richard Sasson. The motion was approved unanimously.

Bennett added to her previous comments that if a single family home is built in a multi-family district, the development must comply with the regulations of Single Family Residential (SFR) zoning. She explained that a new home would not be allowed to use the setbacks and lot coverage afforded to multi-family districts.

Lundquist thanked staff for looking out for the citizens and making proactive ordinance changes.

Matranga asked if single family would be allowed in medium or high density districts. Bennett said there was not any applicable land that such a need would arise.

- B. Consideration and possible action regarding a recommendation for the proposed amendments to Appendix C Zoning Ordinance Section 7.Q.2. "Residential Regulation Matrix" to amend sub note F to allow lots in existence that are zoned Single Family Residential and are less than 90 feet wide to continue with the setbacks that were established when the lot was platted or created

**Commissioner Tom Hinckley moved to approve Consideration and possible action regarding a recommendation for the proposed amendments to Appendix C Zoning Ordinance Section 7.Q.2. "Residential Regulation Matrix" to amend sub note F to allow lots in existence that are zoned Single Family Residential and are less than 90 feet wide to continue with the setbacks that were established when the lot was platted or created . Seconded by Commissioner Lisa Lundquist. The motion was approved unanimously.

Hinckley said he is the Zoning Board of Adjustment (ZBOA) liaison and has heard cases where the homeowner just wants to rebuild their home the way it was before a disaster.

Lundquist said these are exactly the type of situations that warrant an ordinance change.

Clark said these cases are time consuming and take more effort for homeowners and the ZBOA. Matranga asked how many of the cases ZBOA approved to which Bennett answered all of them.

7. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

- A. Regular Meeting - Thursday, January 28, 2021
Regular Meeting - Thursday, February 11, 2021

8. Communications

- A. From Commissioners - suggestions for future agenda items, general comments and/or updates from liaison assignments

Sasson said he attended two meetings for Galveston County Consolidated Drainage District where they approved several upcoming projects. He said GCCDD also adopted new design requirements such as Atlas 14. Sasson said he attended the City Council meeting where ZBOA Chairman Phil Ratisseau delivered the annual report. Sasson also mentioned the city revenue bonds sold low and the city also completed the purchase of the Food Lion building.

Matranga said he is working on the retreat action items and then will distribute for the next meeting. He welcomed new commissioner, Travis Mann.

- B. From Planning Subcommittee – update on tasks
- C. From Ordinance Subcommittee – update on tasks
- D. From City Council Liaison, Robert Griffon - general comments and communication from City Council

Councilman Griffon said GCCDD and the city have both updated their drainage requirements recently. He spoke about the revenue bonds and the projects it would cover.

E. From Staff - December DRC Report, commercial and residential project updates, City Council action and ordinance updates

Harbin said she presented a brief update to City Council regarding the Comprehensive Plan at their last meeting. She said Taylor Morrison had completed the license agreement with the City for the construction of Friendswood Lakes Boulevard.

Bennett said the Ordinance Subcommittee would start meeting regularly again to work on their "to do" list.

9. Adjournment

This meeting was adjourned at 07:32 PM.



FRIENDSWOOD PLANNING & ZONING COMMISSION

AGENDA ITEM FORM

Meeting Date: January 28, 2021

Subject: Consideration and possible action regarding the site plan for GC Ortho to be located at 108 N. Friendswood Drive

Action: Significant

SUMMARY / ORIGINATING CAUSE

This site plan is for a free-standing building that will be occupied by an orthodontic office. The lot is a non-conforming in minimum lot area, but can still be developed provided that all of the required zoning regulations are met such as setbacks, landscaping, etc.

The owner is requesting to pay into the sidewalk fund, which for this particular site is the best option. A sidewalk would not connect to any other sidewalks and would in fact lead pedestrians to the creek and bridge crossing on N. Friendswood Drive which does not have a sidewalk. Additionally, they do not own all of the property to connect the sidewalk to the adjacent driveway/Whataburger site.

If approved to pay into the sidewalk fund, the amount would be the average of 3 bids by a contractor to install a five-foot sidewalk for the width of the tract minus the driveway. The money would be due prior to issuance of a Certificate of Occupancy and would be placed into an individual account. The money can only be used to install a sidewalk at this location in the future.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

This would be a new business for Friendswood, which would add to the commercial tax base of the City. Additionally, this is a very small tract that could only be developed with a few types of businesses.

RECOMMENDATIONS

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Building, Fire Marshal and Police Department. The project appears to be in compliance with current city codes.

ATTACHMENTS

1. Compliance Memo_GC Ortho
2. Cover Sheet_GC Ortho
3. Site Plan_GC Ortho
4. Landscape Plan_GC Ortho
5. Elevations_GC Ortho
6. Photometric Plan_GC Ortho

Memo

To: Planning and Zoning Commission
From: Becky Bennett, Development Coordinator
Date: January 21, 2021
Re: GC Ortho Commercial Site Plan

Project Description: This proposed building will house an orthodontist to be located at 108 N. Friendswood Drive.

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department. The proposed project appears to comply with current city codes.

The applicant is requesting to submit payment to the sidewalk fund in lieu of constructing a sidewalk along FM 518.

This plan is subject to approval by the Planning and Zoning Commission.

ACCESSIBLE DESIGN CONSTRUCTION STANDARDS

BUILDING AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ANSI A 171.1 AND A.D.A. PUBLIC LAW 101-536 HIGHLIGHTED AS FOLLOWS.

1. ACCESSIBLE ROUTE SHALL COMPLY WITH THE FOLLOWING:
 - A. PRESS-OPEN DOOR: BE MAXIMUM 1/2"
 - B. MAX. OPERATING FORCE SHALL NOT EXCEED 85 POUNDS FOR EXT. HINGED DOOR, 5 LB. FOR HINGED GLASS DOOR.
 - C. DOOR HANDLES SHALL BE LEVER HANDLE OR EQUIVALENT AND MOUNTED NO MORE THAN 42" ABOVE THE FINISHED FLOOR.
 - D. DOOR OPENED WHEN DOOR IS CLOSED SHALL BE ADJUSTED TO CLOSE FROM AN OPEN POSITION OF 70 DEGREES IN NOT LESS THAN 3 SECONDS TO A POINT 3' FROM THE LATCH.
 - E. ALARM BELL SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE OPENING IS NOT LESS THAN 32".
2. CUSTOMER SERVICE FACILITIES:
 - A. ACCESSIBLE COUNTER: HEIGHT SHALL NOT BE LESS THAN 34" IN LENGTH AND NOT MORE THAN 36" IN HEIGHT ABOVE THE FINISHED FLOOR.
3. ACCESSIBLE STORAGE SHELVING AND DISPLAY UNIT SHALL BE WITHIN THE REACH RANGE AND ACCESSIBLE HEIGHT.
4. RECEPTION AND COMMUNICATION SYSTEM RECEPTACLES ON WALL SHALL BE MOUNTED A MINIMUM OF 15" OVER FINISHED FLOOR.
5. LAVATORIES AND EXPOSED MIRRORS SHALL BE INSTALLED AS SHOWN.
 - A. HEIGHT: LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE RIM OF THE COUNTER SURFACE NO HIGHER THAN 30" ABOVE THE FINISHED FLOOR. THE TOTAL DEPTH OF LEAD SPACE BENEATH THE LAVATORY SHALL NOT BE LESS THAN 17" OF VERTICAL CLEARANCE SHALL BE NO MORE THAN 6" IN THE TOTAL DEPTH. KNEE CLEARANCE SHALL NOT BE LESS THAN 26" IN HEIGHT AND 30" IN WIDTH.
 - B. EXPOSED PIPES AND SURFACES: HOT WATER AND DRAIN LINES EXPOSED UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES OR SINKS.
6. FAUCETS: FAUCET CONTROL HANDLES SHALL BE LOCATED NOT MORE THAN 18" FROM THE FRONT EDGE OF THE LAVATORY SINK OR COUNTER. SELF CLOSING VALVES SHALL BE INSTALLED OPEN FOR AT LEAST 10 SECONDS PER OPERATION.
7. MIRRORS, DISPENSERS AND OTHER FIXTURES: MIRRORS OR SHELVES SHALL BE INSTALLED SO THAT THE BOTTOM OF THE TOP SHELVES IS NO MORE THAN 34" ABOVE THE FINISHED FLOOR.
8. WATER CLOSETS:
 - A. HEIGHT: THE HEIGHT OF WATER CLOSETS SHALL BE 14" TO 15" MEASURED TO THE TOP OF THE TOILET SEAT.
 - B. GRAB BARS: GRAB BARS SHALL BE 1 1/2" DIAMETER, AND PROVIDE A CLEARANCE OF 1 1/2" BETWEEN THE BAR AND THE WALL, PROVIDE MINIMUM OF 1250 ALLOWANCE FORCE, 36" LENGTH AT REAR, 42" AT SIDE, MOUNTED 28-30" ABOVE FLOOR.
 - C. FLUSH CONTROLS: FLUSH CONTROLS SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS NO MORE THAN 42" OFF THE FINISHED FLOOR.
 - D. TOE CLEARANCE: IN STANDARD STALLS, THE FRONT PARTITION AND AT LEAST ONE SIDE PARTITION SHALL PROVIDE A TOE CLEARANCE OF A MINIMUM OF 9".
9. URINALS:
 - A. HEIGHT: URINALS SHALL BE STALL TYPE OR WALL-HUNG TYPE WITH AN ELONGATED RIM AT MAXIMUM OF 14" ABOVE THE FINISHED FLOOR.
 - B. CLEAR FLOOR SPACE: MINIMUM 30" X 48".
 - C. FLUSH CONTROLS: FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC, AND SHALL COMPLY WITH NOTE 9 BELOW, AND SHALL BE MOUNTED NO MORE THAN 42" ABOVE THE FINISHED FLOOR.
10. CONTROLS AND OPERATING MECHANISMS:
 - A. CLEAR FLOOR SPACE: MINIMUM 30" X 48".
 - B. HEIGHT: THE HIGHEST OPERABLE PART SHALL BE 42" ABOVE FINISHED FLOOR, MAX. 15" ABOVE THE FINISHED FLOOR MINIMUM.
 - C. OPERATING: THE HIGHEST OPERABLE PART WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED SHALL BE 5 LB. MAXIMUM.
11. PUBLIC TELEPHONE:
 - A. CLEAR FLOOR SPACE: MINIMUM 30" X 48".
 - B. HEIGHT: THE HIGHEST OPERABLE PART SHALL BE 42" ABOVE FINISHED FLOOR MAX.
 - C. CLEAR SPACE: CLEAR SPACE BE AFTER FINISHED FLOOR.
 - D. OPERATION: TELEPHONES SHALL HAVE PUSH BUTTON CONTROLS WHERE SERVICE FOR SUCH EQUIPMENT IS AVAILABLE.
 - E. CORD LENGTH: THE CORD FROM THE TELEPHONE TO THE HAND SET SHALL BE AT LEAST 24" LONG.
12. SIGNAGE:
 - A. CHARACTER PROPORTION: LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN 3/5 AND 1/4, AND A STROKE TO HEIGHT RATIO BETWEEN 1/5 AND 1/4.
 - B. CHARACTER HEIGHT: MINIMUM CHARACTER SHALL BE 3".
 - C. RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL SIGNS: LETTERS AND NUMBERS SHALL BE RAISED 1/8" UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2". PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT.
 - D. FINISH AND CONTRAST: THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THE BACKGROUND EITHER BY COLOR OR BY FINISH. CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 - E. MOUNTING LOCATION AND HEIGHT: WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS, THE LOCATION OF SIGNS SHALL BE 5' TO 6' FROM THE FINISHED FLOOR TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN. WHERE LOCATION OF SUCH SIGNAGE IS NOT AVAILABLE, THE SIGN SHALL BE SO THAT PERSON MAY APPROACH WITHIN 3' OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR OR STANDING WITHIN A SWING OF A DOOR.
 - F. SYMBOLS OF ACCESSIBILITY: SYMBOLS SHALL BE INTERNATIONAL SYMBOLS OF ACCESSIBILITY.

II. N/A

1. ACCESSIBLE DOOR SHALL COMPLY WITH THE FOLLOWING:
 - A. THRESHOLD SHALL BE MAXIMUM 1/2" HIGH.
 - B. MAX. OPERING FORCE SHALL NOT EXCEED 8.5 POUNDS FOR EXT. HINGED DOOR, 5 LB. FOR INT. HINGED DOOR.
 - C. DOOR CLOSURE SHALL BE LEVER HANDLE OR EQUIVALENT AND MOUNTED NO MORE THAN 42" ABOVE THE FINISHED FLOOR.
 - D. DOOR CLOSER, WHERE PROVIDED, SHALL BE ADJUSTED TO CLOSE FROM AN OPEN POSITION OF 70 DEGREES IN NOT LESS THAN 3 SECONDS TO A POINT 3" FROM THE LEAF.
 - E. ALL DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE DOORWAY SHALL BE NOT LESS THAN 32".
2. CUSTOMER SERVICE FACILITIES:
 - A. ACCESSIBLE COUNTER SHALL NOT BE LESS THAN 34" IN LENGTH AND NOT MORE THAN 36" IN HEIGHT ABOVE FINISHED FLOOR.
3. ACCESSIBLE RECEPTION SHELVEING AND DISPLAY UNIT SHALL BE WITHIN THE REACH RANGE AND ACCESSIBLE HEIGHT.
4. RECEPTACLES AND COMMUNICATION SYSTEM RECEPTACLES ON WALL SHALL BE MOUNTED 1' MINIMUM OR 15" ABOVE FINISHED FLOOR.
5. LAVATORIES AND ASSOCIATED MIRRORS SHALL BE INSTALLED AS SHOWN:
 - A. HEIGHT: LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE RIM TO THE COUNTER SURFACE 29" ABOVE THE FINISHED FLOOR. THE TOTAL DEPTH OF THE COUNTER CLEAR SPACE BENEATH THE LAVATORY SHALL NOT BE LESS THAN 17" OF WHICH TOE CLEARANCE SHALL NOT BE MORE THAN 6" IN THE TOTAL DEPTH, KNEE CLEARANCE SHALL NOT BE LESS THAN 26" TO THE TOP OF THE COUNTER.
 - B. EXPOSED PIPES AND SURFACES: HOT, WATER AND DRAIN PIPES EXPOSED UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED WHERE THERE ARE NO SINKS OR COUNTERS OR CABSINETS UNDER LAVATORIES OR SINKS.
 - C. FAUCETS: FAUCET CONTROL HANDLES SHALL BE LOCATED NOT MORE THAN 19" FROM THE FRONT EDGE OF THE LAVATORY SINK OR COUNTER, SELF CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS PER OPERATION.
6. MIRRORS, DISPENSERS AND OTHER FIXTURES: MIRRORS OR SHELVES SHALL BE INSTALLED SO THAT THE BOTTOM OF THE TOP SHELVES IS NO MORE THAN 34" ABOVE THE FLOOR.
7. WATER CLOSETS:
 - A. HEIGHT: THE HEIGHT OF WATER CLOSETS SHALL BE 14" TO 15" MEASURED TO THE TOP OF THE RIM TO SEATS.
 - B. GRAB BARS: GRAB BARS SHALL BE 1 1/2" DIAMETER, AND PROVIDE A CLEARANCE OF 1 1/2" BETWEEN THE BAR AND THE WALL, PROVIDE MINIMUM OF 250 ALLOWANCE FOR CLEARANCE AT REAR, 42" AT SIDE, MOUNTED 28" - 30" ABOVE FLOOR.
 - C. FLUSH CONTROLS: FLUSH CONTROLS SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS NO MORE THAN 42" OFF THE FINISHED FLOOR.
 - D. PARTITION: THE PARTITION AND CLOSURE SHALL BE MOUNTED IN POSITION AND AT LEAST ONE SIDE PARTITION SHALL PROVIDE A TOE CLEARANCE OF A MINIMUM OF 9".
8. URINALS:
 - A. HEIGHT: URINALS SHALL BE STALL TYPE OR WALL-HUNG TYPE WITH AN ELONGATED RIM AT MAXIMUM OF 14" ABOVE THE FINISHED FLOOR.
 - B. CLEAR FLOOR SPACE: MINIMUM 30" X 48".
 - C. OPERATION: CONTROL OF URINALS SHALL BE HAND OPERATED OR AUTOMATIC AND SHALL COMPLY WITH NOTE 8 BELOW, AND SHALL BE MOUNTED NO MORE THAN 42" ABOVE THE FINISHED FLOOR.
9. CONTROLS TO OPERATING MECHANISMS:
 - A. CLEAR FLOOR SPACE: MINIMUM 30" X 48".
 - B. HEIGHT: THE HIGHEST OPERABLE PART SHALL BE 42" ABOVE FINISHED FLOOR, MAX. 54" TO THE TOP OF THE CLOSURE.
 - C. OPERATION: IT SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED SHALL BE 5 LBS.
10. PUBLIC TELEPHONE:
 - A. CLEAR FLOOR SPACE: MINIMUM 30" X 48".
 - B. HEIGHT: THE HIGHEST OPERABLE PART SHALL BE 42" ABOVE FINISHED FLOOR MAX. 54" TO THE TOP OF THE CLOSURE.
 - C. COIN CLOSURE: SHALL BE 5" AFTER FINISHED FLOOR.
 - D. OPERATION: TELEPHONES SHALL HAVE PUSH BUTTON CONTROLS WHERE SERVICE FOR COIN EQUIPMENT IS AVAILABLE.
 - E. CORD LENGTH: THE CORD FROM THE TELEPHONE TO THE HAND SET SHALL BE AT LEAST 29" LONG.
11. SIGNAGE:
 - A. CHARACTER: SHALL COMPLY WITH THE FOLLOWING ITEMS:
 - A. CHARACTER PROPORTION: LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN .35 AND .41, AND A STROKE TO HEIGHT RATIO BETWEEN .15 AND .18.
 - B. CHARACTER HEIGHT: MINIMUM CHARACTER SHALL BE 5".
 - C. RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOLS: LETTERS AND NUMBERS SHALL BE MINIMUM 1/32" (LOWER CASE) MINIMUM 1/16" (UPPER CASE) TYPE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2". PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT.
 - D. FINISH AND CONTRAST: THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE OR OTHER NON-GLOSS FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH BACKGROUND. SIGNAGE ON GLASS OR OTHER TRANSPARENT OR DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 - E. MOUNTING LOCATION AND HEIGHT: WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR LOCATION OF SIGNAGE, THE SIGNAGE SHALL BE MOUNTED TO THE SIGNAGE ATTACHED TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - F. LOCATION OF SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - G. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - H. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - I. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - J. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - K. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - L. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - M. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - N. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - O. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - P. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
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 - R. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
 - S. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
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 - V. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
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 - Z. SIGNAGE: SIGNAGE SHALL BE LOCATED WITHIN 5' OF THE APPROACH TO THE LATCH SIDE OF THE DOOR, OR NEAREST ADJACENT WALL, MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN.
12. ACCESSIBILITY: SYMBOLS SHALL BE INTERNATIONAL SYMBOLS OF ACCESSIBILITY.

II. N/A

1. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, AS WELL AS UNDERWRITERS REGULATIONS HAVING JURISDICTION. THE CONTRACTORS SHALL ALSO COMPLY WITH ALL RULES AND REGULATIONS OF THE BUILDING OWNER, IF APPLICABLE.
2. ALL CONTRACTORS SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS, NOTIFY THE DESIGNER IMMEDIATELY, IF THERE ARE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
3. THE CONTRACTORS SHALL PROCURE ALL PERMITS AND CERTIFICATES OF OCCUPANCY OR LOCAL EQUIVALENT.
4. THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR, AND REASONABLY INCIDENTAL TO, THE COMPLETION, IN PLACE, OF ALL WORK SHOWN OR SPECIFIED IN THE DRAWINGS AND THE SPECIFICATIONS.
5. CONDITIONS DEPICTED ON THESE DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND MUST BE VERIFIED WITH ON-SITE CONDITIONS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS; CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.
6. THE CONTRACTORS SHALL RECEIVE, HANDLE, STORE (IF NECESSARY) AND BE RESPONSIBLE FOR ALL MATERIALS THAT HE PROVIDES, ALL MATERIALS SHALL BE ACCOUNTED FOR UPON RECEIPT AND ANY MISSING OR DAMAGED PARTS SHALL BE REPORTED TO THE DESIGNER AND OWNER IMMEDIATELY.
7. SHOP DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC. SHALL BE REVIEWED BY THE DESIGNER ONLY AS TO CONFORMANCE WITH THE DESIGN CONCEPT, NO WORK SHALL START WITHOUT SUCH REVIEW.
8. THE CONTRACTOR SHALL REMOVE RUBBISH AND DEBRIS FROM THE BUILDING SITE PROMPTLY UPON ACCUMULATION AND IN NO EVENT LESS FREQUENTLY THAN EVERY FRIDAY AFTERNOON.
9. THE CONTRACTOR SHALL PROTECT ANY ADJACENT SPACES DURING CONSTRUCTION. CONSTRUCTION WORK SHALL NOT DISTURB TRAFFIC OR ONGOING BUSINESS, EXCEPT BY SIGNAGE, BARRICADES AND/OR TRAFFIC DIVERSION AND TEMPORARY CLOSURES.
10. ALL DELIVERIES AND MODIFICATIONS TO THE BUILDING SHALL BE COORDINATED WITH THE MANAGEMENT.
11. MINOR ITEMS AND ACCESSORIES REASONABLY INFERRED AS NECESSARY TO COMPLETE AND PROPERLY OPERATE ANY SYSTEM, SHALL BE PROVIDED BY THE RESPECTIVE CONTRACTOR AT THE CONTRACTOR'S DISCRETION SUBJECT TO THE OWNER.
12. THE CONTRACTOR SHALL INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.
13. ALL REQUEST FOR SUBSTITUTION OF ANY ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING TO THE OWNER OR THE REPRESENTATIVE AND WILL BE CONSIDERED ONLY IF BETTER QUALITY, MORE DURABLE, OR DELIVERY DATE OR CREDIT TO CONTRACT PRICE WILL BE PROVIDED WITHOUT SACRIFICE OF QUALITY, APPEARANCE AND FUNCTION.
14. CONTRACTORS SHALL SUBMIT CONFORMATIONS WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT WITH LONG LEAD TIMES.
15. THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES TO THE OWNER PRIOR TO CONSTRUCTION.
16. CONTRACTORS SHALL VERIFY WITH THE OWNER ALL FIXTURES AND EQUIPMENT TO BE FURNISHED BY OTHERS.
17. STATEMENT OF COMPLIANCE:
THE ATTACHED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED, OR CAUSED TO BE PREPARED, UNDER THE DESIGNER'S DIRECT SUPERVISION, TO THE BEST OF THE DESIGNERS KNOWLEDGE AND BELIEF, THEY COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES (PUBLIC LAW 101-336, JULY 26, 1991).

SC: N.T.S.

PROPOSED
NEW BUILDING FOR
G.C. ORTHO, I
108 N. FRIENDSWOOD DRIVE
FRIENDSWOOD, TEXAS 7

GENERAL CONTRACTOR

PINNACLE CONSTRUCTION INDUSTRIES, INC.

308 W. PARKWOOD, STE. 108A
 FRIENDSWOOD, TEXAS 77546
 PH: 281-993-2500

PROJECT DATA	STRUCTURAL ENGINEER	CONTACT
SCOPE OF WORK: A NEW 3,212 SQUARE FOOT ORTHODONTICS OFFICE.		SEAN RILEY PH: 281-460-7900
BUILDING CODE: INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL ENERGY CODE 2018 <u>INTERNATIONAL PLUMBING CODE 2018</u> (NATIONAL ELECTRICAL CODE 2017) INTERNATIONAL MECHANICAL CODE 2018 NFPA LIFE SAFETY 101 CODE 2018 INTERNATIONAL FIRE CODE 2018 W/EXCEPTIONS	CIVIL ENGINEER	
OCCUPANCY TYPE: GROUP B TYPE OF CONSTRUCTION: TYPE VB		

DESIGNER

RIVES DESIGNER LLC
DESIGNERS — PLANNERS
FRIENDSWOOD, TEXAS 77546

DESIGNERS – PLANNERS
FRIENDSWOOD, TEXAS 77546

PROJECT DESCRIPTION:

1.0

PROJECT DATA

SCOPE OF WORK:

A NEW 3,212 SQUARE FOOT ORTHODONTICS OFFICE.

BUILDING CODE: INTERNATIONAL BUILDING CODE 2018
INTERNATIONAL ENERGY CODE 2018
INTERNATIONAL PLUMBING CODE 2018
INTERNATIONAL ELECTRICAL CODE 2017
INTERNATIONAL MECHANICAL CODE 2018
NFPA LIFE SAFETY 101 CODE 2018
INTERNATIONAL FIRE CODE 2018 W/EXCEPTIONS

OCCUPANCY TYPE: GROUP B
TYPE OF CONSTRUCTION: TYPE VB

PROJECT LOCATION

KEY MAP

PROJECT LOCATION

Pecan Dr

Woo

SCALE: 1"=60'

STRUCTURAL ENGINEER
CIVIL ENGINEER

RENDERING



This architectural rendering depicts a single-story building for Gulf Shore Orthodontics. The structure is constructed from light-colored brick with a grey shingled roof. A central entrance is highlighted by a brick archway and a set of concrete steps. To the left of the entrance, a ramp with metal railings provides accessibility. A sign above the entrance features a blue tooth logo and the text "GULF SHORE ORTHODONTICS". The building is surrounded by a well-maintained green lawn, several mature trees, and a paved parking area in the foreground marked with yellow lines. The sky is a clear, light blue.

CONTACT PERSONS	
SEAN RIVES PH: 281-482-3395	

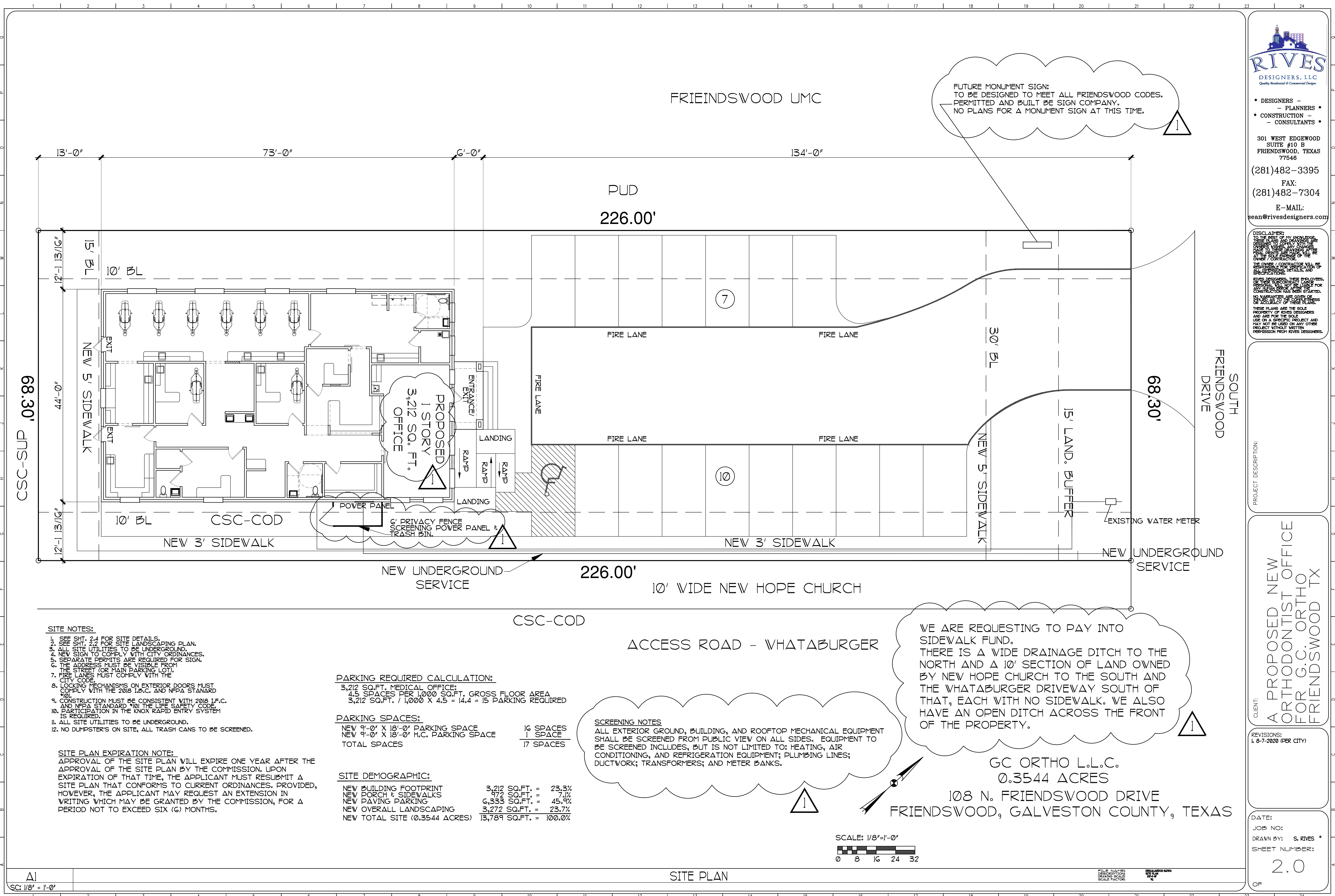
OWNER

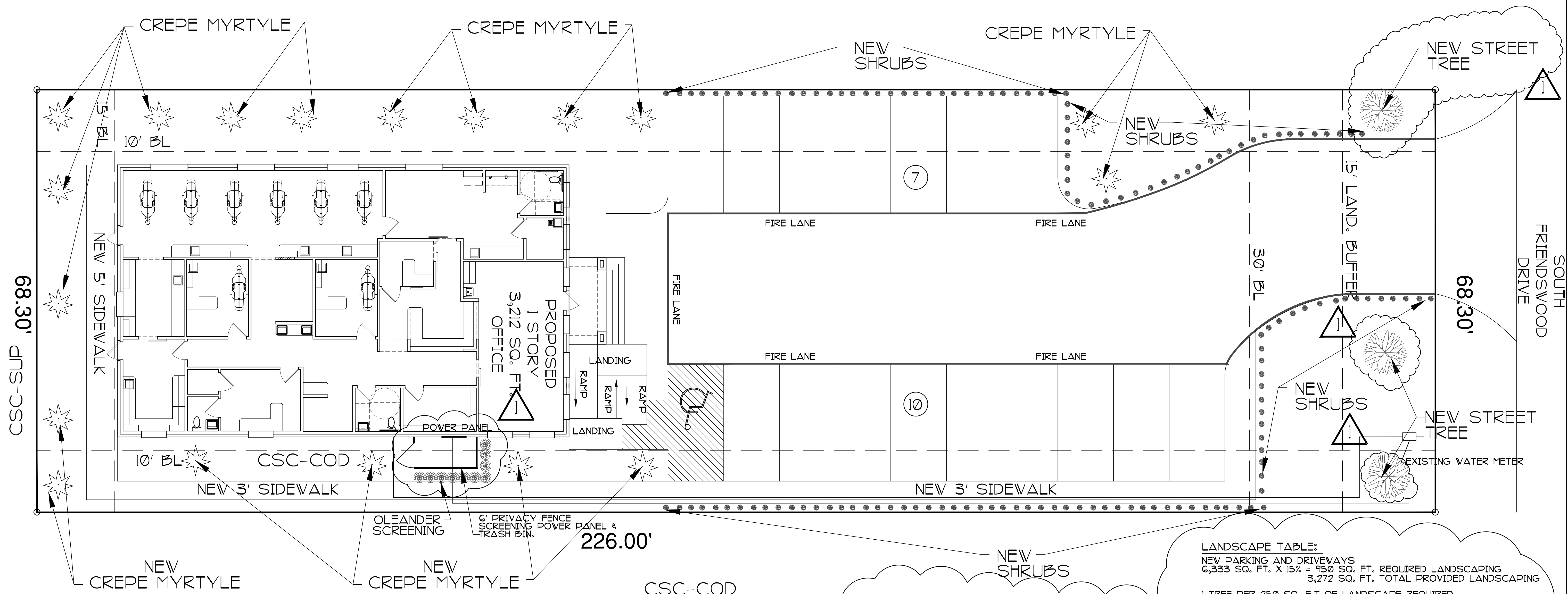
DR. GERARDO GUAJARDO
PH: 281-515-0156

INDEX OF DRAWINGS

1.0	COVER SHEET
2.0	PROPOSED SITE PLAN
2.1	PROPOSED SITE PAVING PLAN
2.2	PROPOSED NEW LANDSCAPE PLAN
2.3	PROPOSED NEW PHOTOMETRIC PLAN
2.4	SITE DETAILS
3.0	ELEVATION PLANS
3.1	ELEVATION PLANS
3.2	FLOOR PLAN
3.3	ADA DETAILS
3.4	SCHEDULE SHEET
3.5	PROPOSED FRAMING PLAN
3.6	SECTIONS AND DETAILS
3.7	PROPOSED ROOF PLAN
3.8	PROPOSED ROOF FRAMING PLAN
3.9	STANDARD DETAILS
3.10	CONNECTOR DETAILS
7.0	POWER PLAN
7.1	LIGHTING PLAN
S1	FOUNDATION PLAN
S2	FOUNDATION DETAILS
S3	WINDSTORM PLAN
S4	CEILING FRAMING
S5	ROOF FRAMING
SG	FRAMING DETAILS

FILE NAME: DRGUJARDO-0.DWG
DESCRIPTION: COVER SHEET
DRAWING SCALE: 1"=40'
SCALE FACTOR: 400





SITE NOTES:

1. SEE SHT. 2.4 FOR SITE DETAILS.
2. SEE SHT. 2.2 FOR SITE LANDSCAPING PLAN.
3. ALL SITE UTILITIES TO BE UNDERGROUND.
4. NEW SIGN TO COMPLY WITH CITY ORDINANCES.
5. SEPARATE PERMITS ARE REQUIRED FOR SIGN.
6. THE ADDRESS MUST BE VISIBLE FROM THE STREET (OR MAIN PARKING LOT).
7. FIRE LANES MUST COMPLY WITH THE CITY CODE.
8. LOCKING MECHANISMS ON EXTERIOR DOORS MUST COMPLY WITH THE 2018 I.B.C. AND NFPA STANDARD 101.
9. CONSTRUCTION MUST BE CONSISTENT WITH 2018 I.F.C. AND NFPA STANDARD 101 THE LIFE SAFETY CODE.
10. PARTICIPATION IN THE KNOX RAPID ENTRY SYSTEM IS REQUIRED.
11. ALL SITE UTILITIES TO BE UNDERGROUND.
12. NO DUMPSTER'S ON SITE, ALL TRASH CANS TO BE SCREENED.

SITE PLAN EXPIRATION NOTE:

APPROVAL OF THE SITE PLAN WILL EXPIRE ONE YEAR AFTER THE APPROVAL OF THE SITE PLAN BY THE COMMISSION. UPON EXPIRATION OF THAT TIME, THE APPLICANT MUST RESUBMIT A SITE PLAN THAT CONFORMS TO CURRENT ORDINANCES. PROVIDED, HOWEVER, THE APPLICANT MAY REQUEST AN EXTENSION IN WRITING WHICH MAY BE GRANTED BY THE COMMISSION, FOR A PERIOD NOT TO EXCEED SIX (6) MONTHS.

PARKING REQUIRED CALCULATION:

3,212 SQ.FT. MEDICAL OFFICE;
4.5 SPACES PER 1,000 SQ.FT. GROSS FLOOR AREA
3,212 SQ.FT. / 1,000 X 4.5 = 14.4 = 15 PARKING REQUIRED

PARKING SPACES:

NEW 9'-0" X 18'-0" PARKING SPACE	16 SPACES
NEW 9'-0" X 18'-0" H.C. PARKING SPACE	1 SPACE
TOTAL SPACES	17 SPACES

SITE DEMOGRAPHIC:

NEW BUILDING FOOTPRINT	3,212 SQ.FT. =	23.3%
NEW PORCH & SIDEWALKS	472 SQ.FT. =	7.1%
NEW PAVING PARKING	6,333 SQ.FT. =	45.9%
NEW OVERALL LANDSCAPING	3,272 SQ.FT. =	23.7%
NEW TOTAL SITE (0.3544 ACRES)	13,789 SQ.FT. =	100.0%

LEGEND

- LIVE OAK - QUERCUS VIRGINIANA
3 2" CALIPER MEASURED 18" ABOVE NATURAL GROUND LEVEL
- OLEANDER NERIUM - OLEANDER
10 5' HIGH MINIMUM (5 GAL.)
- CREPE MYRTLE - LAGERSTROEMIA INDICA
19 3' HIGH MINIMUM (3 OR 5 GAL.)
- INDIAN HAWTHORNE - RAPHIOLEPIS INDICA
139 24" O.C. MINIMUM 2' TALL, MAINTAINED AT A MAXIMUM OF 3'-6" TALL

SCREENING NOTES

ALL EXTERIOR GROUND, BUILDING, AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ON ALL SIDES. EQUIPMENT TO BE SCREENED INCLUDES, BUT IS NOT LIMITED TO: HEATING, AIR CONDITIONING, AND REFRIGERATION EQUIPMENT; PLUMBING LINES; DUCTWORK; TRANSFORMERS; AND METER BANKS.

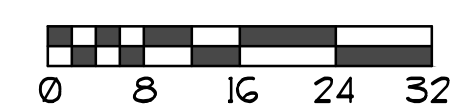
LANDSCAPE TABLE:

NEW PARKING AND DRIVEWAYS
6,333 SQ. FT. X 15% = 950 SQ. FT. REQUIRED LANDSCAPING
3,272 SQ. FT. TOTAL PROVIDED LANDSCAPING

1 TREE PER 250 SQ. F.T. OF LANDSCAPE REQUIRED
950 SQ.FT. REQUIRED LANDSCAPING = 4 REQUIRED TREES
19 TREES PROVIDED

LANDSCAPE BUFFER TREES
1 TREE REQUIRED EVERY 25 LINEAR FOOT OF BUFFER WIDTH
68' OF WIDTH - 25 = 3 BUFFER TREES
3 BUFFER TREES PROVIDED

SCALE: 1/8"=1'-0"



GC ORTHO L.L.C.
0.3544 ACRES

108 N. FRIENDSWOOD DRIVE
FRIENDSWOOD, GALVESTON COUNTY, TEXAS

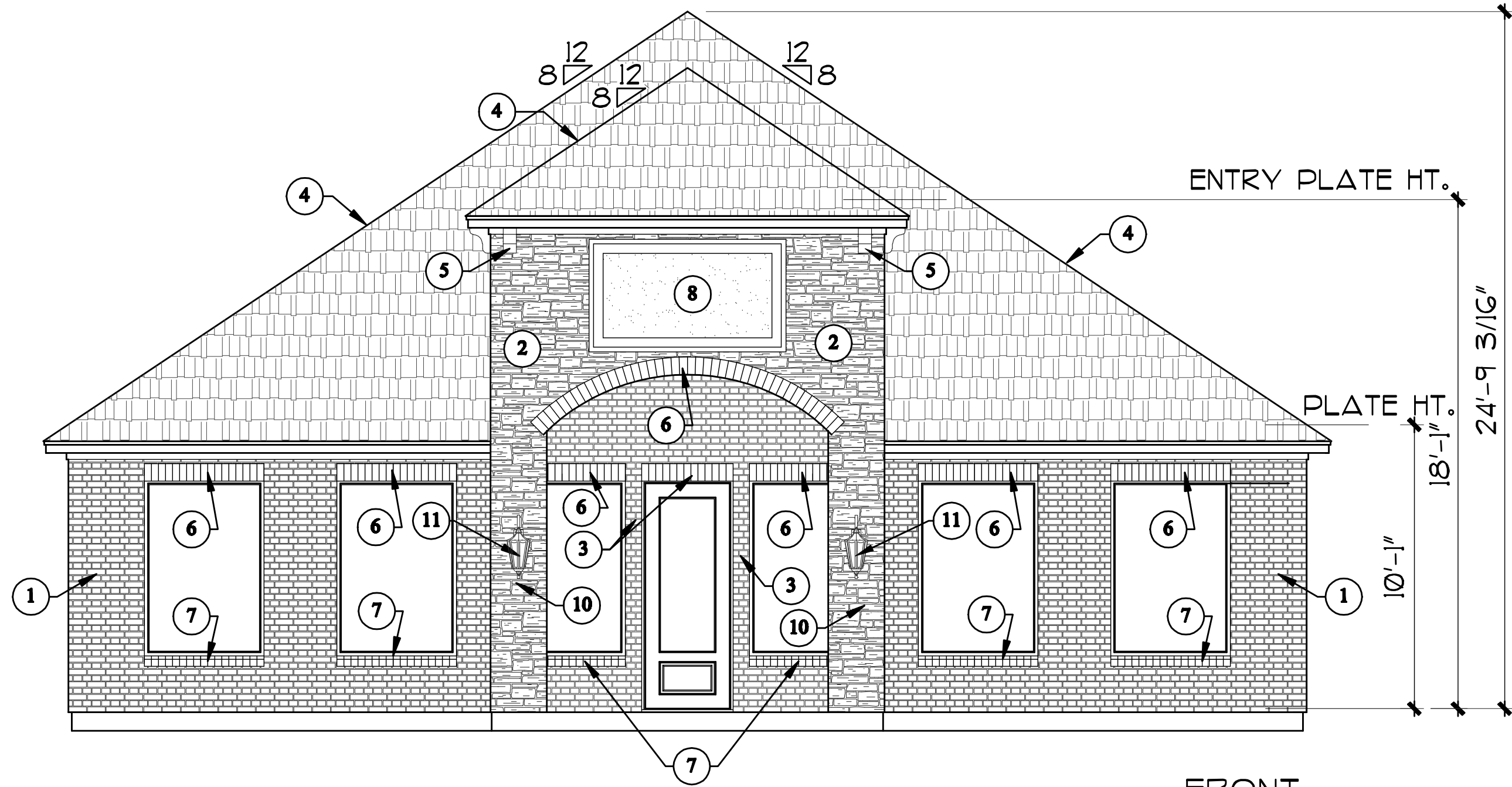
SITE LANDSCAPE PLAN

ELEVATION NOTES:

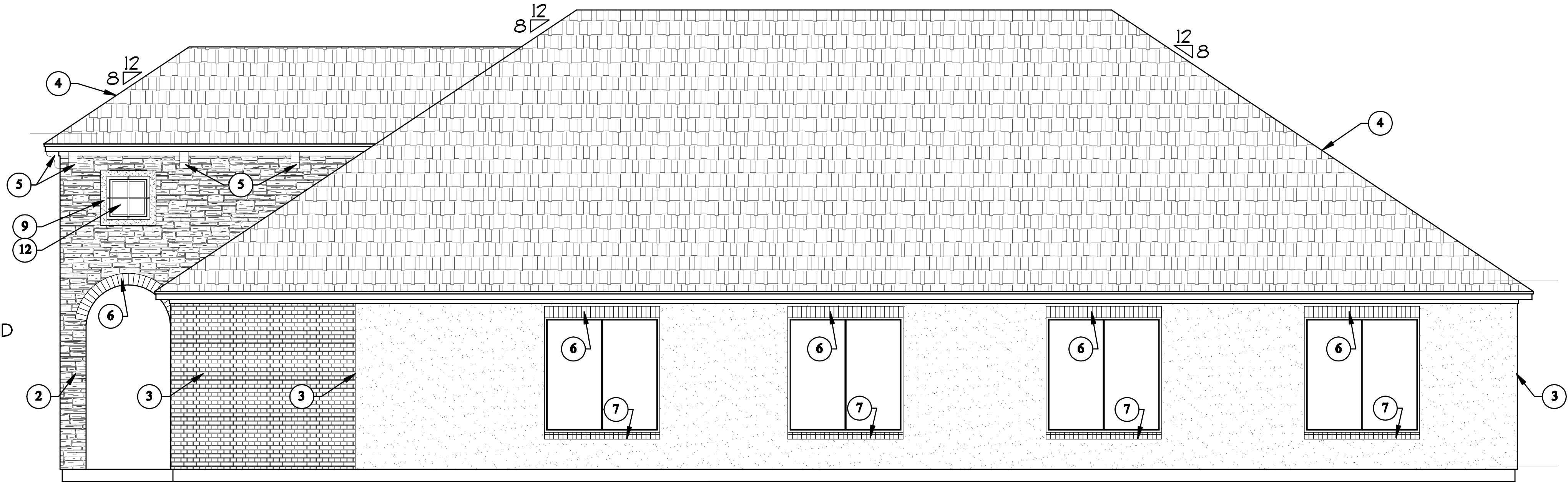
1. STUCCO
2. STONE
3. BRICK
4. COMPOSITION ROOF OVER WATER AND ICE SHIELD OVER 1/2" CDX
5. CORBELS
6. BRICK SOLDIER
7. BRICK SILL
8. STUCCO SIGN PANEL
9. 4" STUCCO TRIM
10. STONE COLUMN
11. GAS COACHLIGHT LAMP
12. 2'-0" X 2'-0" FIXED WINDOW W/ IRON

ELEVATION NOTES:

- A. STUCCO, STONE, & TILE ROOF SELECTED BY OWNER.
- B. FLASH & COUNTERFLASH AS REQUIRED.
- C. GUTTER & DOWNSPOUT LOCATED BY OWNER.



FRONT



RIGHT



* DESIGNERS -
- PLANNERS *
* CONSTRUCTION -
- CONSULTANTS *

301 WEST EDGEWOOD
SUITE #10 B
FRIENDSWOOD, TEXAS
77546

(281)482-3395

FAX:
(281)482-7304

E-MAIL:
sean@rivesdesigners.com

DISCLAIMER:
TO THE BEST OF MY KNOWLEDGE,
I HAVE PREPARED THESE PLANS
AND SPECIFICATIONS TO THE
BEST OF MY ABILITY AND
AM NOT PROVIDING ANY
WARRANTY OR GUARANTEE
OF ANY KIND. I AM NOT
RESPONSIBLE FOR ANY
CONSTRUCTION DEFECTS OR
OTHER PROBLEMS THAT
MAY OCCUR DURING OR
AFTER CONSTRUCTION.
THESE PLANS ARE THE SOLE
PROPERTY OF RIVES DESIGNERS
AND ARE FOR THE SOLE
USE ON A SPECIFIC PROJECT AND
MAY NOT BE USED ON ANY OTHER
PROJECT WITHOUT WRITTEN
PERMISSION FROM RIVES DESIGNERS.

PROJECT DESCRIPTION

CLIENT:
**A PROPOSED NEW
ORTHODONTIST OFFICE
FOR GC. ORTHO
FRIENDSWOOD, TEXAS**

REVISIONS:

DATE: 02/26/19
JOB NO:
DRAWN BY: S. RIVES *
SHEET NUMBER:

3.0

OF

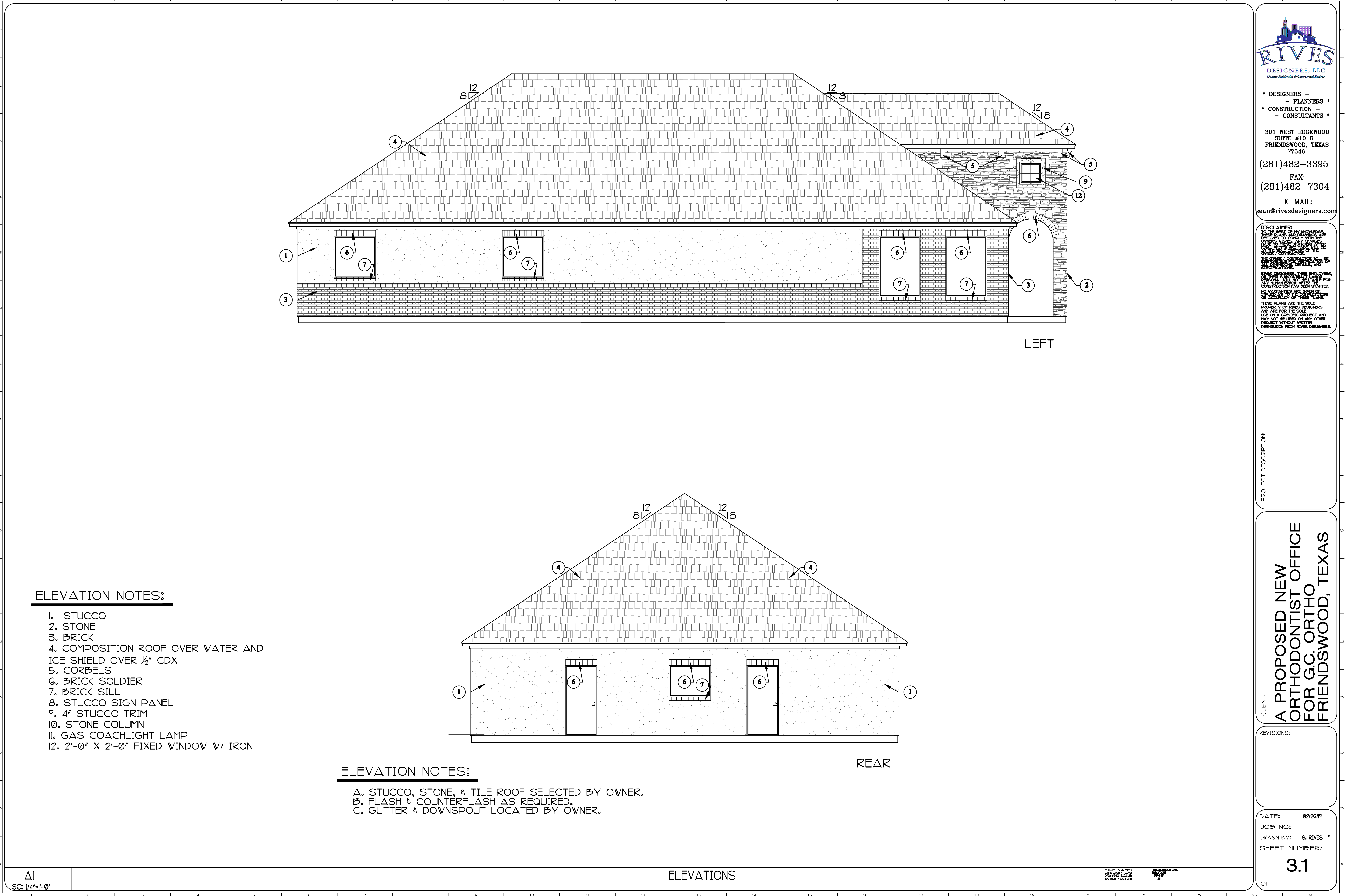
A1

SC: 1/4"=1'-0"

ELEVATIONS

FILE NAME:
DESCRIPTION:
DRAWING SCALE:
SCALE FACTOR:

REVISIONS:
DATE:
BY:



* DESIGNERS -
- PLANNERS *
* CONSTRUCTION -
- CONSULTANTS *

301 WEST EDGEWOOD
SUITE #10 B
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CONSTRUCTION OF THE PROJECT.
THE OWNER / CONTRACTOR WILL BE
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RIVES DESIGNERS, THEIR EMPLOYEES,
OR AGENTS SHALL NOT BE LIABLE FOR
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PROPERTY THAT MAY OCCUR DURING
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PROJECT DESCRIPTION:

CLIENT:
**A PROPOSED NEW
ORTHODONTIST OFFICE
FOR G.C. ORTHO
FRIENDSWOOD, TEXAS**

REVISIONS:

DATE: 02/26/19

JOB NO:

DRAWN BY: S. RIVES *

SHEET NUMBER:

3.1

OF

AI
SC: 1/4"=1'-0"

FILE NAME:
DESCRIPTION:
DRAWING NO:
SCALE:
DATE:

PROJECT NO:
JOB NO:
JOB NAME:
JOB ADDRESS:
JOB CITY:
JOB STATE:
JOB ZIP:



- 301 WEST EDGEWOOD
SUITE #10 B
FRIENDSWOOD, TEXAS
77546

FAX:
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THE OWNER / CONTRACTOR WILL BE
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ALL DIMENSIONS, DETAILS, AND
SPECIFICATIONS.

RIVES DESIGNERS, THEIR EMPLOYEES, OR THEIR SUB-CONTRACT LABOR PERSONAL WILL NOT BE LIABLE FOR ANY HUMAN ERROR AFTER THE CONSTRUCTION HAS BEEN STARTED.

NO WARRANTIES ARE GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY OF THESE PLANS.

THESE PLANS ARE THE SOLE PROPERTY OF RIVES DESIGNERS AND ARE FOR THE SOLE USE ON A SPECIFIC PROJECT AND MAY NOT BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM RIVES DESIGNERS.

PROJECT DESCRIPTION:

CLIENT: A PROPOSED NEW ORTHODONTIST OFFICE FOR G.C. ORTHO FRIENDSWOOD TX

REVISIONS:

DATE:
JOB NO:
DRAWN BY: S. RIVES *
SHEET NUMBER:

2.3 OF

1. SEE SHT. 2.4 FOR SITE DETAILS.
2. SEE SHT. 2.2 FOR SITE LANDSCAPING PLAN.
3. ALL SITE UTILITIES TO BE UNDERGROUND.
4. NO SIGN TO COMPLY WITH THE CITY LAWS.
5. SEPARATE PERMITS ARE REQUIRED FOR SIGN.
6. THE ADDRESS MUST BE VISIBLE FROM THE STREET (OR MAIN PARKING LOT).
7. FIRE LANES MUST COMPLY WITH THE CITY CODE.
8. LOCKING MECHANISMS ON EXTERIOR DOORS MUST COMPLY WITH THE 2018 I.B.C. AND NFPA STANDARD 101.
9. CONSTRUCTION MUST BE CONSISTENT WITH 2018 I.F.C. AND NFPA STANDARD 101 THE LIFE SAFETY CODE.
10. PARTICIPATION IN THE KNOX KAPID ENTRY SYSTEM IS REQUIRED.
11. ALL SITE UTILITIES TO BE UNDERGROUND.
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APPROVAL OF THE SITE PLAN WILL EXPIRE ONE YEAR AFTER THE APPROVAL OF THE SITE PLAN BY THE COMMISSION. UPON EXPIRATION OF THAT TIME, THE APPLICANT MUST RESUBMIT A SITE PLAN THAT CONFORMS TO CURRENT ORDINANCES. PROVIDED, HOWEVER, THE APPLICANT MAY REQUEST AN EXTENSION IN WRITING WHICH MAY BE GRANTED BY THE COMMISSION, FOR A PERIOD NOT TO EXCEED SIX (6) MONTHS.



GC ORTHO L.L.C.
0.3544 ACRES
108 N. FRIENDSWOOD DRIVE
FRIENDSWOOD, GALVESTON COUNTY, TEXAS

SITE PHOTOMETRIC PLAN

FILE NAME:	DRGUAJND02-B.DWG
DESCRIPTION:	PHOTOMETRIC PLAN
DRAWING SCALE:	1/8"=1'-0"
SCALE FACTOR:	%



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: January 28, 2021

Subject: Consideration and possible action regarding the site plan for Friendship Center to be located at 501 S. Friendswood Drive

Action: Significant

SUMMARY / ORIGINATING CAUSE

The property is zoned Downtown District (DD), which requires installation of the DD amenities - 15-foot parkway with a tree every 25 feet (half 2-inch caliper and half 4-inch caliper), 8ft brick paved sidewalk, lights and benches along S. Friendswood Drive and 6-foot sidewalks on the side streets with a tree every 25 feet. The property faces three streets - S. Friendswood Drive on the front and E. Spreading Oaks and Sunnyview side streets. The new building will be a 15,900 square foot retail building; we do not have any information on future tenants at this time.

25 trees are existing on the property; 2 trees will be kept and the mitigation trees will be planted for the other 23 trees. See mitigation plan for more details.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Staff suggested keeping Trees 3 and 9 and offered to allow them to create large islands, reduce number of required parking spaces, allow pervious paving, and consider an alternate landscape plan in order to accommodate keeping the existing live oak trees, but the property owner did not choose to pursue any of these options.

RECOMMENDATIONS

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department. The proposed project appears to compliance with current city codes.

This site plan is subject to approval by the Planning and Zoning Commission.

ATTACHMENTS

1. Compliance Memo_Friendship Center
2. Cover Sheet_Friendship Center
3. Site Plan_Friendship Center
4. Landscape Plan_Friendship Center
5. Mitigation Plan_Friendship Center
6. Colored Rendering_Friendship Center
7. Elevations_Friendship Center
8. Photometric Plan_Friendship Center
9. Dumpster Details_Friendship Center

Memo

To: Planning and Zoning Commission

From: Becky Bennett, Development Coordinator

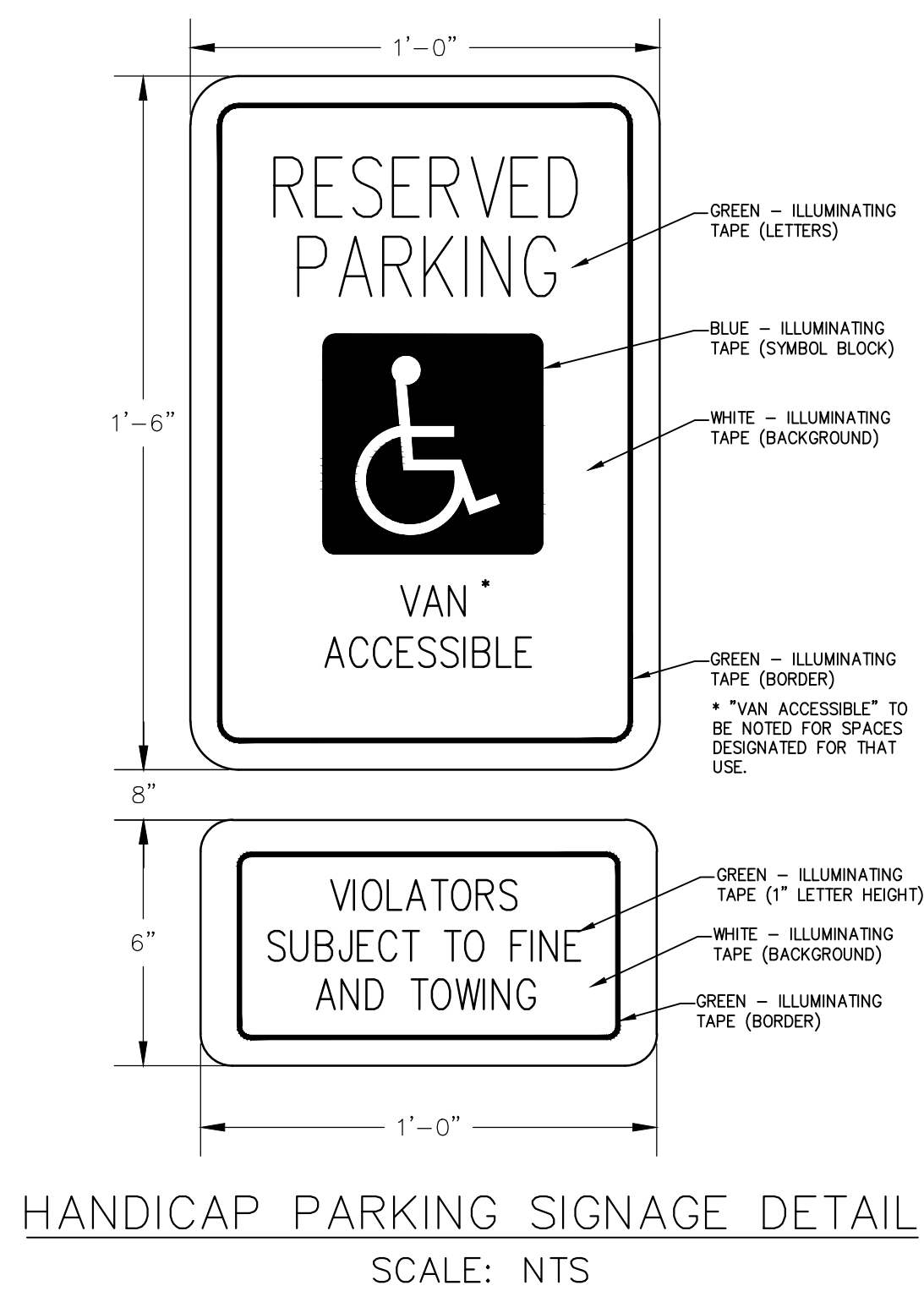
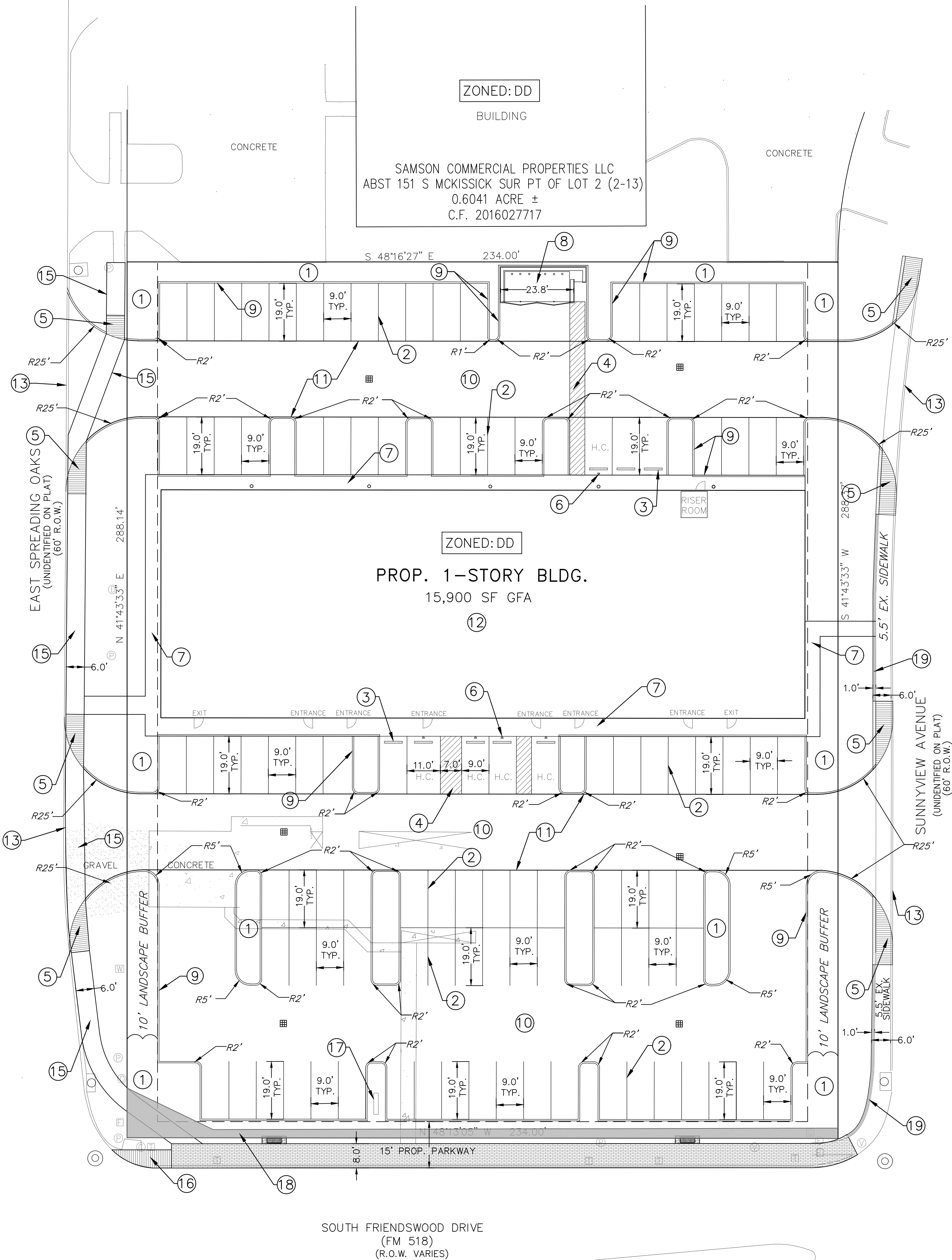
Date: January 21, 2021

Re: Friendship Center Commercial Site Plan

Project Description: This proposed project will be a retail center located at 501 S. Friendswood Dr. at the intersection Spreading Oaks Drive and South Friendswood Drive.

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department. The proposed project appears to compliance with current city codes.

This plan is subject to approval by the Planning and Zoning Commission.



KEY NOTE:

1. PROP. LANDSCAPE AREA. SEE SHEET 19 FOR DETAILS.
2. 4" WHITE TRAFFIC PAINT STRIPE (TYPICAL AT PARKING SPACE). TWO (2) COATS OF PAINT REQUIRED.
3. PROP. WHEEL STOPS.
4. PROP. HANDICAP ACCESS WITH STRIPED PAINT.
5. HANDICAP RAMP @ MAX 1:12 SLOPE. SEE SHEET 11 FOR DETAILS.
6. ACCESSIBLE PARKING SIGN. SEE DETAILS ON THIS SHEET.
7. PROP. CONCRETE SIDEWALK.
8. TRASH DUMPSTER. SEE DUMPSTER ENCLOSURE DETAILS ON ARCHITECTURAL SHEET A2-03.
9. 6" CONC. CURB. SEE SHEET 11 FOR DETAILS.
10. 6" CONC. PWMT. ON 6" LIME STABILIZED SUBGRADE. SEE SHEET 11 FOR DETAILS.
11. FIRE LANE STRIPING SHALL CONSISTS OF RED TRAFFIC PAINT ON TOP AND SIDE OF FULL CURB OR 12" WIDE STRIPE IF NO CURB. PROVIDE "NO PARKING FIRE LANE TOW AWAY ZONE" AT 30' INTERVALS.
12. PROPOSED BUILDING. SEE ARCH. DRAWINGS FOR DETAILS & STRUCTURAL PLANS FOR BLDG DIMENSIONS.
13. REMOVE EX. CURB. SAW CUT OF EX. PAVEMENT AND PROVIDE PAVEMENT HEADER. SEE DETAIL ON SHEET 11.
14. PROP. 15' PARKWAY
15. PROP. 6' CONCRETE SIDEWALK.
16. PROP. TYPE 10 CURB RAMP. SEE SHEET 12 FOR DETAILS.
17. 7' HIGH MONUMENT SIGN
18. 894 SF PUBLIC SIDEWALK EASEMENT REQUIRED BY TXDOT
19. ADDITIONAL 1 FOOT OF PAVING TO EXISTING 5.5' SIDEWALK

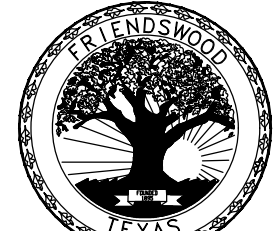
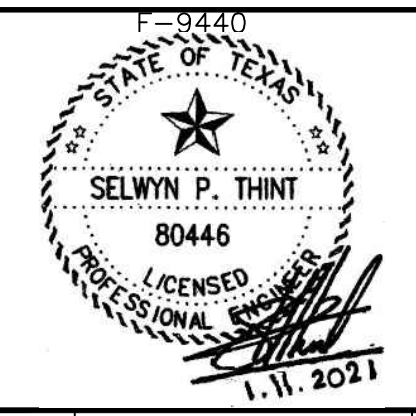
PARKING SUMMARY	
PARKING REQUIREMENTS	
RETAIL STORE:	
4 SPACES PER 1,000 SF OF GFA	
15,900 SF / 1000 X 4 =	64
TOTAL PARKING REQUIRED :	64
PROPOSED PARKING	
STANDARD PARKING (9'x19')	101
HANDICAP PARKING PROVIDED (INCLUDES 1 VAN ACCESSIBLE)	5
TOTAL PARKING PROVIDED :	106

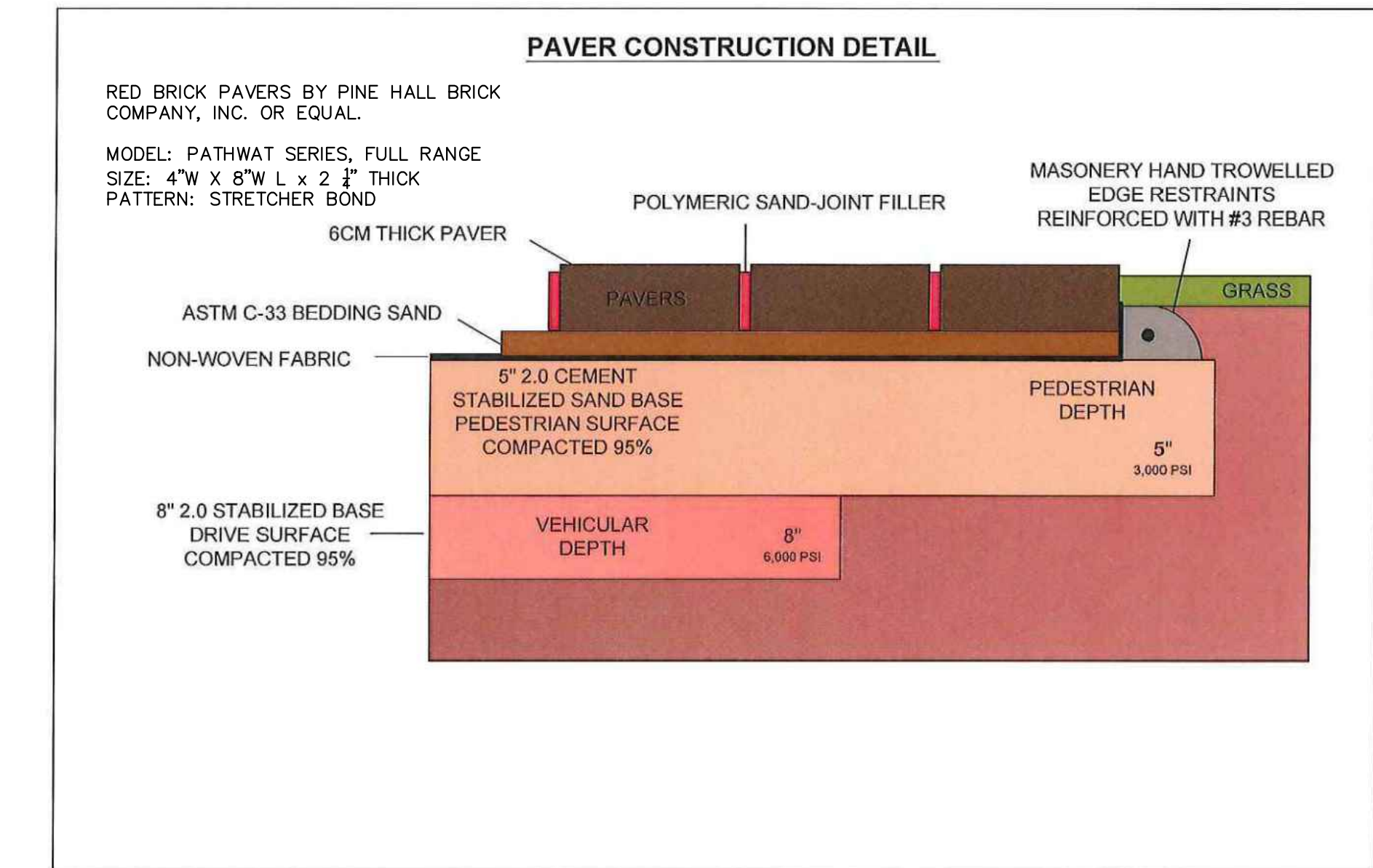
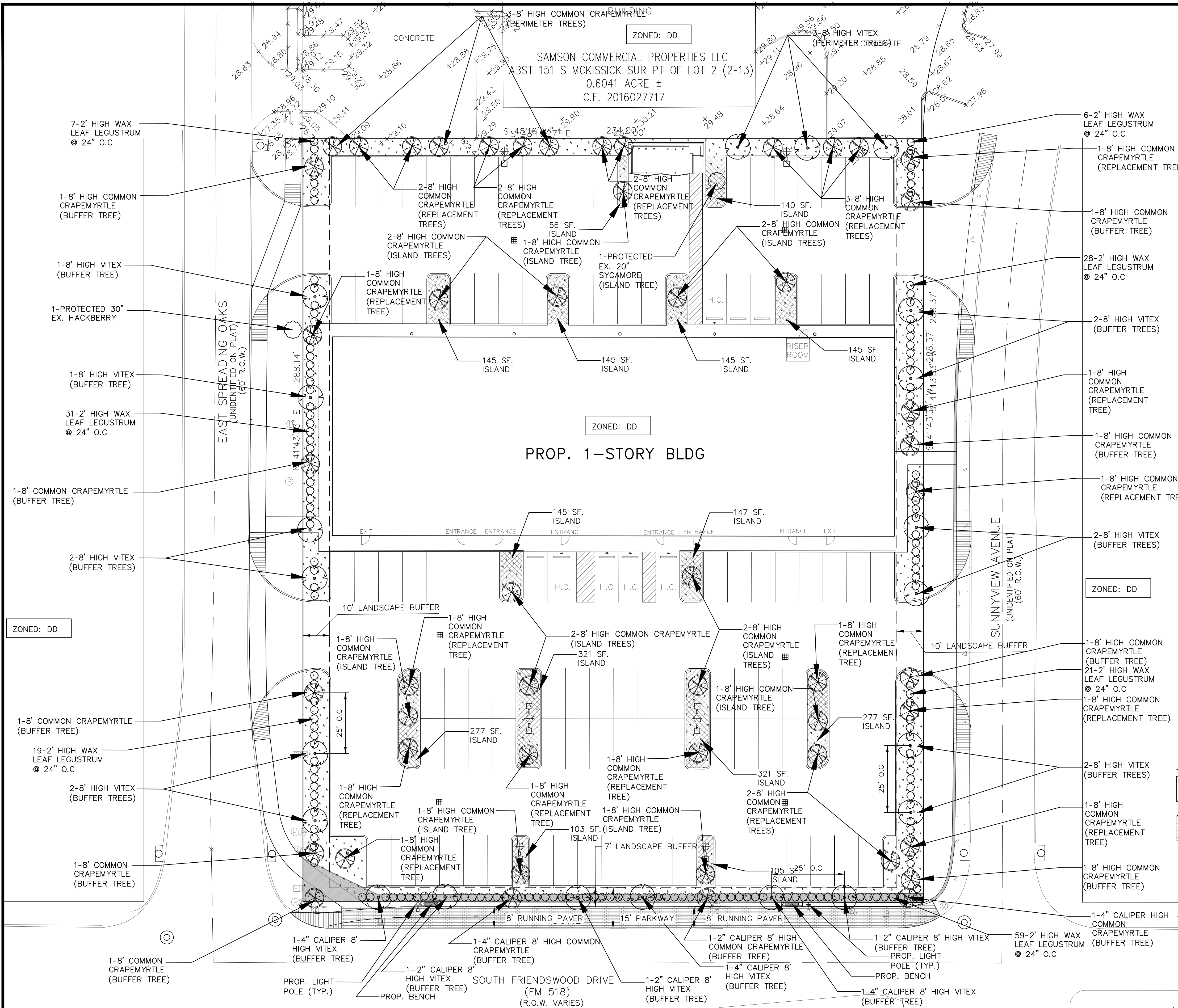
SITE DATA	
SITE AREA: 1.548 AC	
BUILDING SETBACKS	
FRONT: 0 FT	
SIDE: 0 FT	
REAR: 0 FT	
PROP. BUILDING USE: RETAIL	
PROP. BUILDING FOOTPRINT: 15,900 SF	

PROJECT BENCHMARK:
PUBLISHED ELEVATION - 26.34'
FLOODPLAIN REFERENCE MARK NUMBER AW1002 (E-459) IS A BRASS DISK WHICH IS LOCATED 5.20 MILES NORTHEAST ALONG FARM ROAD 528 FROM THE JUNCTION OF STATE HIGHWAY 35 (BUSINESS ROUTE) AT ALVIN, THENCE 0.1 MILE NORTHEAST ALONG A BLACK TOP ROAD, THENCE 0.4 MILE NORTHWEST ALONG A BLACK TOP ROAD, THENCE 0.30 MILE NORTHEAST ALONG A SHELL ROAD (BRIARMEADOW AVENUE), SOUTHWEST OF THE JUNCTION OF BRIARMEADOW AVENUE AND SUNSET DRIVE, 46.0' NORTHWEST OF THE CENTER LINE OF THE AVENUE, 185.0' SOUTHWEST OF THE CENTER LINE OF THE DRIVE, 143.0' SOUTHWEST OF A POWER POLE WITH GUY-WIRE, 77.0' NORTHWEST AND ACROSS THE AVENUE FROM A SPLIT RAIL FENCE, 34.5' SOUTHWEST OF A FENCE CORNER, 1.6' NORTH OF A WITNESS POST, SET IN THE TOP OF A CONCRETE POST PROJECTING 0.2' ABOVE THE GROUND, AND ABOUT LEVEL WITH THE AVENUE. (NGVD 1929, 1978 ADJ)

TEMPORARY BENCHMARK:
SET "X"
ELEVATION - 28.78'

FLOOD PLAIN NOTE
THIS PROPERTY LIES IN ZONE "X". ACCORDING TO F.I.R.M. MAP NO. 48167C 0041G, DATE 8/15/2019.

NO.	DATE	REVISIONS	APP.
			
JILDARDO ARIAS, P.E., CFM DIRECTOR OF ENGINEERING & PROJECTS/ CITY ENGINEER		DATE	
RENE IBARRA, CFM DIRECTOR OF PUBLIC WORKS		DATE	
NOTE: I, THE ENGINEER, CERTIFY THAT THE ABOVE SHOWN HAVE REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN GENERAL COMPLIANCE WITH THE REQUIREMENTS ESTABLISHED BY THE CITY OF FRIENDSHIP. I HAVE NOT CONDUCTED A FIELD SURVEY OF THE PROJECT. I HAVE ASSUMED THAT ALL INFORMATION PROVIDED TO ME IS TRUE AND CORRECT. I HAVE NOT CONDUCTED A FIELD SURVEY OF THE PROJECT. I HAVE ASSUMED THAT ALL INFORMATION PROVIDED TO ME IS TRUE AND CORRECT. I HAVE NOT CONDUCTED A FIELD SURVEY OF THE PROJECT. I HAVE ASSUMED THAT ALL INFORMATION PROVIDED TO ME IS TRUE AND CORRECT.			
 Planning, Engineering, Construction Management 907 S. FRIENDSWOOD DRIVE, STE 200 FRIENDSWOOD, TX 77546 PHONE: 281-993-3770 FAX: 281-648-2294			
FRIENDSHIP CENTER 501 S. FRIENDSWOOD DR FRIENDSWOOD, TX 77546			
SITE LAYOUT PLAN			
			
DRAWN BY: BP	PROJECT NO. 2019-1220	SHEET NO. 5	OF 19
DESIGNED BY: BP	DATE: JANUARY 11, 2021		
APPROVED BY: ST	SCALE: AS SHOWN		



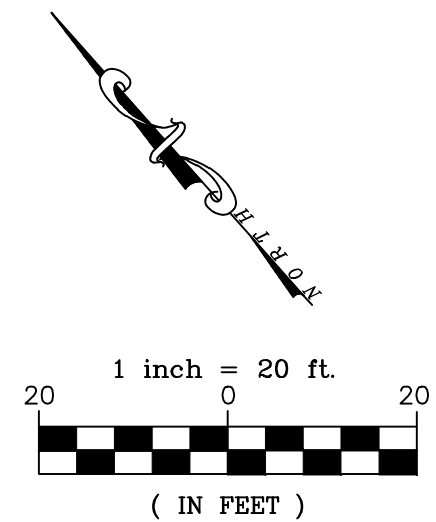
LANDSCAPE SUMMARY	
REQUIRED LANDSCAPING: APPENDIX C-SEC.8-N-3h. PARKING LOTS WITH MORE THAN 20 SPACES SHALL HAVE OPEN LANDSCAPE AREAS EQUAL TO 10% OF THE PARKING AREA AND DRIVES. 50% OF REQUIRED LANDSCAPING SHALL BE USED IN ISLANDS. AREA OF PARKING AND DRIVES = 39,297 SF TOTAL LANDSCAPE REQUIRED = 3,929 SF TOTAL LANDSCAPE IN ISLAND REQUIRED = 1,964 SF	
ISLAND TREES REQUIRED: 1 TREE REQUIRED PER ISLAND 14 ISLANDS PROVIDED = 14 ISLAND TREES REQUIRED ISLAND TREES PROVIDED: 14 PERIMETER TREES REQUIRED: 1 TREE FOR EVERY 40' LINEAR FEET. 234.00' = 6 TREES REQUIRED PERIMETER TREES PROVIDED: 6 BUFFER TREES REQUIRED: SOUTHEAST SIDE 288.37/25 = 2(25' DRIVEWAY) = 10 BUFFER TREES REQUIRED SOUTHWEST SIDE 234.00/25 = 10 BUFFER TREES REQUIRED NORTHWEST SIDE 288.14/25 = 2(25' DRIVEWAY) = 10 BUFFER TREES REQUIRED TOTAL BUFFER TREES PROVIDED: 30	
PROPOSED LANDSCAPING: TOTAL LANDSCAPE PROVIDED = 9,301 SF TOTAL LANDSCAPE IN ISLAND PROVIDED = 2,422 SF	

PLANT LIST				
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	REMARKS
	28	CRAPEMYRTLE	LAGESTROEMIA INDICA	PLANT @ 40' O.C 8' HIGH PLANT @ 25' O.C ON LANDSCAPE BUFFER
	23	CRAPEMYRTLE	LAGESTROEMIA INDICA	* REPLACEMENT TREES PLANT @ 40' O.C 8' HIGH PLANT @ 25' O.C ON LANDSCAPE BUFFER
	21	VITEX	VITEX AGNUS-CASTUS	8' HIGH PLANT @ 25' O.C ON LANDSCAPE BUFFER
	1	AMERICAN SYCAMORE	PLATANUS OCCIDENTALIS	* PROTECTED TREE
	171	WAX LEAF LIGUSTRUM	LIGUSTRUM JAPONIUM	PLANT 24\"/>

LEGEND	
	SOD AREA
	ISLAND AREA WITH SODDING
	LIGHT POLE
	BENCH



ALUMINUM POLE WITH TEARDROP FIXTURE
MANUFACTURER: HADCO
COLOR/FINISH: BLACK POWDER COAT
LIGHT MUST BE METAL HALIDE OR LED WITH FULL CUTOFF OR SEMI CUTOFF FIXTURES THAT EMIT 7,000 TO 8,000 LUMEN, OR EQUIVALENT THEREOF, AND 5,000 TO 6,000K (KELVIN-COLOR TEMPERATURE.
LAMP HEIGHT SHALL BE 12'. LAMP HEIGHT MINIMUM SHALL BE 10'. LAMP SHALL BE POSITIONED TOWARDS THE RIGHT-OF-WAY TO ILLUMINATE THE PUBLIC WALKWAY.



MANUFACTURER: WEBCOAT
PRODUCT: METAL BENCHES
MODEL: B5WBCLASSIC
SIZE: 5'
COLOR/FINISH: BLACK FINISH ALUMINUM FRAME W/ CONTOURED BACKS

- NOTES:**
- ALL TREES SHALL HAVE A CALIPER NO LESS THAN 2 INCHES MEASURED 18 INCHES ABOVE THE GROUND.
 - ALL TREES SHALL BE 8 FEET TALL AT PLANTING.

NO.	DATE	REVISIONS	APP.

JILDARDO ARIAS, P.E., CFM
DIRECTOR OF ENGINEERING & PROJECTS/
CITY ENGINEER

RENE IBARRA, CFM
DIRECTOR OF PUBLIC WORKS

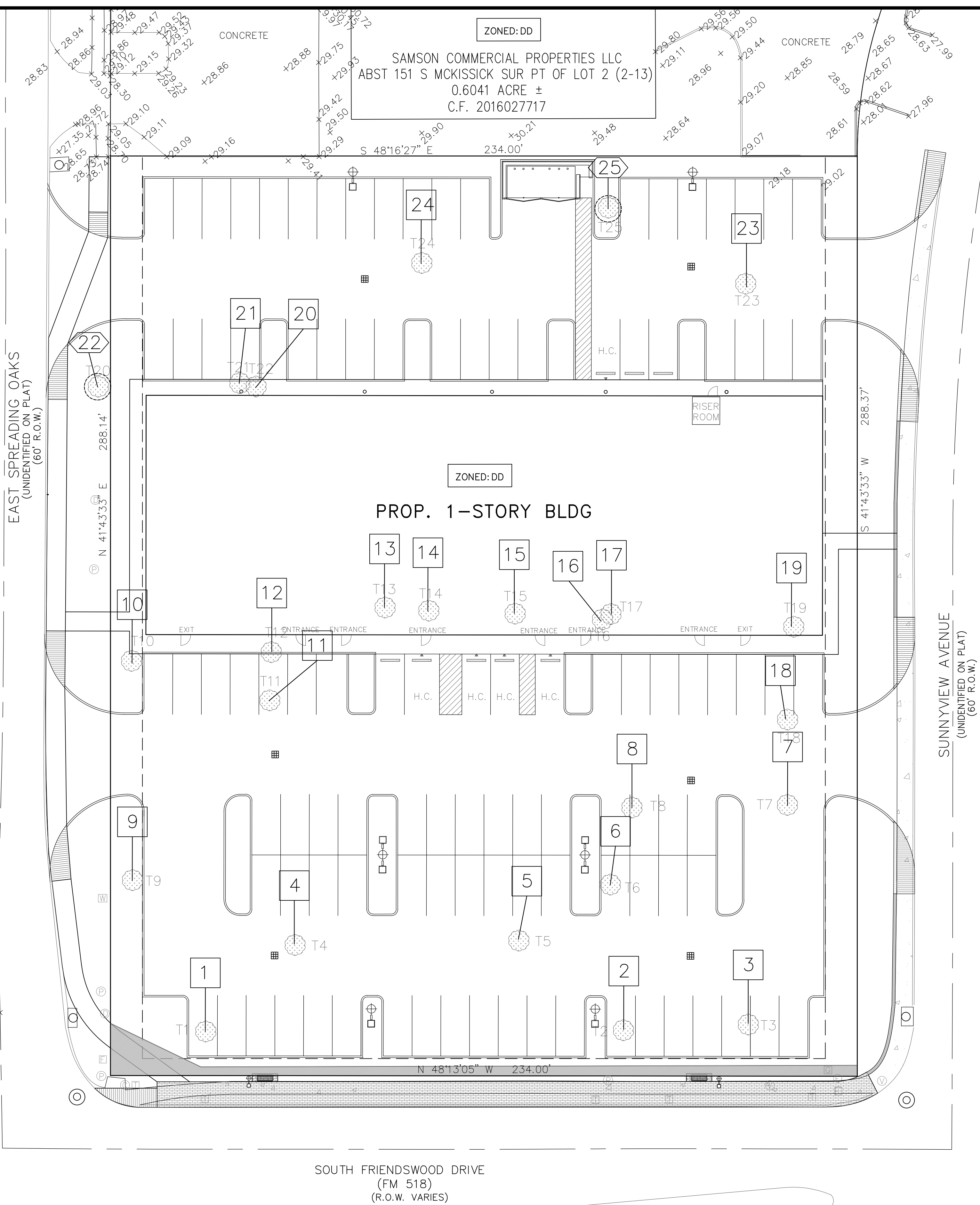
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FRIENDSHIP CENTER
501 S. FRIENDSWOOD DR
FRIENDSWOOD, TX 77546

LANDSCAPE PLAN

DRAWN BY: BP	PROJECT NO. 2019-1220	SHEET NO.
DESIGNED BY: BP	DATE: JANUARY 11, 2021	19 OF 19
APPROVED BY: ST	SCALE: AS SHOWN	

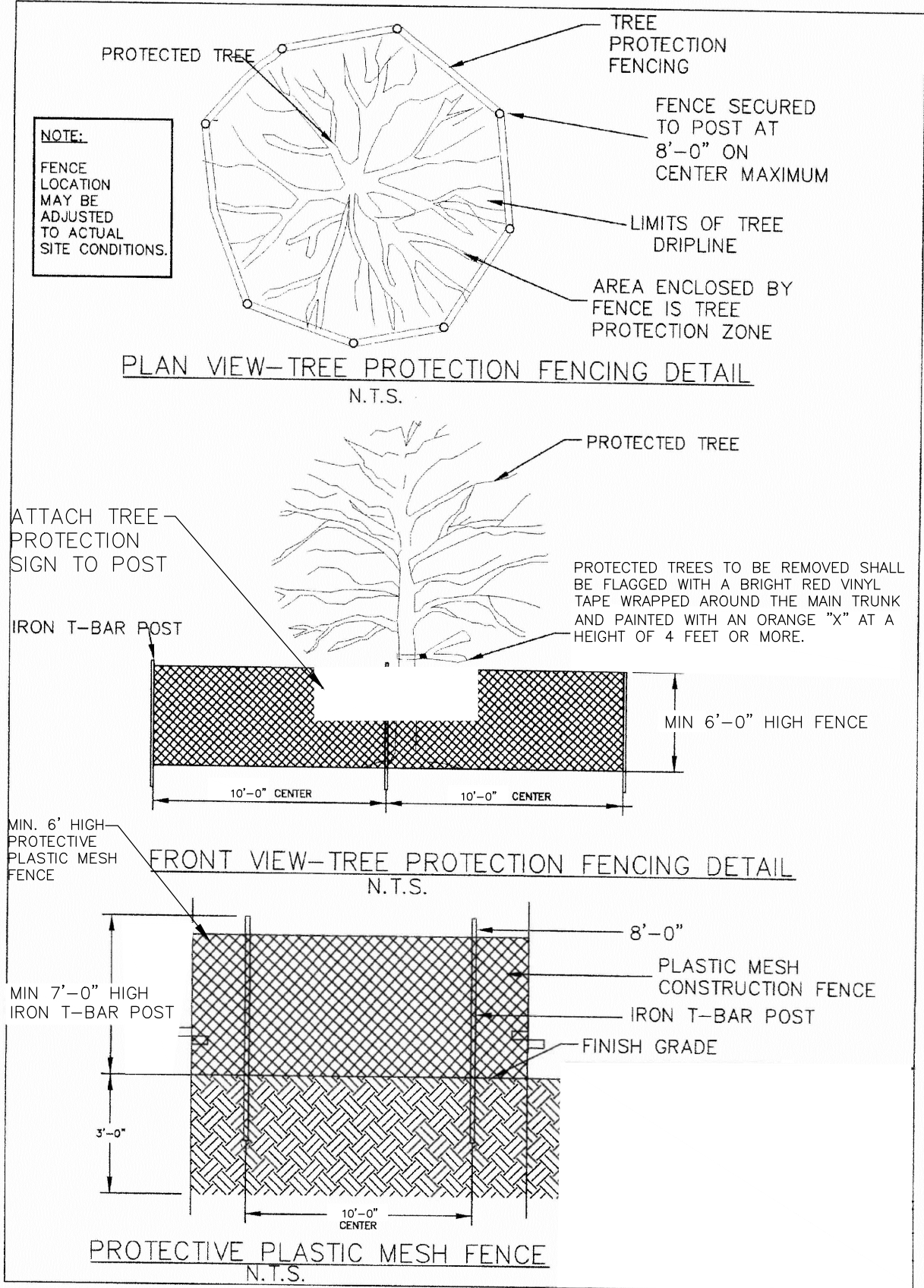


TREE REPLACEMENT LIST *				
QTY	SYM.	BOTANICAL NAME	COMMON NAME	CALIPER SIZE
23	CM	LAGESTROEMIA INDICA	CRAPEMYRTLE	3"
TOTAL REPLACEMENT TREES PROVIDED:				23

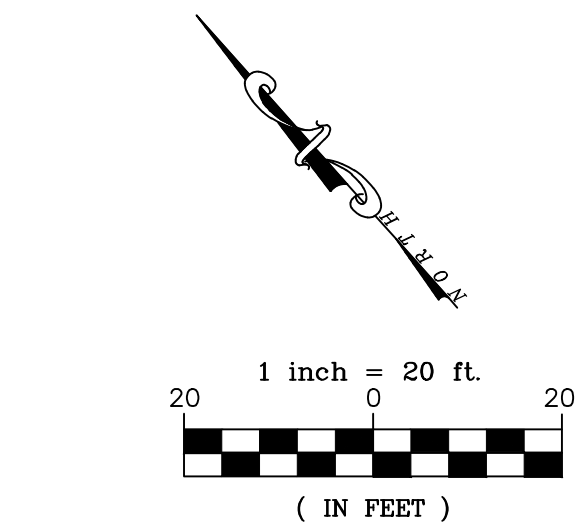
* SEE SHEET 20 FOR LOCATION OF REPLACEMENT TREES

TREE PRESERVATION PLAN LEGEND	
NO.	TREE NUMBER/LOCATION
NO.	PROTECTED TREE TO BE REMOVED
NO.	EXISTING TREE TO REMAIN
-----	TREE PROTECTION FENCE (SEE THIS SHEET FOR PROTECTION DETAIL)

TREE REMOVAL LIST			
TREE NO.	BOTANICAL NAME	DESCRIPTION	REPLACEMENT REQUIRED
1	ARECACEAE	15" PALM	3" CALIPER
2	ARECACEAE	18" PALM	3" CALIPER
3	QUERCUS SPP.	30" OAK	3" CALIPER
4	PINUS TAEDA L.	24" PINE	3" CALIPER
5	PINUS TAEDA L.	24" PINE	3" CALIPER
6	PINUS TAEDA L.	24" PINE	3" CALIPER
7	PINUS TAEDA L.	26" PINE	3" CALIPER
8	PINUS TAEDA L.	26" PINE	3" CALIPER
9	QUERCUS SPP.	40" OAK	3" CALIPER
10	ARECACEAE	16" PALM	3" CALIPER
11	QUERCUS SPP.	37" OAK	3" CALIPER
12	PINUS TAEDA L.	24" PINE	3" CALIPER
13	PINUS TAEDA L.	24" PINE	3" CALIPER
14	PINUS TAEDA L.	24" PINE	3" CALIPER
15	PINUS TAEDA L.	27" PINE	3" CALIPER
16	PINUS TAEDA L.	20" PINE	3" CALIPER
17	PINUS TAEDA L.	30" PINE	3" CALIPER
18	CARYA ILLINOINENSIS	15" PECAN	3" CALIPER
19	QUERCUS SPP.	30" OAK	3" CALIPER
20	QUERCUS SPP.	20" OAK	3" CALIPER
21	QUERCUS SPP.	20" OAK	3" CALIPER
23	QUERCUS SPP.	60" OAK	3" CALIPER
24	QUERCUS SPP.	37" OAK	3" CALIPER
TOTAL CALIPER REQUIRED: 69" CALIPER REQUIRED			



TREES TO REMAIN			
TREE NO.	BOTANICAL NAME	DESCRIPTION	TREATMENT
22	CELTIS OCCIDENTALIS	30" HACKBERRY	FENCE
25	PLATANUS OCCIDENTALIS	20" SYCAMORE	FENCE

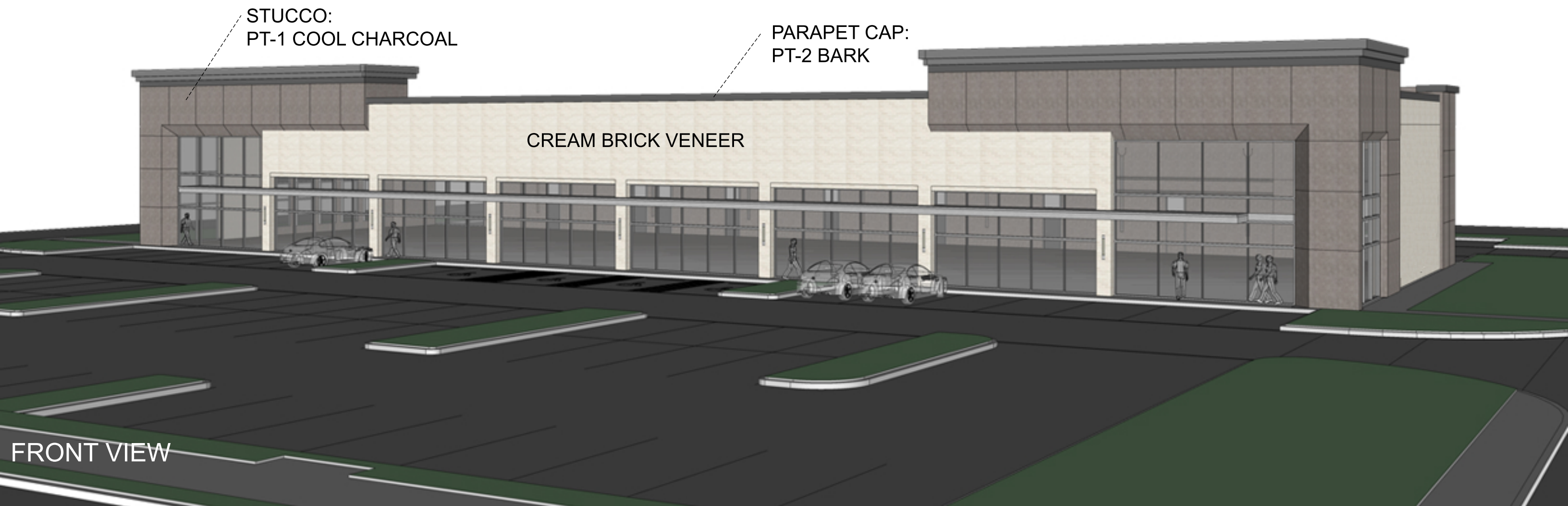


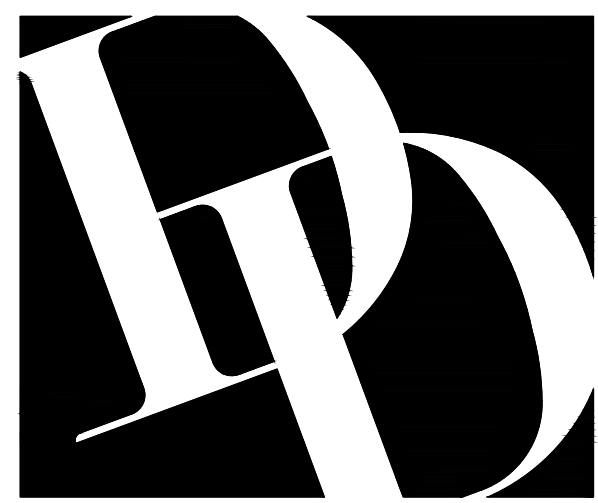
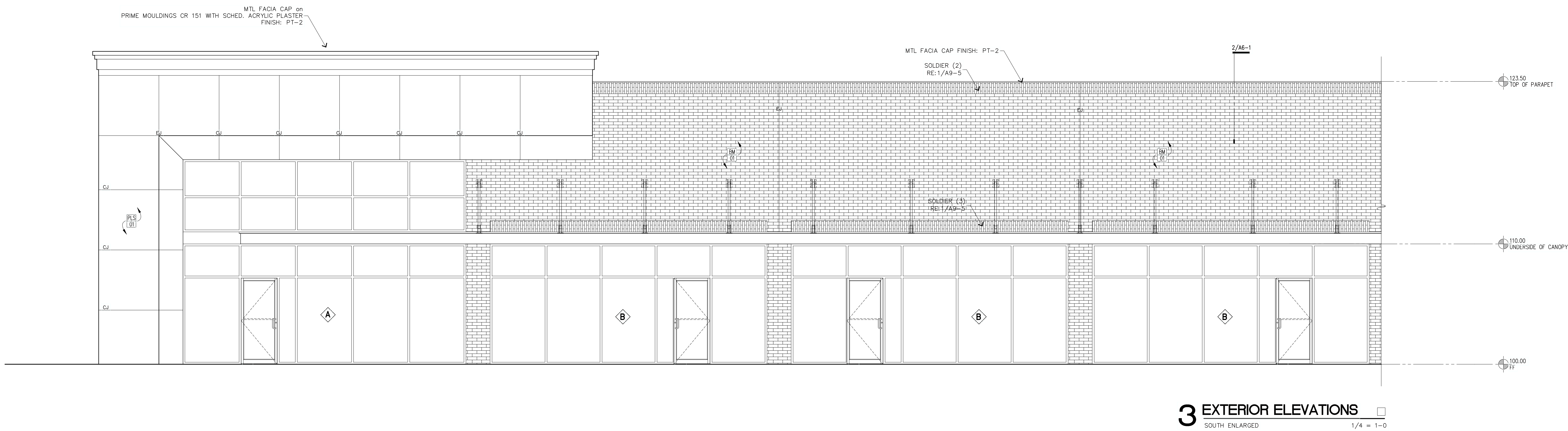
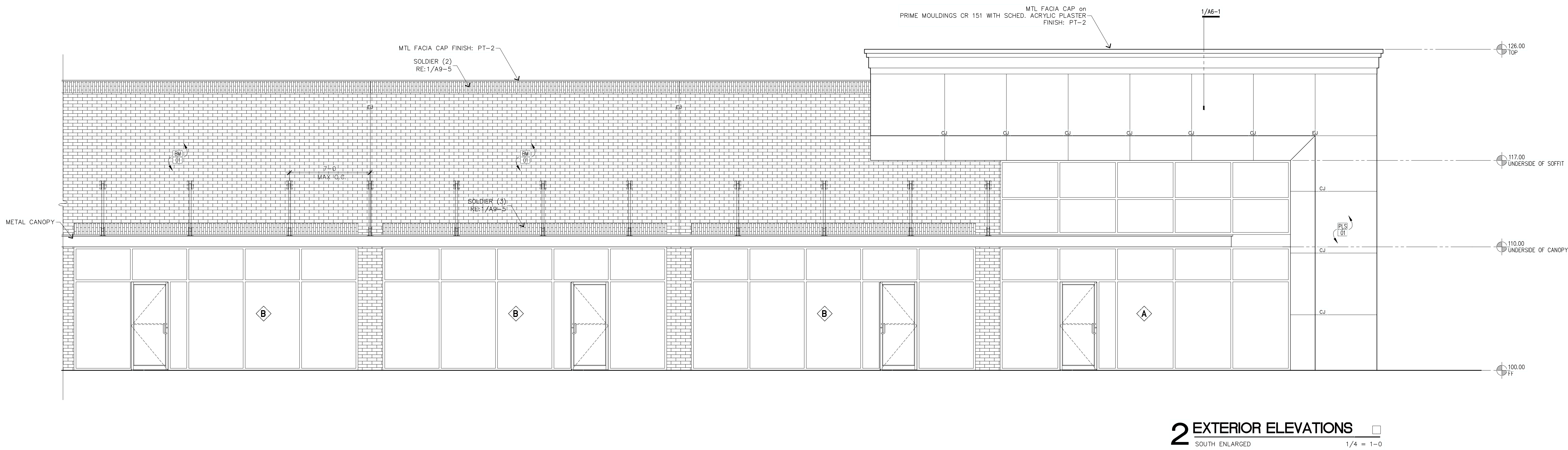
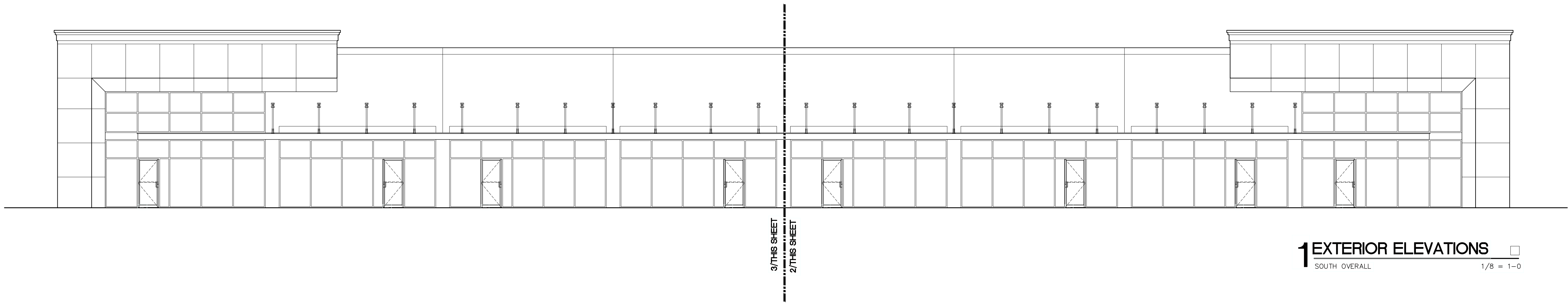
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TEMPORARY BENCHMARK:
SET "X"
ELEVATION - 28.78'

FLOOD PLAIN NOTE
THIS PROPERTY LIES IN ZONE "X". ACCORDING TO F.I.R.M. MAP NO. 48167C 0041G, DATE 8/15/2019.

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JILDARDO ARIAS, P.E., CFM DIRECTOR OF ENGINEERING & PROJECTS/ CITY ENGINEER		DATE	
RENE IBARRA, CFM DIRECTOR OF PUBLIC WORKS		DATE	
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FRIENDSHIP CENTER 501 S. FRIENDSWOOD DR FRIENDSWOOD, TX 77546			
TREE PROTECTION & MITIGATION PLAN			
DRAWN BY: BP		PROJECT NO. 2019-1220	
DESIGNED BY: BP		DATE: JANUARY 11, 2021	
APPROVED BY: ST		SCALE: AS SHOWN	
SHEET NO.		18 OF 19	





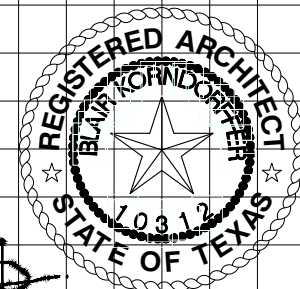
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Revisions

No.	IOC	Date	Description
		10/27/20	ISSUE FOR PERMIT
		10/27/20	ISSUE FOR CONSTRUCTION



0 4.0 8.0 12.0
SCALE: 1/4
PLOTTEP: Jul 17, 2020 File: 1954.301 c501-3.60.dwg

FRIENDSHIP CENTER

501 S FRIENDSWOOD DR
FRIENDSWOOD, TEXAS

1954.300

Sheet Date: 10/27/20

Sheet Title:

EXTERIOR ELEVATIONS

Sheet No.:

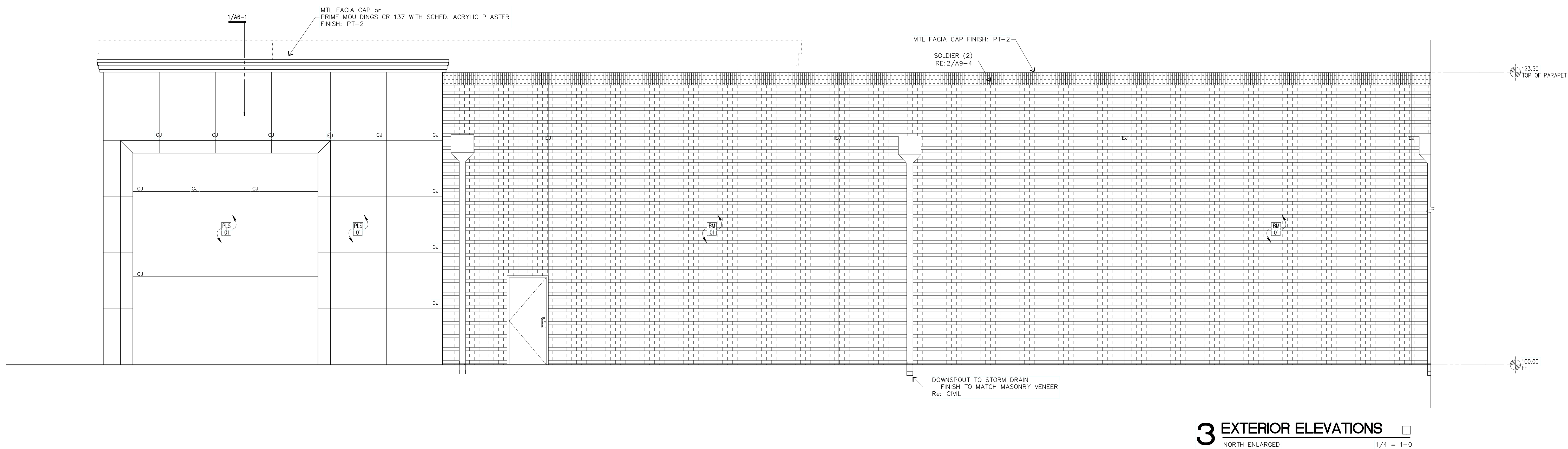
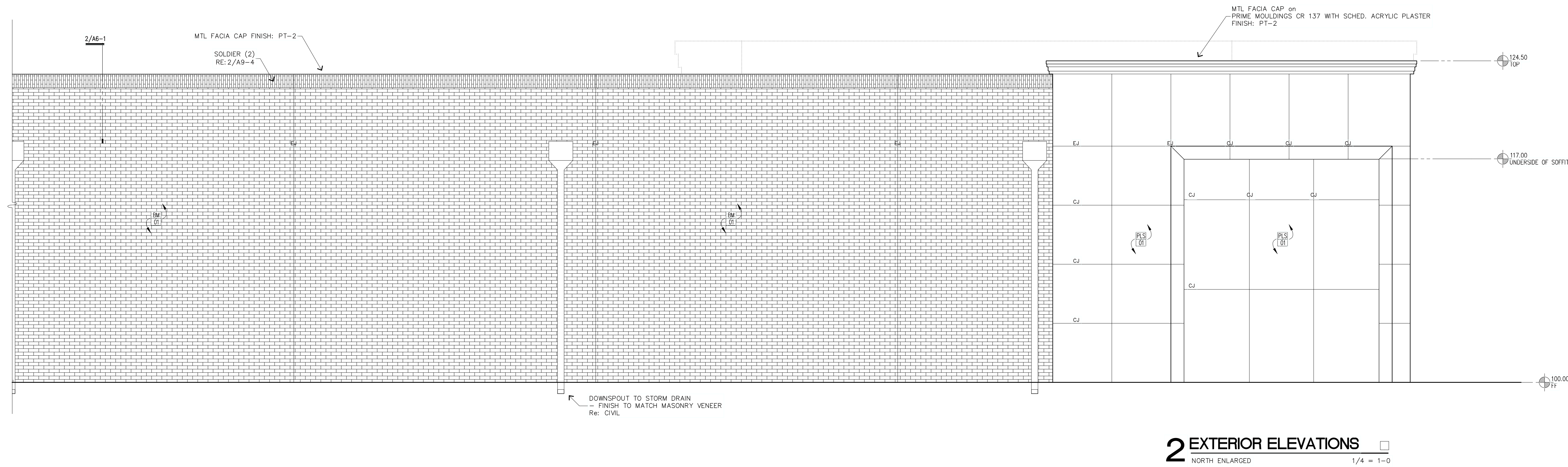
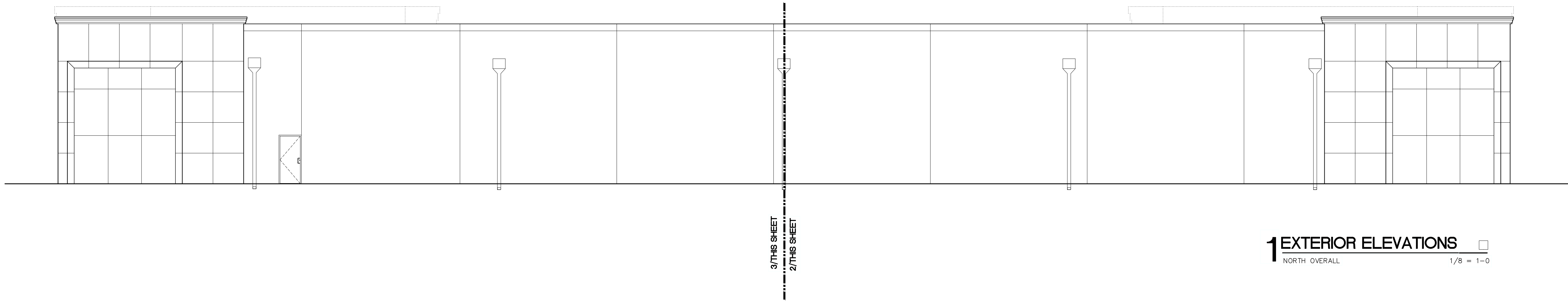
A5-01

Drawn By: Project Manager: Project Arch:

MHB JAG JBK

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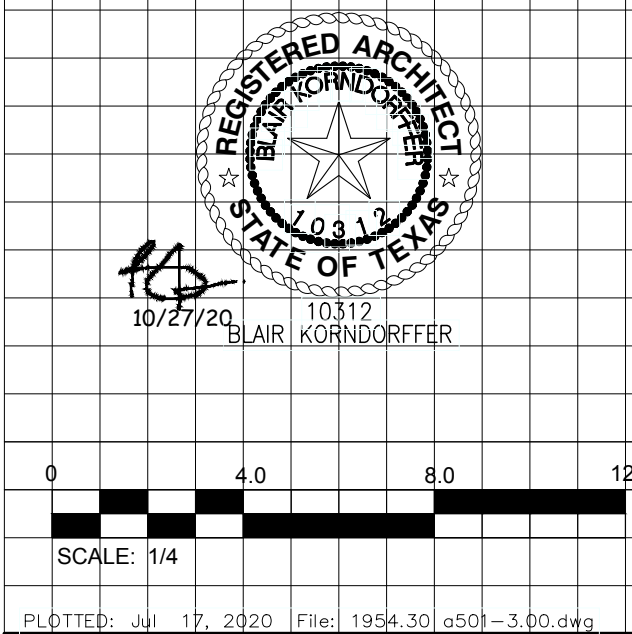


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Revisions

No.	IOC	Date	Description
		10/27/20	Issue for Permit
		10/27/20	Issue for Construction



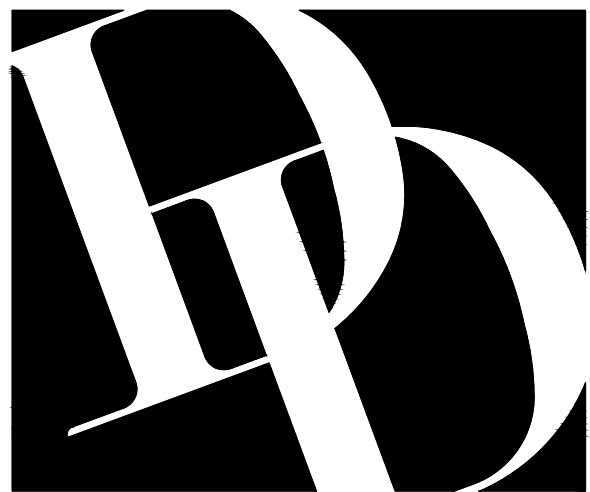
FRIENDSHIP CENTER

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FRIENDSWOOD, TEXAS

1954.300
Sheet Date: 10/27/20
Sheet Title:
EXTERIOR ELEVATIONS

Sheet No.:
A5-02

Drawn By: MHB Project Manager: JAG Project Arch: JBK
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Revisions

No.	IOC	Date	Description
		10/27/20	Issue for Permit
		10/27/20	Issue for Construction

10/27/20 10312
BLAIR KORNDORFER

10/27/20 10312
BLAIR KORNDORFER

10/27/20 10312
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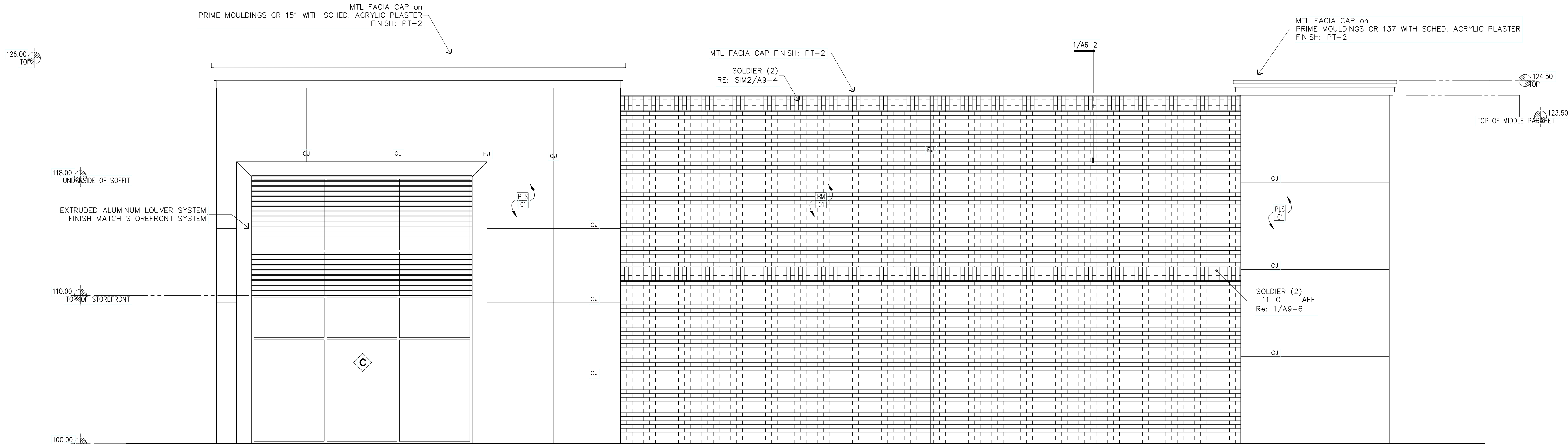
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BLAIR KORNDORFER

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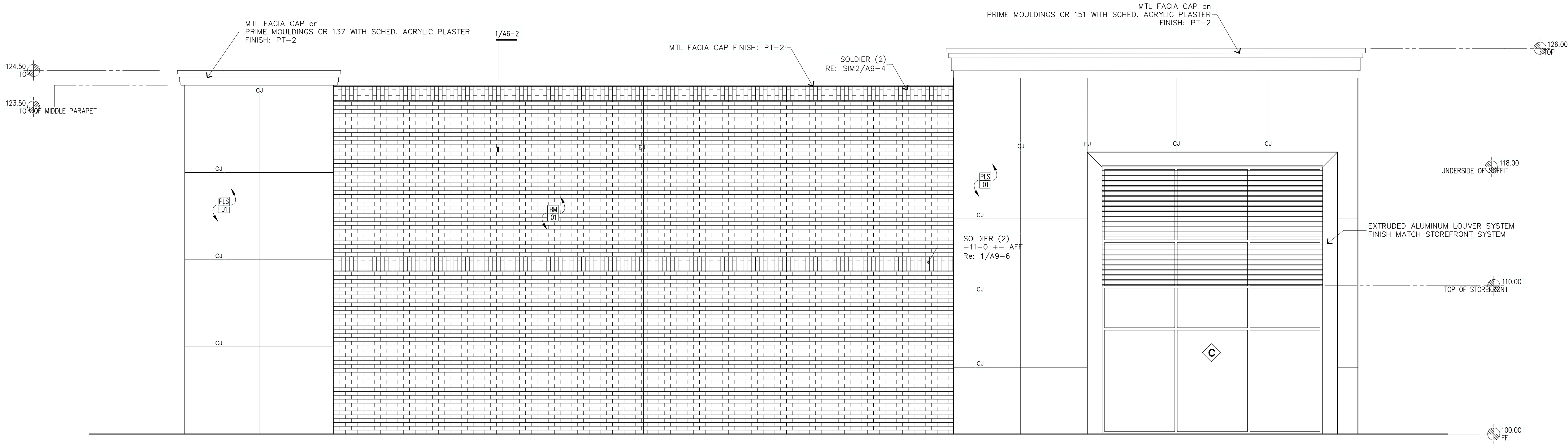
10/27/20 10312
BLAIR KORNDORFER



1 EXTERIOR ELEVATIONS

EAST

1/4" = 1'-0"



2 EXTERIOR ELEVATIONS

WEST

1/4" = 1'-0"

STANDARD MORTAR TYPES

UNLESS OTHERWISE SPECIFIED, PROVIDE MORTAR as SPECIFIED FOR THE FOLLOWING CONDITIONS:

PORTLAND CEMENT, ASTM C270.

TYPE M: Structural Requirements and for grouting reinforcing steel in masonry lintels.

TYPE S: All Exterior Work.

TYPE N: All Interior Work.

Depending on the desired strength and consistency, lime mortars should conform to ASTM C207 and ASTM C206, Mortar for Masonry, such as:

- | | |
|-----------------------|--------|
| 1. Type M (2,500 psi) | 3:1:12 |
| 2. Type S (1,800 psi) | 2:1:9 |
| 3. Type N (750 psi) | 1:1:6 |
| 4. Type O (350 psi) | 1:2:9 |
| 5. Type K (75 psi) | 1:3:11 |
| 6. Type L: | 0:1:3 |

Portland cement: ASTM C150, Type I, non-staining and without air entrainment. Gray and white Portland cement may be combined as required to match the desired color.

Hydrated Lime: ASTM C207, Type S.

Lime Putty (slaked lime): should conform to ASTM C5.

Sand: ASTM C144 Standard Specification for Aggregate for Masonry Mortar, free of clay, silt, soluble salts, and organic matter; shall match the color, size gradation, and texture of the original mortar sand.

Water: Potable, free from injurious amounts of oil, soluble salts, alkali, acids, organic impurities and other deleterious substances which impair mortar strength or bonding.

Masonry Cement (premixed, bagged mortar): shall NOT be used.

DO NOT USE MORTAR or GROUT WHICH HAS BEGUN TO SET or IF MORE THAN 2 1/2 HOURS HAVE ELAPSED SINCE INITIAL MIXING.

FILL ALL MORTAR JOINTS COMPLETELY. KEEP ALL AIR and EXPANSION JOINTS CLEAR OF MORTAR.

TOOL JOINT WITH CONCAVE PROFILE UNLESS SPECIFIED OTHERWISE.

BRICK MASONRY

MASONRY WORK SHALL COMPLY WITH THE STANDARDS AS RECOMMENDED BY THE BRICK INSTITUTE of AMERICA (BIA) and THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA).

MARK	DESCRIPTION	MANUFACTURER	Note
BM1	MISSION ONE (KING SIZE)	**ACME	SELECT BY ARCHITECT
MORTAR: SM250 ANTIQUE WHITE (SPECMIX)			

BRICK MASONRY shall be OBTAINED FROM ONE MANUFACTURER, CURED BY ONE PROCESS AND OF UNIFORM TEXTURE and COLOR for EACH TYPE REQUIRED.

DO NOT CHANGE BRANDS of MASONRY MORTAR MATERIAL DURING the COURSE of WORK.

FACE BRICK SHALL COMPLY WITH ASTM C216, GRADE SW
HOLLOW BRICK SHALL COMPLY WITH ASTM C652

BRICK SHALL BE LAID PLUMB AND TRUE TO LINES SO THAT NO INACCURACIES ARE VISIBLE TO THE EYE OR IN EXCESS OF 1/8 INCH IN THE LENGTH of 48 INCHES LEVEL. JOINT WIDTHS MAY VARY SLIGHTLY, IF REQUIRED, TO ACCOMMODATE VARIATIONS IN UNIT SIZES TO ACHIEVE GOOD JOINT ALIGNMENT WITH A MAXIMUM VARIATION from SPECIFIED SIZE OF 1/4 ± HORIZONTAL and 1/2 ±, 1/4- VERTICAL.

LAY EXPOSED MASONRY IN the BOND PATTERN SHOWN OR, IF NOT SHOWN, LAY IN RUNNING BOND WITH VERTICAL JOINT IN EACH COURSE CENTERED ON UNITS IN COURSE ABOVE AND BELOW. LAY CONCEALED MASONRY WITH ALL UNITS IN A WYTHE BONDED BY LAPPING NOT LESS THAN 2 INCHES. BOND AND INTERLOCK EACH COURSE OF EACH WYTHE AT CORNERS.

DO NOT USE UNITS WITH LESS THAN 4 INCHES HORIZONTAL FACE DIMENSIONS at CORNERS or JAMBS.

MASONRY VENEER TIES

MASONRY TIES SHALL BE TWO-PIECE, VERTICALLY ADJUSTABLE NOT-UP GALVANIZED, ASTM C155, Class R, MIN 3/16 DIA WITH NO MECHANICAL PLAY IN EXCESS OF 0.05 INCH. EMBED MIN 2 IN INTO MASONRY WYTHE and SECURE TO STUD THRU SHEATHING.

PROVIDE MASONRY TIES at 16 oc VERTICAL AND HORIZONTAL, SO AS TO PROVIDE NO DEFORMATION OVER 0.05 in per 100 lb LOAD in EITHER TENSION or COMPRESSION. INSTALL ADDITIONAL TIES at 8 oc at ALL JAMB AND EDGE CONDITIONS.

NO FLAT, CORRUGATED TIES WILL BE ACCEPTED.

FRIENDSHIP CENTER

501 S FRIENDSWOOD DR
FRIENDSWOOD, TEXAS

1954.300

Sheet Date: 10/27/20

Sheet Title:

EXTERIOR ELEVATIONS

Sheet No.:

A5-03

Drawn By: Project Manager: Project Arch:
MHB JAG JBK

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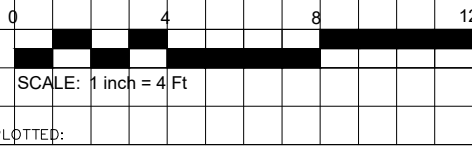
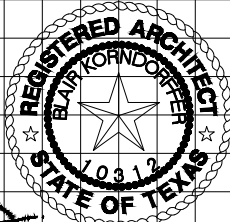
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Revisions

No.	IOC	Date	Description
			Issue for Picing
		10/27/20	ISSUE FOR PERMIT
		10/27/20	ISSUE FOR CONSTRUCTION

1 12/03/20 REVISED PHOTOMETRIC PLAN PER CITY COMMENT



FRIENDSHIP CENTER

501 S FRIENDSWOOD DR
FRIENDSWOOD, TEXAS

1954.300
Sheet Date: 10/27/20
Sheet Title:
PHOTOMETRIC PLAN

Sheet No.:

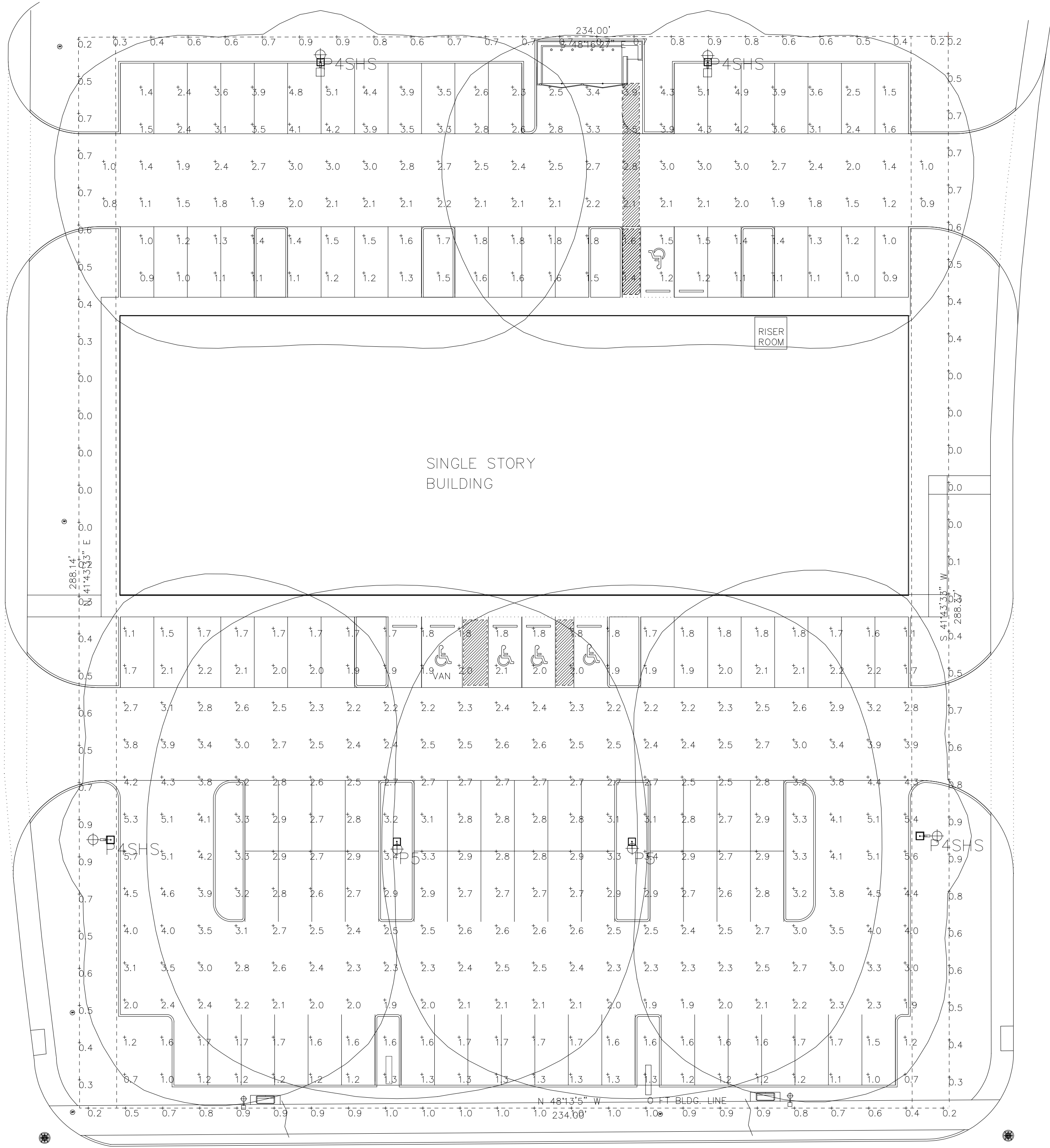
A2-02

Drawn By Project Manager Project Arc

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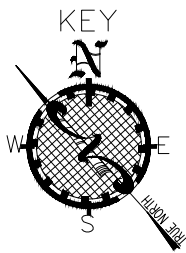
EAST SPREADING OAKS
(60' R.O.W.)

SUNNYVIEW AVENUE
(60' R.O.W.)

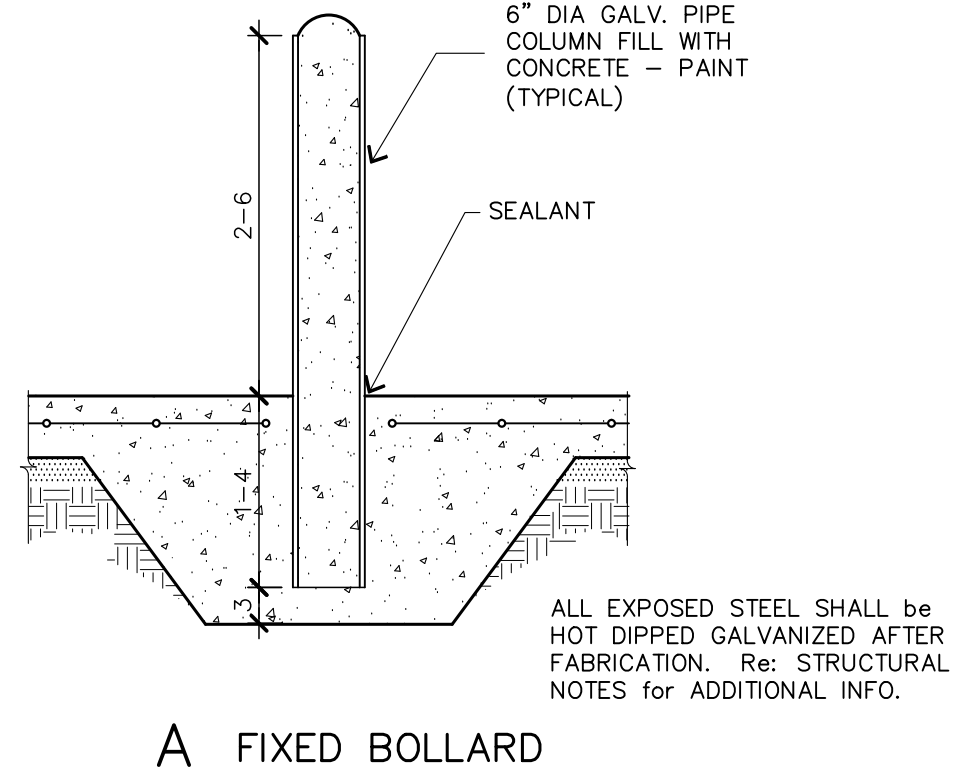


SOUTH FRIENDWOOD DR
(R.O.W. VARIES)

1 PHOTOMETRIC PLAN
1/16 = 1'-0"

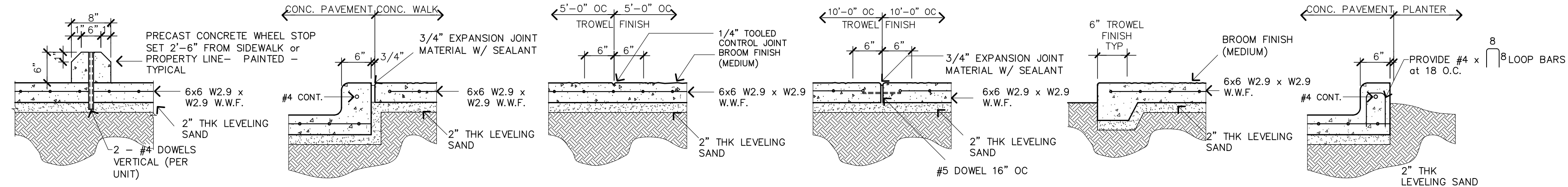


Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
	2	P5	SINGLE	24281	171	0.925	McGraw Edison GLEON-SA4B-740-VOLT-SWQ-FINISH
	4	P4SHS	SINGLE	23157	225	0.925	McGraw Edison GLEON-SA4C-740-VOLT-SL4-HSS-FINISH



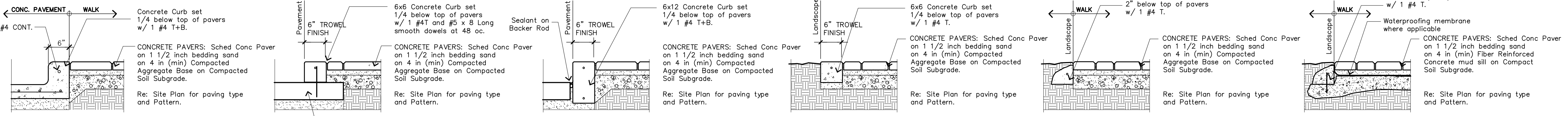
2 BOLLARD DETAILS

NTS



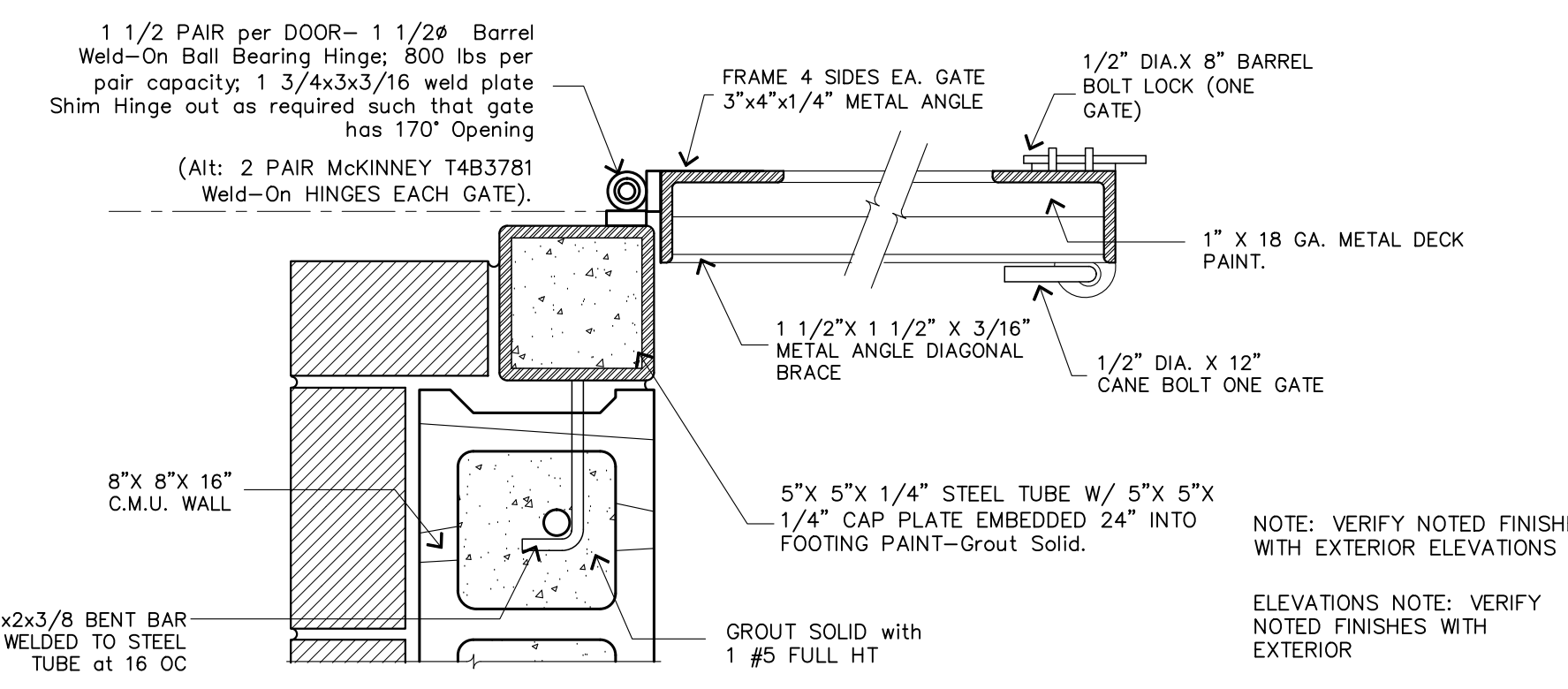
1 SITE DETAILS

NTS



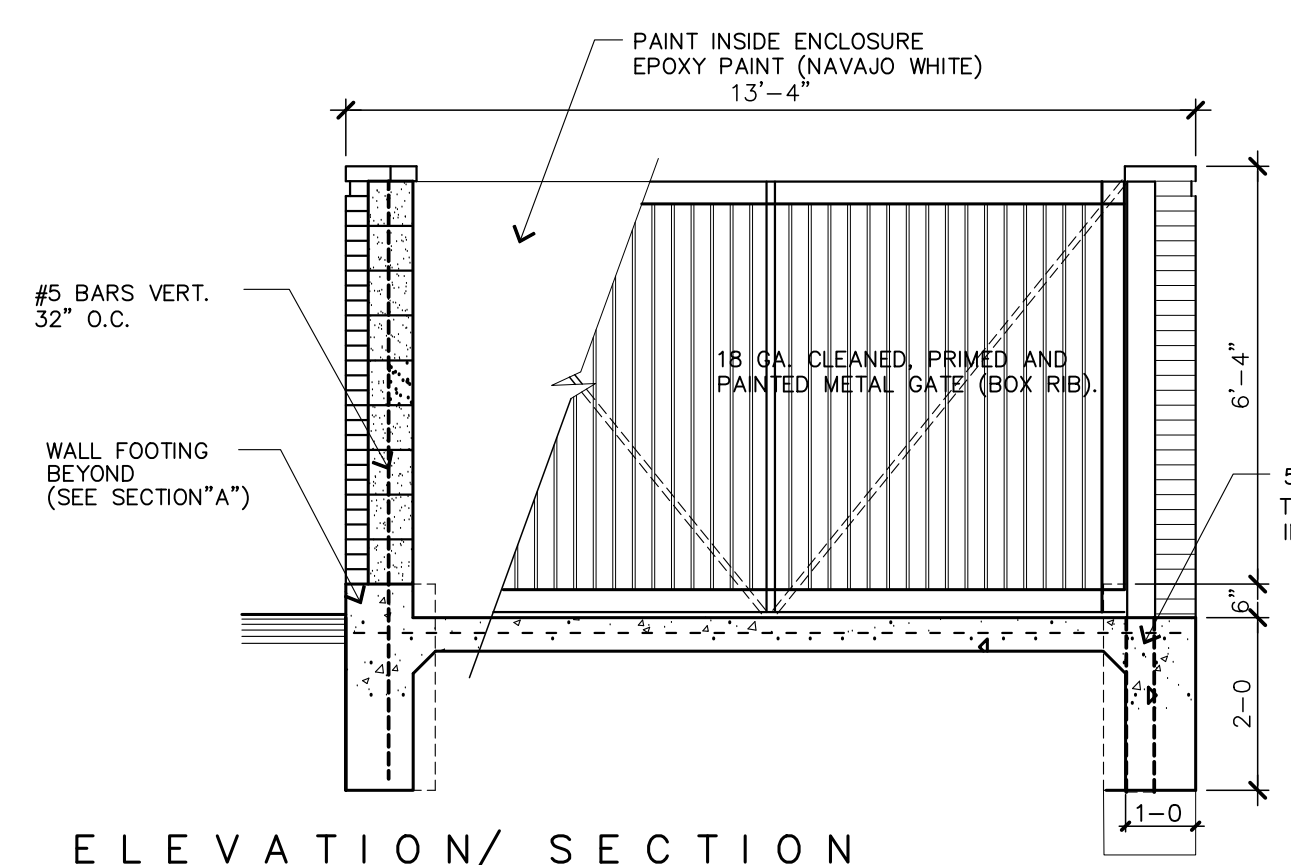
3 SITE DETAILS

CURB & SIDEWALK CONCRETE PAVERS 3/4 = 1-0



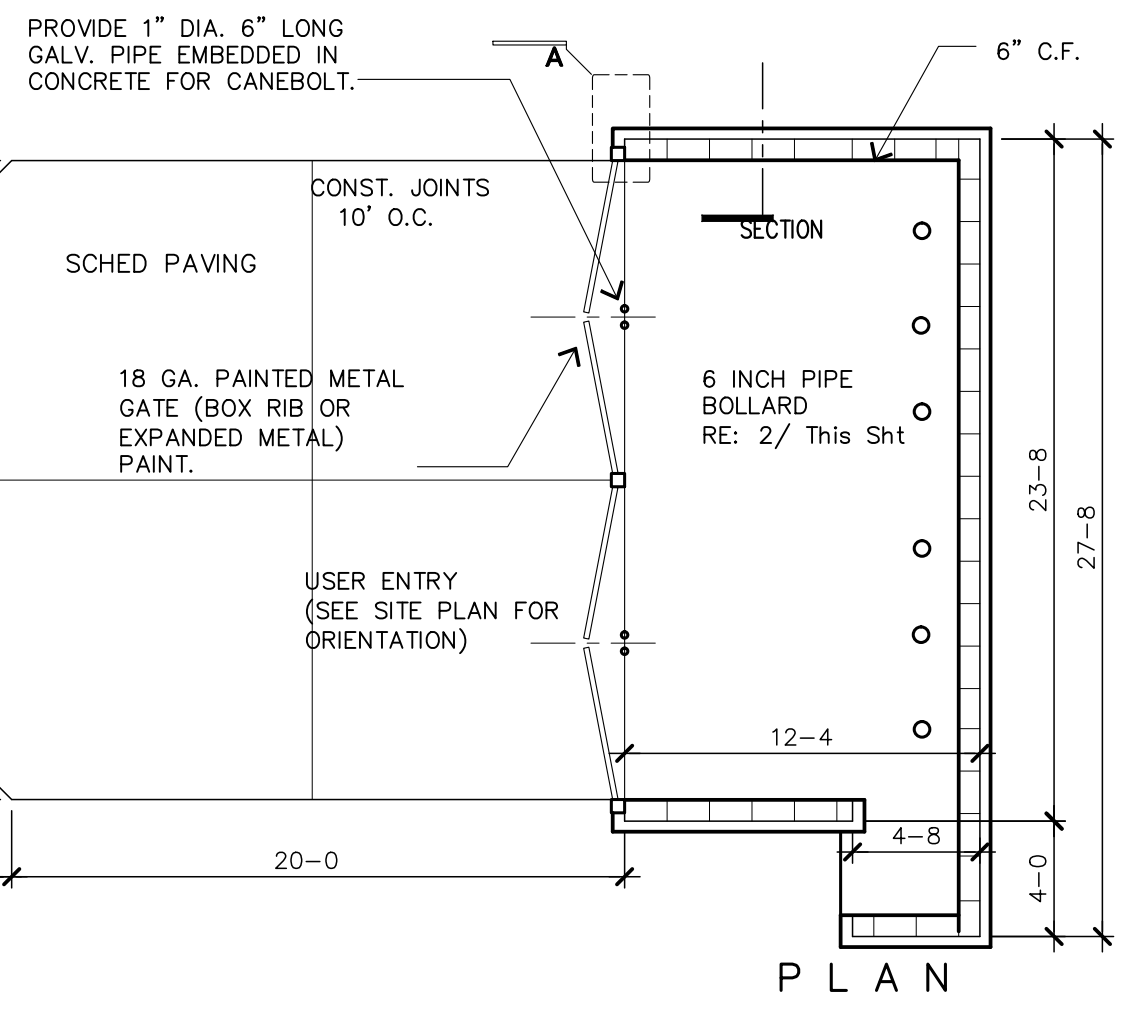
DETAIL 1 1/2 SCALE

EXPOSED STEEL:
ALL EXPOSED STEEL SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION. RE: STRUCTURAL NOTES FOR ADDITIONAL INFO.



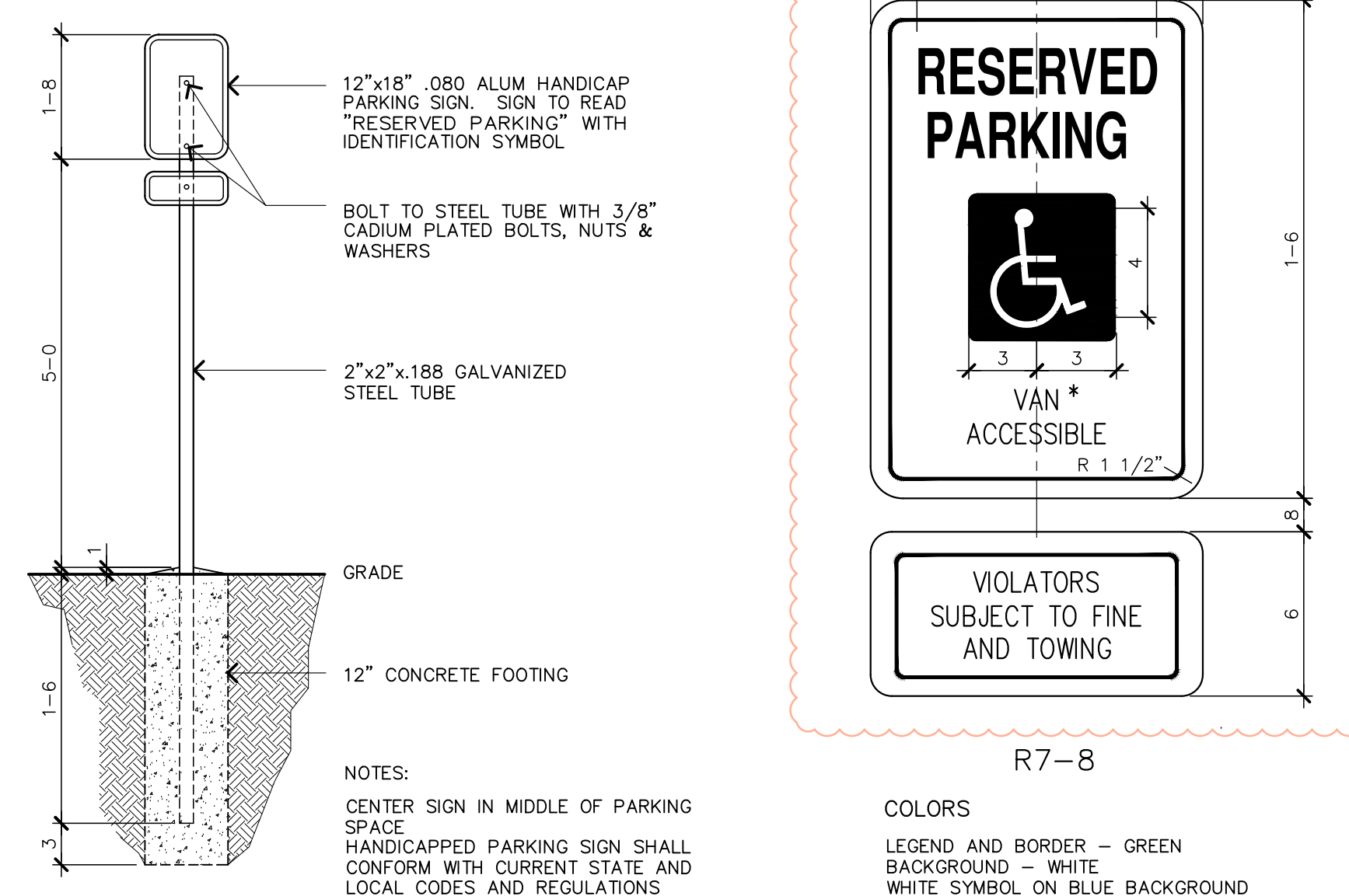
ELEVATION/ SECTION

PIER PLAN NTS



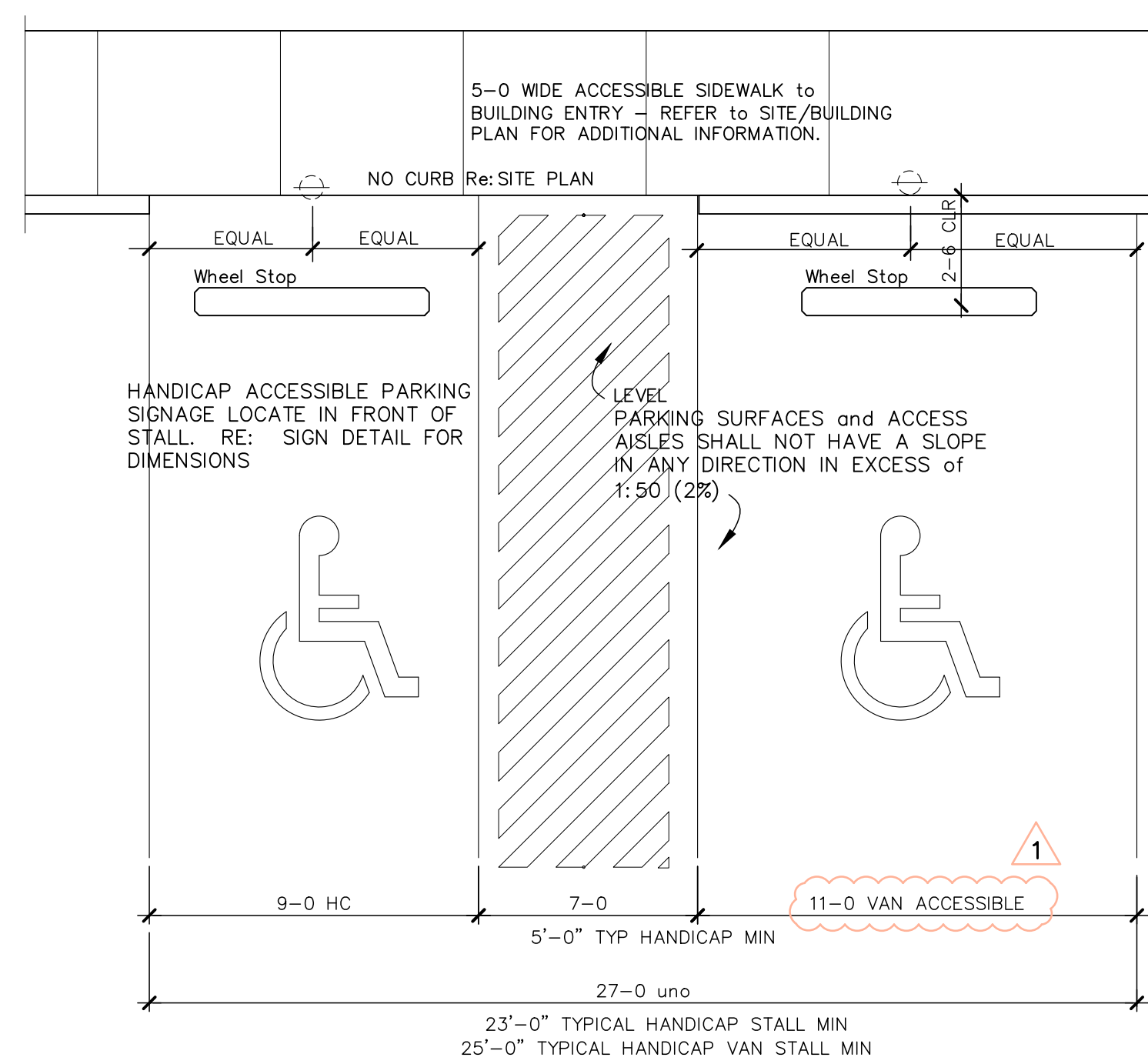
7 SITE DETAILS

DUMPSTER ENCLOSURE 3/4 = 1-0



3 SITE DETAILS

ACCESSIBLE PARKING SPACE NTS



4 SITE DETAILS

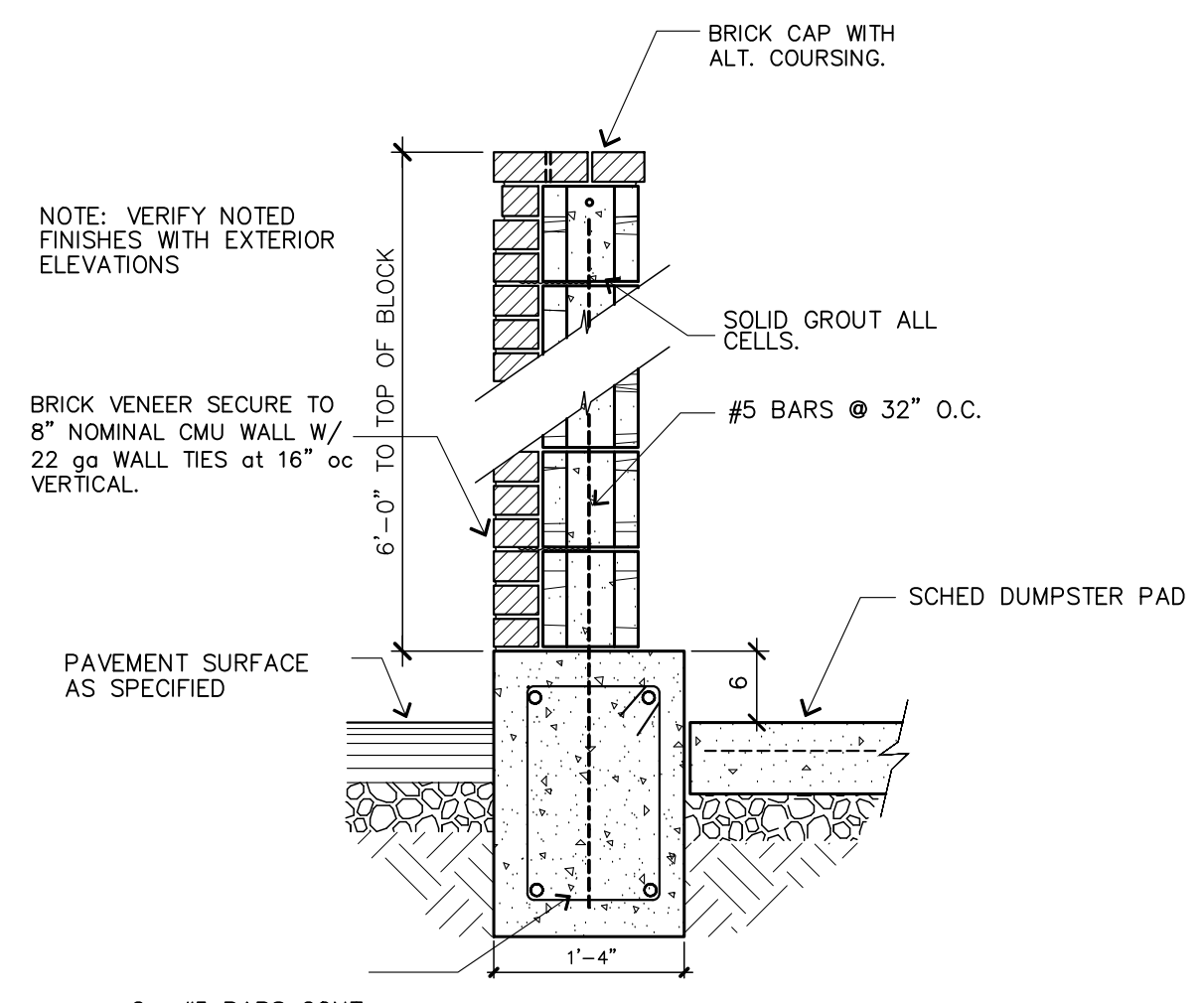
ACCESSIBLE PARKING SPACE NTS

NOTES

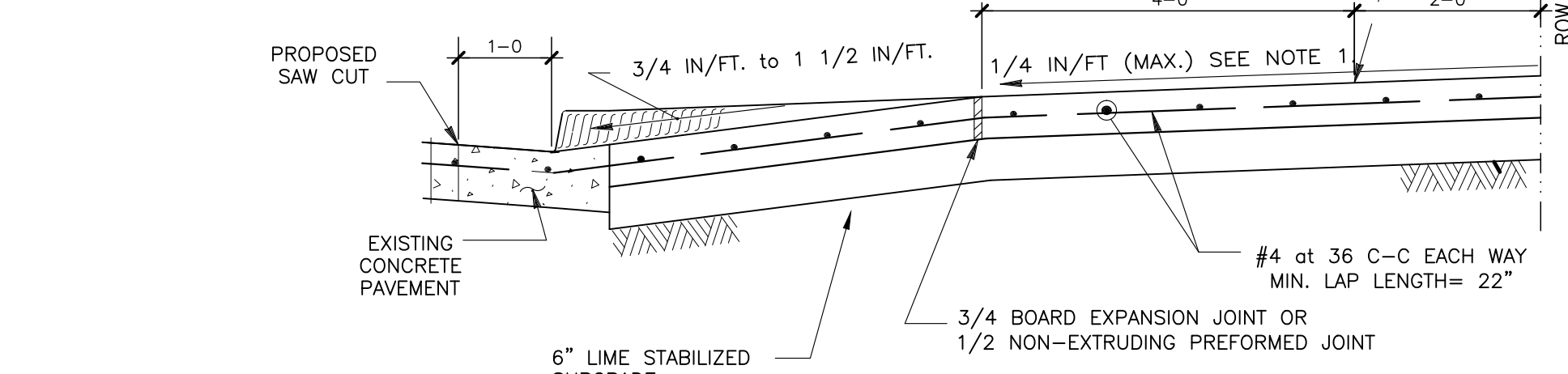
- ALL PAVEMENT TO BE ASPHALT OR CONCRETE PER SPECIFICATIONS OUTLINED ON THIS PLAN.
- REINFORCING STEEL SHALL BE GRADE 40 (MIN) #4 REBAR SPACED AT 18" ON CENTER, EACH WAY PLACED AT 1/2 DEPTH OF PAVEMENT SECTION.
- CONC PAVEMENT CONTROL JOINTS TO BE SPACED NO MORE THAN 20 FEET. CONTROL JOINT CAN BE DEFORMED METAL STRIP EMBEDDED IN PAVEMENT OR 1/2" SAW CUT DONE JUST AFTER CONCRETE IS SUFFICIENTLY HARDENED.
- CONC PAVEMENT EXPANSION JOINTS TO BE SPACED NO MORE THAN 80 FEET ON STRAIGHT RUNS AND IN AREAS ADJACENT TO STRUCTURES SUCH AS MANHOLES AND WALLS.
- CONCRETE USED SHALL BE 3000 PSI AT 28-DAYS (MINIMUM).
- SOL SUBGRADE TO BE STABILIZED WITH HYDRATED LIME (APPROXIMATELY 8% BY DRY WEIGHT).
- SUBGRADE TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT.
- PROVIDE 6" CONCRETE CURB AND GUTTER PER STANDARD DETAILS.

8 DRIVEWAY/ SIDEWALK DETAILS

NTS

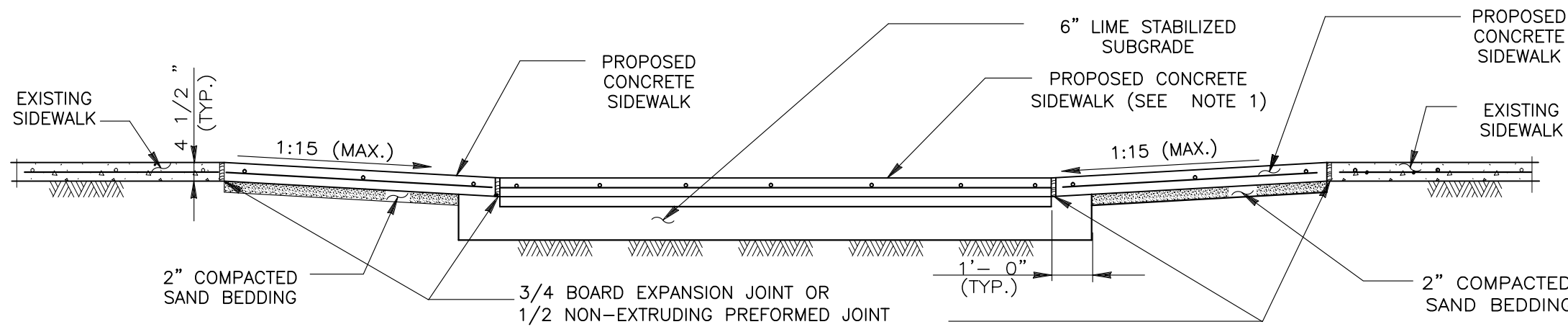


SECTION 3/4=1-0



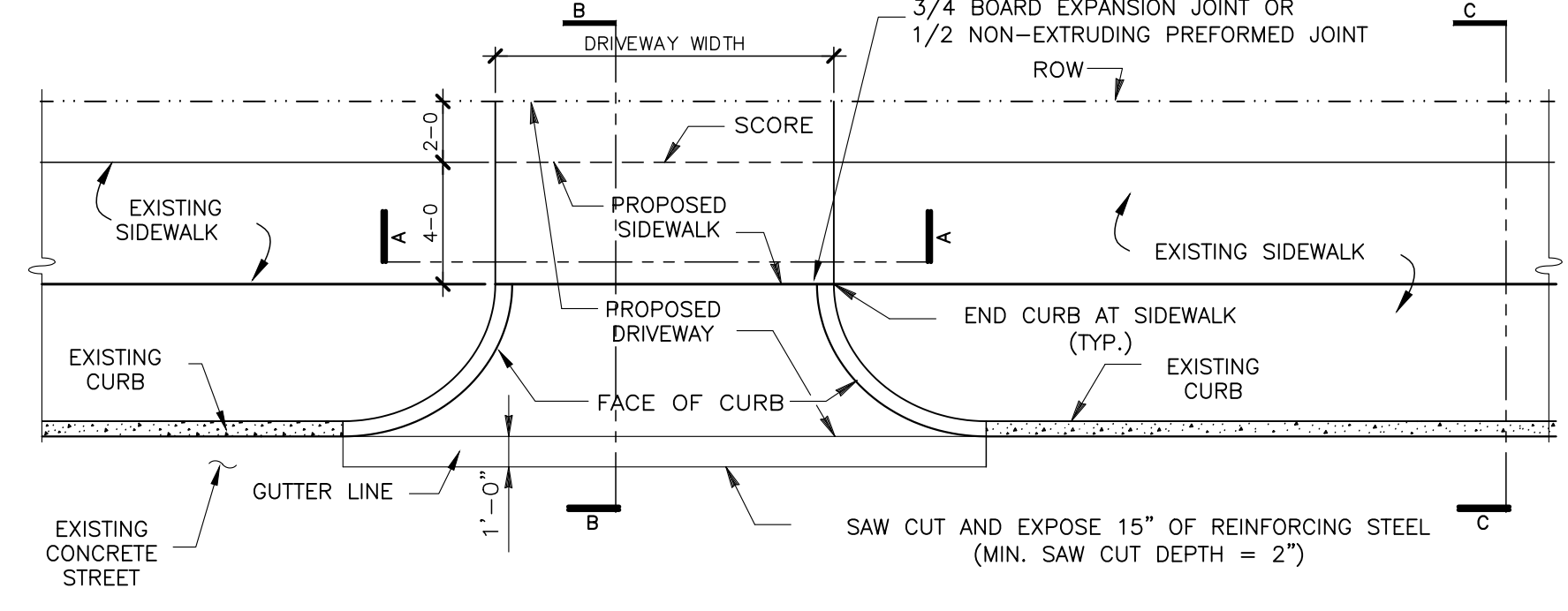
B SECTION TYPICAL DRIVEWAY SECTION

NTS



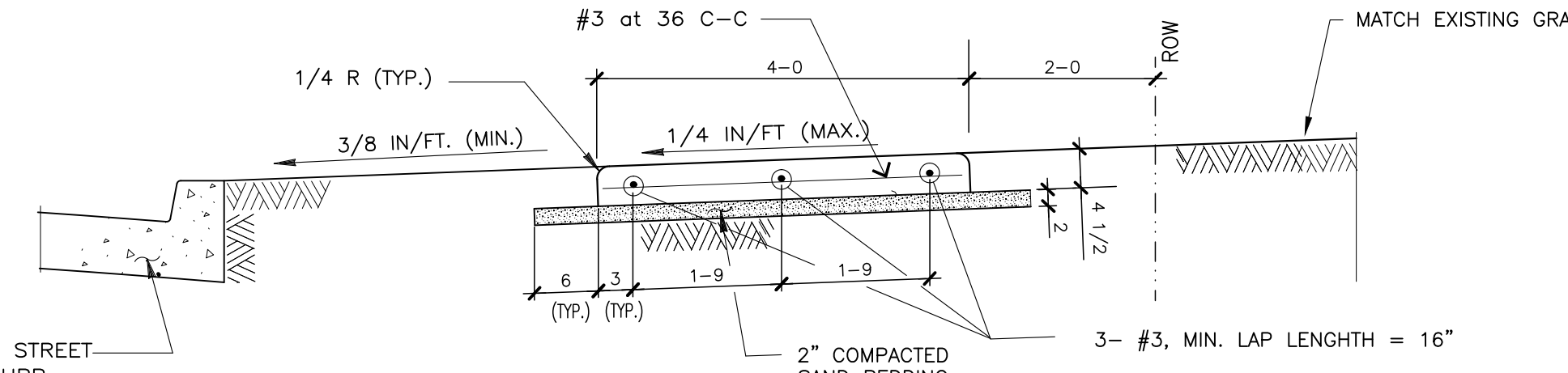
A SECTION PROPOSED SIDEWALK THROUGH DRIVEWAY WITH EXCESSIVE ELEVATION DIFFERENCE WITH EXISTING SIDEWALK

NTS



D PLAN VIEW - DRIVEWAY

NTS



C SECTION TYPICAL SIDEWALK SECTION

NTS

- NOTES:
- 6X6 - W2.9XW2.9 WELDED WIRE FABRIC MAY BE USED IN LIEU OF THE REINFORCING STEEL SHOWN.
 - MAXIMUM SPACING FOR EXPANSION JOINTS SHALL BE 36 FEET.
 - SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE AND INCLUDE 5-1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE.



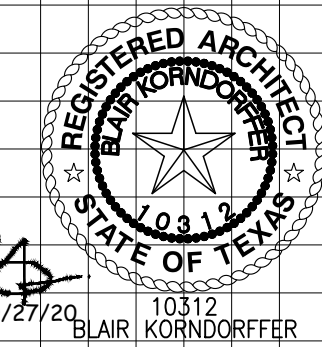
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8 3 2 • 2 2 4 • 6 4 0 0

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Revisions

No.	IOC	Date	Description
		10/27/20	Issue for Permit
		10/27/20	Issue for Construction
1	01/07/21		REVISED per CITY COMMENTS



0 3 2.7 40
SCALE: 3/4
FILED: JUN 17 2020 FILED 1954-301 0205:00 LAG

FRIENDSHIP CENTER

501 S FRIENDSWOOD DR
FRIENDSWOOD, TEXAS

1954.300
Sheet Date: 10/27/20

SITE DETAILS

Sheet No.:

A2-03

Drawn By: Project Manager: Project Arch

MHB JAG JKB

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FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: January 28, 2021

Subject: Discussion regarding updates to the Zoning Ordinance Section 7. P. Permitted Uses, specifically the annual review of the Permitted Use Table and to receive staff report regarding revised NAICS Codes

Action: Elective

SUMMARY / ORIGINATING CAUSE

Per Section 7.P.5. of the Zoning Ordinance, each year staff is directed to determine whether or not the North American Industry Classification System (NAICS) reference book has been updated, and if so, review and update the reference numbers in the table. The NAICS book is typically updated every 5 years, the last being 2017. An update will most likely occur next year.

We also take this time each year to review any staff recommendations regarding changes to the Permitted Use Table. There was one suggestion this year, but after reviewing the suggestion, the Ordinance Subcommittee did not feel that it was necessary to make a change.

The Permitted Use Table can be amended at any time if the need arises.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

n/a

RECOMMENDATIONS

n/a

ATTACHMENTS

1. Permitted Use Table

Zoning Ordinance

Section 7. Supplemental District Regulations

P. Permitted Uses

6. Permitted use table.

	2017 NAICS Industry Descriptions	SFR and SFR-E	MFR- GHD	MFR- L	MFR- M	MFR- H	MHR	CSC	NC	LNC	OPD	DD	A- 1	L1	I	BP
	Sexually oriented businesses (Ch. 62)														S	
11	<i>Agriculture, Forestry, Fishing and Hunting</i>															
111	Crop production							O	O		O	O	P			
1114	Greenhouse, nursery and floriculture production										O	O	P	S	S	O
112	Animal production							O	O		O	O	P			
113	Forestry and logging										O	O	P	S	P	
1133	Logging										O	O	S		S	
114	Fishing, hunting and trapping										O	O	P			
115	Support activities for agriculture and forestry							O	O		O	O	P		O	
21	<i>Mining</i>															
211	Oil and gas extraction										O	O	S	S	S	
212	Mining, except oil and gas										O	O	S	S	S	
213	Support activities for mining										O	O	S	S	S	
22	<i>Utilities</i>															
221	Utilities										O	O		S	P	O
23	<i>Construction</i>															
236	Construction of buildings							O	O		O	O		P	P	P

237	Heavy and civil engineering construction							O	O		O	O		P	P	S
	2017 NAICS Industry Descriptions	SFR and SFR-E	MFR- GHD	MFR- L	MFR- M	MFR- H	MHR	CSC	NC	LNC	OPD	DD	A- 1	L1	I	BP
238	Specialty trade contractors							O	O		O	O		P	P	P
31—33	<i>Manufacturing</i>															
311	Food manufacturing							O			O	O		S	S	S
311811	Retail bakeries							P	P			P				
312	Beverage and tobacco product manufacturing							O			O	O		S	S	S
313	Textile mills							O			O	O		S	S	S
314	Textile product mills							O			O	O		S	S	S
315	Apparel manufacturing							O			O	O		S	S	S
316	Leather and allied product manufacturing							O			O	O		S	P	S
3161	Leather and hide tanning and finishing							O			O	O		O	S	O
321	Wood product manufacturing							O			O	O		S	P	S
322	Paper manufacturing							O			O	O		O	S	O
323	Printing and related support activities							S			O	S		P	P	P
323113	Commercial screen printing							P	S		O	P		P	P	P
324	Petroleum and coal products manufacturing							O			O	O		S	S	S
325	Chemical manufacturing							O			O	O		S	S	S
325412	Pharmaceutical preparation manufacturing							O			O	O		P	P	P
326	Plastics and rubber products manufacturing							O			O	O		S	P	S
3262	Rubber product manufacturing							O			O	O		O	P	O

	2017 NAICS Industry Descriptions	SFR and SFR-E	MFR- GHD	MFR- L	MFR- M	MFR- H	MHR	CSC	NC	LNC	OPD	DD	A- 1	L1	I	BP
327	Nonmetallic mineral product manufacturing							O			O	O		O	P	O
331	Primary metal manufacturing							O			O	O		O	S	O
332	Fabricated metal product manufacturing							O			O	O		S	P	S
333	Machinery manufacturing							O			O	O		S	P	S
334	Computer and electronic product manufacturing							O			O	O		P	P	P
335	Electrical equipment, appliance and component manufacturing							O			O	O		P	P	P
33591	Battery manufacturing							O			O	O		O	S	O
336	Transportation equipment manufacturing							O			O	O		S	P	S
337	Furniture and related products manufacturing							O			O	O		S	P	S
339	Miscellaneous manufacturing							O			O	O		P	P	S
3391	Medical equipment and supplies manufacturing							O			O	O		P	P	P
42	<i>Wholesale Trade</i>															
423	Merchant wholesalers, durable goods							O			O	O		P	P	P
424	Merchant wholesalers, nondurable goods							O			O	O		P	P	P
425	Wholesale electronic markets and agents and brokers							O			O	O		P	P	P
44—45	<i>Retail Trade</i>															
4411	Automobile dealers							O			O	O		P	P	O
4412	Other motor vehicle dealers							O			O	O		P	P	O

	2017 NAICS Industry Descriptions	SFR and SFR-E	MFR- GHD	MFR- L	MFR- M	MFR- H	MHR	CSC	NC	LNC	OPD	DD	A- 1	L1	I	BP
4413	Automotive parts, accessories and tire stores							P	S		O	O		P	P	P
442	Furniture and home furnishing stores							P	P		O	P		S	S	P
443	Electronics and appliance stores							P	P		O	P		S	S	P
444	Building material and garden equipment and supplies dealers							P	P		O	P		P	P	P
444190	Other building material dealers							S	S		O	O		S	S	S
445	Food and beverage stores							P	P		O	P		S		S
446	Health and personal care stores							P	P		O	P		P		P
447	Gasoline stations							P	P		O			P	P	
447190	Other gasoline stations										O	O		S	S	
448	Clothing and clothing accessory stores							P	P		O	P				P
451	Sporting goods, hobby, book and music stores							P	P		O	P				P
452	General merchandise stores							P	P		O	P		P	P	P
453	Miscellaneous store retailers							P	P		O	P		P	P	P
4533	Used merchandise stores							P	P			P		P	P	P
45393	Manufactured (mobile) home dealers										O	O			S	
45399	All other miscellaneous store retailers							P	P			P		P	P	P
454	Nonstore retailers							S	S		O	S		S	S	S
48—49	<i>Transportation and Warehousing</i>															
	2017 NAICS Industry Descriptions	SFR and	MFR- GHD	MFR- L	MFR- M	MFR- H	MHR	CSC	NC	LNC	OPD	DD	A- 1	L1	I	BP

		SFR-E																	
481	Air transportation											O	O		O	O	O		
482	Rail transportation											O	O		S	P	S		
483	Water transportation											O	O		O	S	O		
484	Truck transportation											O	O		P	P	S		
485	Transit and ground passenger transportation							S	S			O	S		S	S	S		
486	Pipeline transportation	S	S	S	S	S	S	S	S			S	S	S	S	S	S		
487	Scenic and sightseeing transportation							S				O	P				P		
488	Support activities for transportation							S	S			O	O		S	P	P		
48841	Motor vehicle towing											O	O		S	P	O		
491	Postal service							P	P			O	P		P	P	P		
492	Couriers and messengers							P	P			O	P		P	P	P		
493	Warehousing and storage											O	S		P	P	P		
51	<i>Information</i>																		
511	Publishing industries							P				O	P		P	P	P		
512	Motion picture and sound recording industries							S				O	S		S	S	S		
515	Broadcasting (except internet)							S	S			O	O		P	P	P		
517	Telecommunications							S	S			O	S		P	P	P		
517911	Telecommunication resellers							P	P			O	P		P	P	P		
518	Data processing, hosting and related services							S	S			O	S		S	P	P		
	2017 NAICS Industry Descriptions	SFR and SFR-E	MFR-GHD	MFR-L	MFR-M	MFR-H	MHR	CSC	NC	LNC	OPD	DD	A-1	L1	I	BP			

519	Other information services							S	S		O	S		S	P	P
52	<i>Finance and Insurance</i>															
521	Monetary authorities—Central bank							P	P		P	P		P		P
522	Credit intermediation and related activities							P	P		P	P		P		P
522298	All other nondepository credit intermediation(i.e., pawn shops)							S			O	S		S	P	P
523	Securities, commodity contracts, and other financial investments and related activities							P	P		P	P		P		P
524	Insurance carriers and related activities							P	P		P	P		P		P
525	Funds, trusts, and other financial vehicles							P	P		P	P		P		P
53	<i>Real Estate and Rental and Leasing</i>															
531	Real estate							P	P		P	P		P	P	P
53113	Lessors of miniwarehouses and self-storage units							O	O		O	O		O	P	P
532	Rental and leasing services							P	S		O	S		P	P	P
53212	Truck, utility trailer and RV rental							O	O		O	O		O	P	P
533	Lessors of nonfinancial intangible assets (except copyrighted works)							P	P		P	P		P	P	P
54	<i>Professional, Scientific and Technical Services</i>															
541	Professional, scientific and technical services							P	P		P	P		P		P
54138	Testing laboratories							S			O	S		S	P	P
	2017 NAICS Industry Descriptions	SFR and SFR-E	MFR-GHD	MFR-L	MFR-M	MFR-H	MHR	CSC	NC	LNC	OPD	DD	A-1	L1	I	BP
55	<i>Management of Companies and Enterprises</i>															
551	Management of companies and enterprises							P	P		P	P		P		P

56	Administration/Support Waste Management/Remediation Services																
561	Administrative and support services							P	P			O	P		P	P	
561730	Landscaping services							S				O	O		S	P	S
56179	Other services to buildings and dwellings							S				O	O		S	P	P
562	Waste management and remediation services											O	O		S	P	S
61	Educational Services																
6111	Elementary and secondary schools	S	S	S	S	S	S	S	S	S		O	S	S	S	S	S
6112	Junior colleges							S				O	S	S	S	S	S
6113	Colleges, universities and professional schools							S				O	S	S	S	S	S
6114	Business schools and computer and management training							S				O	S	S	S	S	S
6115	Technical and trade schools							S				O	S	S	S	S	S
6116	Other school and instruction							P	P			P	P	S	P	P	
62	Health Care and Social Assistance																
621	Ambulatory health care services							P	P			P	P				P
622	Hospitals							P				O	S		P		P
6231	Nursing care facilities—Skilled nursing facilities							S	S			O	S				
	2017 NAICS Industry Descriptions	SFR and SFR-E	MFR-GHD	MFR-L	MFR-M	MFR-H	MHR	CSC	NC	LNC	OPD	DD	A-1	L1	I		BP
6232	Residential, intellectual and development disability, mental health, and substance abuse facilities	S1	S1														
623311	Continuing care retirement communities (with on-site nursing)	S1	S1					S	S			O	S				

623312	Assisted living facilities for the elderly (without on-site nursing)	S1	S1					S	S		O	S				
624	Social assistance							S			O	S				S
6244	Child day care services (childcare centers)							P	P		O	P				
6244	Child day care services (registered and/or licensed childcare home)	P	P													
71	<i>Arts, Entertainment and Recreation</i>															
7111	Performing arts							P			O	P				P
7112	Spectator sports							S			O	O				P
7113	Promoters of performing arts, sports and similar events							P			O	P				P
712	Museums, historical sites and similar institutions	S	S	S	S	S	S	P	S		O	P	S	S	S	S
7131	Amusement parks and arcades											S		S	P	
7132	Gambling industries															
7139	Other amusement and recreation industries											S		S	P	
713940	Fitness and recreational sports centers							P	S			P		P	P	
72	<i>Accommodation and Food Services</i>															
7211	Traveler accommodation							S			O	S		S	S	S
	2017 NAICS Industry Descriptions	SFR and SFR-E	MFR-GHD	MFR-L	MFR-M	MFR-H	MHR	CSC	NC	LNC	OPD	DD	A-1	L1	I	BP
7212	RV (recreational vehicle) parks and recreational camps										O			S	S	
7213	Roominghouses and boardinghouses							S			O	S		S	S	S
7223	Special food services							P	P		O	P		P		P

7224	Drinking places (more than 75% sales of alcoholic beverages)							S				S		S		S
7225	Restaurants and other eating places							P	P		O	P		P		P
81	<i>Other Services (Except Public Administration)</i>															
8111	Automotive repair and maintenance							P	S		O	S		S	P	
81112	Automotive body, paint, interior and glass repair							S	S		O	S		S	P	
8112	Electronic and precision equipment repair and maintenance							S			O	O		S	P	P
8113	Commercial and industrial machinery and equipment (except automotive and electronic repair and maintenance)							S			O	O		S	P	P
8114	Personal and household goods repair and maintenance							S			O	O		S	P	P
8121	Personal care services							P	P		P	P		P		P
8122	Death care services							S	S		O	S		S		S
8123	Dry cleaning and laundry services							P	P		P	P		P		P
8129	Other personal services							P	P		P	P		P		P
8131	Religious organizations	S	S	S	S	S	S	S	S		O	S	S			
8132	Grantmaking and giving services							O	O		O	O		O		O
	2017 NAICS Industry Descriptions	SFR and SFR-E	MFR-GHD	MFR-L	MFR-M	MFR-H	MHR	CSC	NC	LNC	OPD	DD	A-1	L1	I	BP
8133	Social advocacy organizations							O	O		O	O		O	P	O
8134	Civic and social organizations							O	O		O	O		O	P	O
8139	Business, professional, labor, political, and similar organizations							O	O		O	O		O		O

814	Private households	P	P	P	P	P	P					P (a)	P			
92	<i>Public Administration</i>															
921	Executive, legislative, and other general government support						P			O	P		P		P	
922	Justice, public order and safety activities						P			O	P		P		P	
92214	Correctional institutions													S		
923	Administration of human resource programs						P			O	P		P		P	
924	Administration of environment quality programs						P			O	P		P		P	
925	Administration of housing programs, urban planning, and community development						P			O	P		P		P	
926	Administration of economic programs						P			O	P		P		P	
927	Space research and technology						P			O	P		P		P	
928	National security and international affairs						P			O	P		P		P	

(a) Second floor and above.

(b) Legend:

1. P: Permitted.
2. S: Special use permit required.
3. O: Office use only.
4. Blank: Not permitted.
5. S1: Site plan approval required; these facilities shall be subject to the following additional supplemental requirements at the time the first permit, certificate of occupancy, or zoning compliance request is submitted:

**Planning and Zoning Commission
2021 Action Items**

Item	Action	Target Date	Leader	Committee	Status	Compl. Date
2021 Comprehensive Plan	Using City Council's direction, Staff and the Commission will progress the development of an updated Comprehensive Plan. Not all sections will require updating in 2021.	December	Aubrey	Planning	In Progress	
Future Land Use Map	As part of the Comprehensive Plan, review the current Land Use Map and submit recommended updates.	August	Aubrey	Planning		
Zoning Ordinances Update	a. Review how Heritage Trees are addressed and develop a recommendation to encourage their preservation.	April	Becky	Ordinance		
	b. Review the use of LED lights surrounding commercial window frames outside of DD.	April	Becky	Ordinance		
Planned Unit Development (PUD)	a. Evaluate and recommend if changes are needed to include sunset clauses for PUDs, i.e., if the project utilizing the PUD is not completed by a certain date it expires.	October	Becky	Ordinance		
	b. Evaluate and recommend if changes are needed to the allowable percentage of changes included in approved PUDs.	October	Becky	Ordinance		
	c. Evaluate if any PUD requirements that have been removed from the Zoning Ordinances should be added back.	October	Becky	Ordinance		

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Subdivision Ordinances Update	a. Review park dedication requirements; currently no land dedication is required unless a subdivision contains 655 lots or more; collaborate with Parks & Recreation.	October	Becky	Ordinance		
	b. Garden Home District. Consider adding open space requirements or other amenity requirements.	October	Becky	Ordinance		
	c. SFR Lot Minimum Width. Evaluate the minimum SFR lot size requirements and develop a recommendation for City Council.	October	Becky	Ordinance		
	d. Continue to match zoning ordinances with Texas legislative actions.	April	Becky	Ordinance		
General P&Z Topics	a. Consider the need for changes to zoning or permitted land use to better	December	Aubrey			
	b. Provide refreshers on the allowable decision-making criteria for Commissioners. Stress continued attendance at available training opportunities, including annual planning conferences.	December	Aubrey		Land Use Training in April	
	c. Develop a format to allow for more open discussion of ideas in workshops with City Council.	December	Aubrey and Joe			
	d. Continue to strive for the consistent application of the ordinances in P&Z rulings.	December	All		Ongoing	

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	e. Evaluate if P&Z can and should push for earlier traffic studies in the development process and for application to smaller developments.	December	Aubrey			
	f. Consider whether a super majority vote by P&Z should require a minimum of a super majority vote by City Council to not follow P&Z's recommendation.	December	Aubrey and Joe			