



**PLANNING AND ZONING COMMISSION, REGULAR MEETING
THURSDAY, MARCH 14, 2024 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL
910 S. FRIENDSWOOD DR, FRIENDSWOOD, TX 77546**

AGENDA

1. CALL TO ORDER

2. COMMUNICATIONS FROM THE PUBLIC

In order to comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects to be placed on a later regular Commission agenda for discussion and/or possible action.

3. CONSENT AGENDA

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner so requests in which case the item would be removed from the consent agenda and considered separately.

- A. Consider approving the minutes of the Planning and Zoning Commission Regular Meeting held on Thursday, February 22, 2024.

4. ACTION ITEMS

A. ZONE CHANGE REQUEST: 2600 S FRIENDSWOOD DRIVE FROM SFR TO CSC

- i Conduct a public hearing regarding a request for a zone classification change located at 2600 S Friendswood Drive, 4.8476 acres of land out of Lot 64 and 65 of Slone Subdivision, out of the John Dickinson League, according to the map or plat recorded in Volume 254-A, Page 6 and transferred to Plat Record 3, Map Number 61A, both of the map records of Galveston County, Friendswood, Galveston County, Texas, to change from Single Family Residential (SFR) to Community Shopping Center (CSC) and amendment to the Future Land Use Map to change the property from Low Density Residential to Retail.
 - ii Consider making a recommendation to City Council regarding a request for a zone classification change located at 2600 S Friendswood Drive, 4.8476 acres of land out of Lot 64 and 65 of Slone Subdivision, out of the John Dickinson League, according to the map or plat recorded in Volume 254-A, Page 6 and transferred to Plat Record 3, Map Number 61A, both of the map records of Galveston County, Friendswood, Galveston County, Texas, to change from Single Family Residential (SFR) to Community Shopping Center (CSC) and amendment to the Future Land Use Map to change the property from Low Density Residential to Retail.
- B. Consider approving an amendment to the Georgetown Subdivision Master Plan.
 - C. Consider approving a site plan for Friendswood Scoop Shop to be located at 901 S Friendswood Drive.

5. COMMUNICATIONS

- A. Discuss a recommendation from the Ad Hoc Parking Subcommittee regarding parking.
- B. Receive an update regarding the Zoning Board of Adjustment (ZBOA) 2023 Annual Report.
- C. Receive an update regarding the Planning and Zoning 2023 Annual Report provided to City Council on March 4, 2024.
- D. Announcement of the next Planning and Zoning Commission regular meetings for (i) Thursday, March 28, 2024, and (ii) Thursday, April 11, 2024.
- E. Receive the DRC Report for February 2024, Council Liaison updates concerning action taken by the City Council on Planning and Zoning related items, and Commissioner comments concerning items of community interest and/or requesting future agenda items.

6. ADJOURNMENT

PUBLIC NOTICE IS GIVEN THAT IN ADDITION TO ANY EXECUTIVE SESSION LISTED ABOVE, THE PLANNING AND ZONING COMMISSION RESERVES THE RIGHT TO ADJOURN INTO EXECUTIVE SESSION AT ANY TIME AS AUTHORIZED BY THE TEXAS GOVERNMENT CODE SECTIONS 551.071 - 551.090 TO DISCUSS ANY MATTERS LISTED ABOVE.

THE CITY OF FRIENDSWOOD IS COMMITTED TO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. REASONABLE ACCOMMODATIONS AND EQUAL ACCESS TO COMMUNICATIONS WILL BE PROVIDED UPON REQUEST. PLEASE CONTACT THE CITY SECRETARY'S OFFICE BY PHONE AT (281) 996-3270, FAX (281) 482-1634, OR CONTACT (281) 996-3270 VIA RELAY TEXAS AT 711 OR 1-800-735-2988 FOR TYY SERVICES. FOR MORE INFORMATION CONCERNING RELAY TEXAS, PLEASE VISIT: [HTTP://RELAYTEXAS.COM](http://RELAYTEXAS.COM).



Aubrey Harbin, LEED AP
Director of Community Development/City Planning



Posted by: Leticia Brysch, City Secretary
Posted in compliance with the Texas Open Meetings
Act this 11th day of March 2024, at 5:00 P.M.



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: March 14, 2024

Subject: Consider approving the minutes of the Planning and Zoning Commission Regular Meeting held on Thursday, February 22, 2024.

Action:

SUMMARY / ORIGINATING CAUSE

This item allows the Commission to review and approve the minutes of the Planning and Zoning Commission Regular Meeting held on Thursday, February 22, 2024.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

Staff recommends approval.

ATTACHMENTS

1. PZ Commission Minutes 2-22-2024



**CITY OF FRIENDSWOOD
PLANNING AND ZONING COMMISSION
THURSDAY, FEBRUARY 22, 2024 - 6:00 PM**

Minutes

MINUTES OF A FRIENDSWOOD REGULAR MEETING HELD AT 910 S. FRIENDSWOOD DR, FRIENDSWOOD, TX 77546, COUNCIL CHAMBERS, CITY HALL

STATE OF TEXAS
CITY OF FRIENDSWOOD
COUNTIES OF GALVESTON/HARRIS
FEBRUARY 22, 2024

1. CALL TO ORDER

MINUTES OF A REGULAR MEETING OF THE FRIENDSWOOD PLANNING AND ZONING COMMISSION THAT WAS HELD ON THURSDAY, FEBRUARY 22, 2024, AT 06:00 PM **910 S. FRIENDSWOOD DR, FRIENDSWOOD, TX 77546**

CHAIRMAN TOM HINCKLEY
VICE-CHAIRMAN RICHARD SASSON
COMMISSIONER TRAVIS MANN
COMMISSIONER MARCUS RIVES
COMMISSIONER MARSHA CONRAD
COMMISSIONER WILLIE ANDERSON
COUNCIL LIAISON JOE MATRANGA
CITY ATTORNEY KAREN HORNER
DIRECTOR OF CDD/PLANNER AUBREY HARBIN
ASSISTANT PLANNER BECKY BENNETT

COMMISSIONER BRIAN BOUNDS WAS ABSENT FROM THE MEETING.

2. OATHS OF OFFICE

- A. Administer the oath of office to Mr. Willie Anderson as Planning and Zoning Commissioner.

Director Harbin administered the oath of office to Commissioner Willie Anderson.

3. **COMMUNICATIONS FROM THE PUBLIC**

In order to comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects to be placed on a later regular Commission agenda for discussion and/or possible action.

No comments.

4. **CONSENT AGENDA**

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner so requests in which case the item would be removed from the consent agenda and considered separately.

- A. Consider approval of the minutes of the Planning and Zoning Commission Regular Meeting held Thursday, January 25, 2024.

****Vice-Chairman Richard Sasson moved to approve the minutes of the Planning and Zoning Commission Regular Meeting held Thursday, January 25, 2024. Seconded by Commissioner Marcus Rives. The motion was approved unanimously.**

5. **ACTION ITEMS**

- A. **SITE PLAN: 1610 West Blvd.**

Consider approving the site plan for Riverstone Montessori School to be located at 1610 West Boulevard.

****Commissioner Marcus Rives moved to approve the site plan for Riverstone Montessori School to be located at 1610 West Boulevard. Seconded by Commissioner Marsha Conrad. The motion was approved unanimously.**

Harbin said the proposed Montessori school would be located in the West Ranch subdivision at the corner of West Blvd. and Friendswood Pkwy, across the street from Cline Elementary School. She said the property is zoned Community Shopping Center (CSC) and was also with the Community Overlay District (COD) which affords increased landscaping. The project will include a two-story building plus outdoor play equipment.

Commissioner Sasson questioned the concrete wall labeled on the plans. Sel Thint/Everest Design Group explained the wall is existing and was built by the subdivision developer. Chairman Hinckley asked for clarification on the proposed structures behind the building. Thint said one was playground equipment and one was a tented, shade structure.

6. **COMMUNICATIONS**

- A. Announcement of the next Planning and Zoning Commission regular meetings for (i) Thursday, March 14, 2024, and (ii) Thursday, March 28, 2024.
- B. Receive the January 2024 DRC Report, Council Liaison updates concerning action taken by the City Council on Planning and Zoning related items, and Commissioner comments concerning items of community interest and/or requesting future agenda items.

Councilman Matranga said an interlocal agreement for the alignment study of Friendswood Parkway was approved at the last City Council meeting. He stated it would take roughly a year to complete.

Commissioner Rives reported the Parking Ad Hoc Committee had concluded their suggestions and asked the commission to begin thinking on the subject, so it could be discussed at the next regular meeting. Bennett said the recommendations are: 1) Decrease parking minimums by 20 percent; 2) Staff to be more transparent regarding alternative parking options; 3) Incentive on developing unused parking areas.

Rives said he attended the Galveston County Consolidated Drainage District meeting and it was very eventful. He said they would be holding an election for several board member seats.

- C. Receive a staff update regarding the City Council, February 5, 2024, workshops regarding (i) mobile vendors and (2) short-term rentals.

Harbin reported two items were given direction from City Council that may be of interest to the Commission. She said the topic of mobile vendors was decided no changes were to be made to current codes. Harbin explained mobile vendors include not only food trucks but other vendors such as windshield repair or clothing donation boxes. She said food trucks are currently allowed by invitation to a permitted special event, city and Chamber of Commerce events, the Farmers Market, or in a developed food truck park.

She reported the other topic involved governance of short-term rentals such as AirBNB, VRBO, etc. The council directed staff to create a moderate approach involving registration of such facilities.

7. ADJOURNMENT

This meeting was adjourned at 06:19 PM.



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: March 14, 2024

Subject: Conduct a public hearing regarding a request for a zone classification change located at 2600 S Friendswood Drive, 4.8476 acres of land out of Lot 64 and 65 of Slone Subdivision, out of the John Dickinson League, according to the map or plat recorded in Volume 254-A, Page 6 and transferred to Plat Record 3, Map Number 61A, both of the map records of Galveston County, Friendswood, Galveston County, Texas, to change from Single Family Residential (SFR) to Community Shopping Center (CSC) and amendment to the Future Land Use Map to change the property from Low Density Residential to Retail.

Action:

SUMMARY / ORIGINATING CAUSE

The property owner is requesting to change the zoning of the subject tract from Single Family Residential (SFR) to Community Shopping Center (CSC). The property fronts FM 518, also known as S. Friendswood Drive. Property to the west is zoned Community Shopping Center (CSC) with a plan for a mixed-use town center that was proposed as part of the West Ranch Planned Unit Development (PUD) in 2004. The property to the east is zoned Single Family Residential (SFR) and is separated by a 50-foot drainage easement. The property backs up to a detention pond that is part of the West Ranch development and is zoned Planned Unit Development (PUD).

The Future Land Use Map (2021) identifies this property as developing with Low Density Residential. It is sandwiched between a commercial property and a residential property, so either use would be suitable. With sufficient screening and the depth of the residential lots, impact to the adjacent residential lots would be minimal.

Required property owner notices were posted and mailed.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Changing the zoning to a commercial zoning designation will increase the percentage of commercially zoned property in Friendswood, which is a goal. The property is located adjacent to a large tract that is planned for a mixed-use development, so a commercial development would be compatible.

RECOMMENDATIONS

None at this time.

ATTACHMENTS

1. 2600 S Friendswood Dr Rezoning Report
2. Aerial Map_2600 S Friendswood Dr
3. Location Map_2600 S Friendswood Dr
4. Zoning Map_2600 S Friendswood Dr
5. Future Land Use Map_2600 S Friendswood Dr

Rezoning Report

February 2024

Project: Zone Change Request

Address: 2600 S Friendswood Drive

Legal: 4.8476 acres of land out of Lot 64 and 65 of Slone Subdivision, out of the John Dickinson League, according to the map or plat recorded in Volume 254-A, Page 6 and transferred to Plat Record 3, Map Number 61A, both of the map records of Galveston County, Friendswood, Galveston County, Texas



Request: Zone classification change from Single Family Residential (SFR) to Community Shopping Center (CSC) and amendment to the Future Land Use Map to change the property from Low Density Residential to Retail

Applicable Zoning Ordinance Excerpts:

Appendix C - Zoning Ordinance

Section 7. Schedule of District Regulations

F. CSC, Community Shopping Center District, general purpose and description. The CSC, Community Shopping Center District, is intended for a unified grouping, in one or more buildings of several, typically between five and 20, retail and service shops or stores that provide for the regular needs and are for the convenience of the people residing in adjacent residential neighborhoods. Gross floor area in a community shopping center typically ranges from 30,000 to 100,000 square feet, and land area consists of two to ten acres in size. It is intended that the community shopping center be developed as a unit, with adequate off-street parking for customers and employees, and with appropriate landscaping and screening to ensure compatibility with surrounding residential environment. This district is ideally located at the intersection of two or more arterial or major streets with a service area of up to 1½ miles. Development of a community shopping center requires approval of a development site plan by the planning and zoning commission.

1. Area and height regulations. Area and height regulations in a CSC district are set forth in subsection Q.2 of this section, regulation matrix.
2. See section 8 for supplementary district regulations.
3. See section 9 for temporary certificate of zoning compliance that may be granted by the administrative official and specific use permits that may be recommended by the planning and zoning commission within the CSC district under certain circumstances and conditions.
4. Permitted uses. Uses permitted in a CSC district are set forth in subsection P of this section, permitted use table. A specific use permit for a shopping center as a particular use is required before any building permit or certificate of occupancy may be issued in this district.
5. No CSC district shall be created which includes less than two acres.

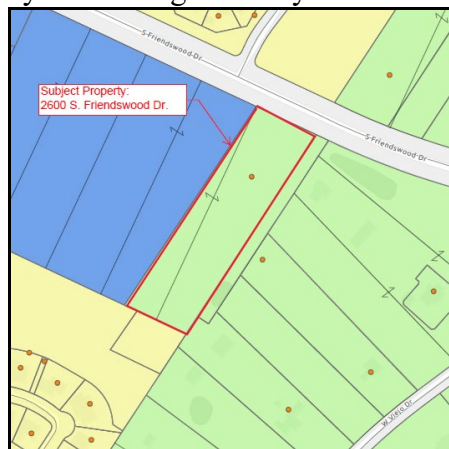
6. Buildings in the CSC zoning district are encouraged to have exterior cladding of brick, masonry, stone, stucco or glass. Fiber cement boards/siding are discouraged, except as trim for eaves and overhangs, while all building products and materials approved for use by a national model code published within the last three code cycles (2018, 2015 and 2012) are allowed by V.T.C.A., Government Code ch. 3000.

Section 7.5. - Community overlay district.

1. General purpose and description. The community overlay district (COD) is intended to preserve and enhance the physical characteristics of the city along its entryways and in the downtown area by promoting the safety, welfare, convenience, and enjoyment of travel along these roads; providing for unified and orderly development; and promoting and aiding economic growth. The establishment of a COD does not repeal the underlying zoning classification of property to which the COD applies. The requirements of the COD are in addition to the requirements of the underlying zoning district, with the exception of the downtown district. The COD does not apply to the DD. The DD is subject to supplementary regulations and the DD geographic limitations as shown on the official zoning map. The COD includes the following thoroughfares: FM 2351 from Friendswood City Limit to Friendswood City Limit, FM 518 from the Friendswood City Limit to the Friendswood City Limit, FM 528 from Friendswood City Limit to Friendswood City Limit, Friendswood Lakes Boulevard (also known as Brittany Bay) from Friendswood City Limit to Friendswood City Limit, Bay Area Boulevard, from Friendswood City Limit to FM 528. (Remainder of requirements in Section 7.5.)

Zoning History:

The zoning of the property has always been Single Family Residential (SFR).



City of Friendswood Zoning Map

Adjacent Zoning/Land Use:

The property fronts FM 518, also known as S. Friendswood Drive. Property to the west is zoned Community Shopping Center (CSC) with a plan for a mixed-use town center that was proposed as part of the West Ranch Planned Unit Development (PUD) in 2004. The property to the east is zoned Single Family Residential (SFR) and is separated by a 50-foot drainage easement. The property backs up to a detention pond that is part of the West Ranch development and is zoned Planned Unit Development (PUD).

Platting Analysis:

The property will need to be platted prior to development.

Planning Analysis:

This property fronts FM 518. The subject property is subject to the Community Overlay District (COD).

Comprehensive Planning Analysis:

The Future Land Use Map (2021) identifies this property as developing with Low Density Residential. It is sandwiched between a commercial property and a residential property, so either use would be suitable. With sufficient screening and the depth of the residential lots, impact to the adjacent residential lots would be minimal.



City of Friendswood GIS Aerial Map

Infrastructure/Service Delivery Impacts

Storm Water Management and Floodplain Issues:

On site detention is required, and the property is not located in any high hazard flood zones.

Utilities:

City water is available along FM 518, and sewer service will need to be extended from W Viejo Drive and FM 518.

Access:

The property currently has access onto FM 518. Any driveway improvements would need to be approved by the Texas Department of Transportation (TXDOT). A five-foot sidewalk will be required along FM 518.

Park/Open Space:

Park Dedication Fees are not applicable for commercial development.

Aerial Map_2600 S Friendswood Dr



Subject Property:
2600 S. Friendswood Dr.

1/30/2024, 11:32:23 AM

• Address Points

City Limit

Galveston County - Lot Lines

Parcels

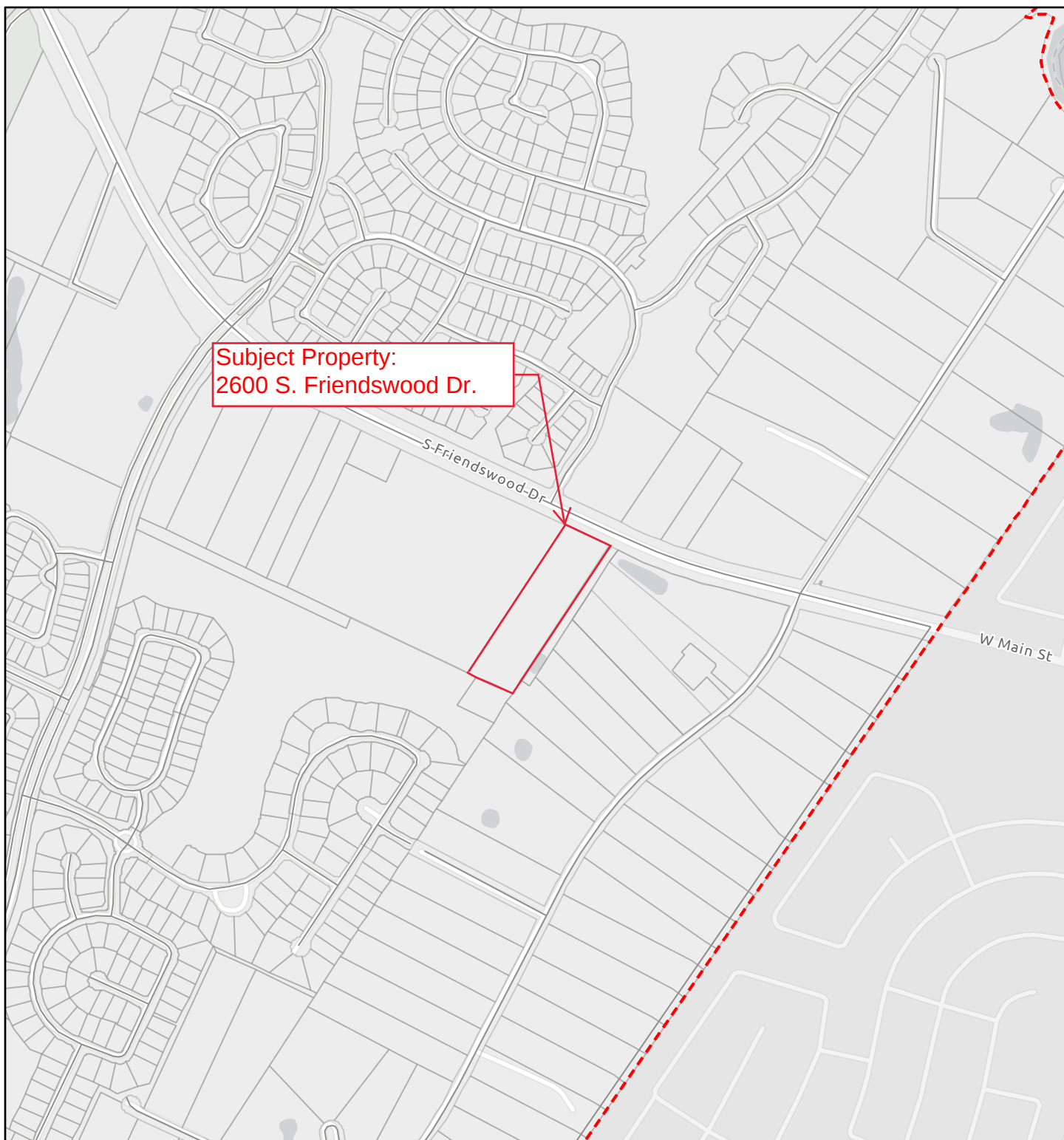
Streets



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0 0.03 0.05 0.1 mi
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Houston- Galveston Area Council, Esri Community Maps Contributors, Brazoria County, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, CONANP, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

Location Map



1/30/2024, 11:36:08 AM

 City Limit

 Parcels

 Streets

 Surrounding Cities

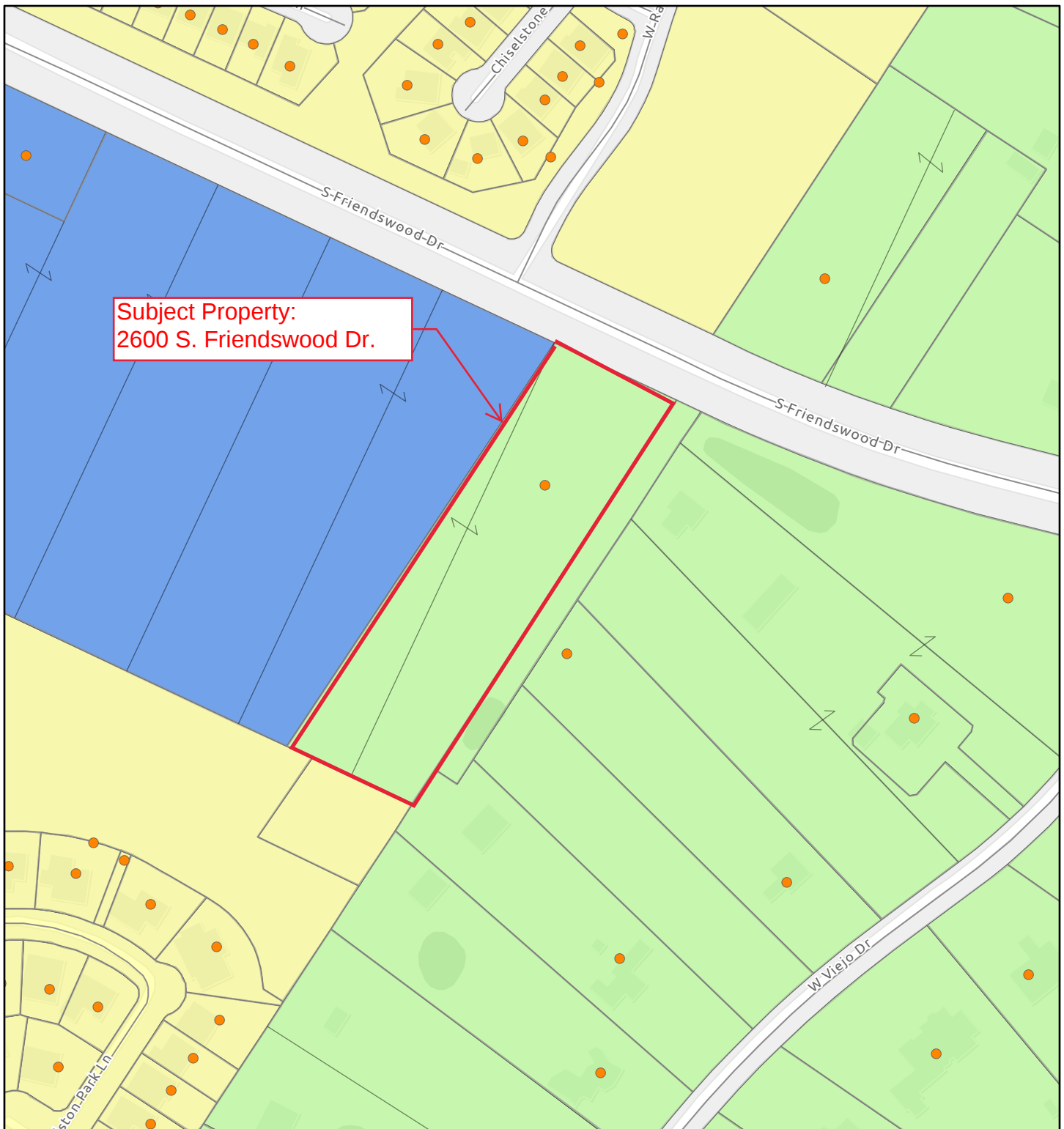


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Esri Community Maps Contributors, Texas Parks & Wildlife, CONANP, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/ NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

Zoning Map



1/30/2024, 11:33:46 AM

• Address Points

City Limit

Galveston County - Lot Lines

Parcels

Streets

Zoning by Parcel

CSC

PUD

SFR

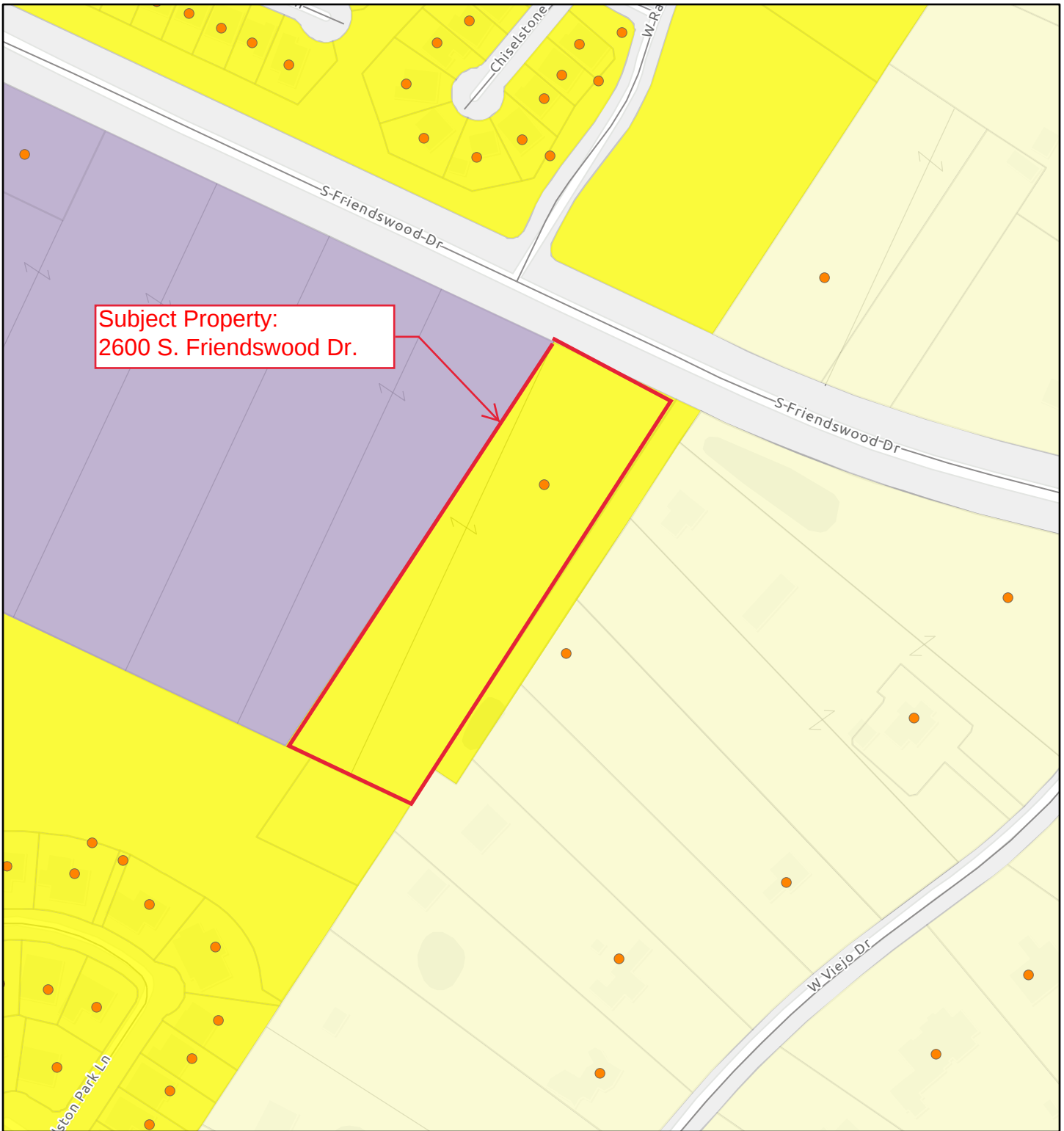


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Future Land Use Map



1/30/2024, 11:34:58 AM

• Address Points

City Limit

Future Land Use Adopted 2021

SFR- Estate

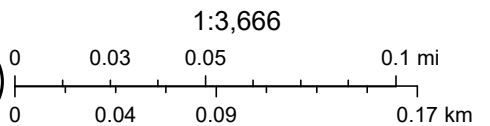
Low Density

Mixed Use

Galveston County - Lot Lines

Parcels

Streets



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FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: March 14, 2024

Subject: Consider making a recommendation to City Council regarding a request for a zone classification change located at 2600 S Friendswood Drive, 4.8476 acres of land out of Lot 64 and 65 of Slone Subdivision, out of the John Dickinson League, according to the map or plat recorded in Volume 254-A, Page 6 and transferred to Plat Record 3, Map Number 61A, both of the map records of Galveston County, Friendswood, Galveston County, Texas, to change from Single Family Residential (SFR) to Community Shopping Center (CSC) and amendment to the Future Land Use Map to change the property from Low Density Residential to Retail.

Action:

SUMMARY / ORIGINATING CAUSE

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The Future Land Use Map (2021) identifies this property as developing with Low Density Residential. It is sandwiched between a commercial property and a residential property, so either use would be suitable. With sufficient screening and the depth of the residential lots, impact to the adjacent residential lots would be minimal.

Required property owner notices were posted and mailed.

*See attachments on the public hearing item.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Changing the zoning to a commercial zoning designation will increase the percentage of commercially zoned property in Friendswood, which is a goal. The property is located adjacent to a large tract that is planned for a mixed-use development, so a commercial development would be compatible.

RECOMMENDATIONS

None at this time.

ATTACHMENTS



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: March 14, 2024

Subject: Consider approving an amendment to the Georgetown Subdivision Master Plan.

Action:

SUMMARY / ORIGINATING CAUSE

The Georgetown Subdivision amended Master Plan will consist of five phases to construct 312 lots and two detention ponds.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Approval of the master plan is subject to review and approval by the Commission, in accordance with the City of Friendswood Subdivision Ordinance.

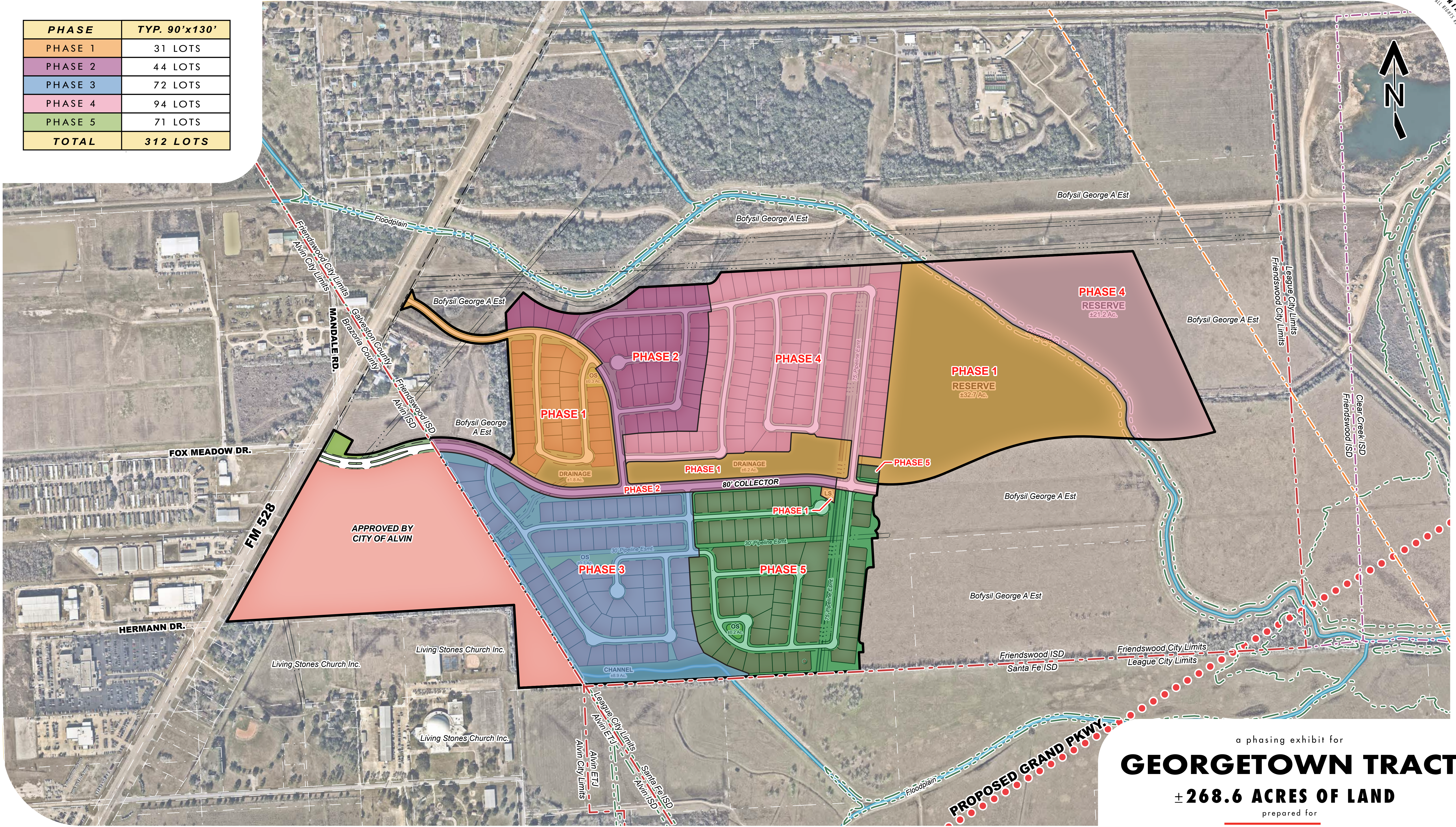
RECOMMENDATIONS

The plans were reviewed by staff in the following departments: Planning, Engineering, Public Works, Fire Marshal's Office, Police Department, and Parks. The proposed project appears to be in compliance with current city codes.

ATTACHMENTS

1. Georgetown Master Plan Amended March 2024

PHASE	TYP. 90'x130'
PHASE 1	31 LOTS
PHASE 2	44 LOTS
PHASE 3	72 LOTS
PHASE 4	94 LOTS
PHASE 5	71 LOTS
TOTAL	312 LOTS



a phasing exhibit for

GEORGETOWN TRACT

± 268.6 ACRES OF LAND

prepared for

D.R. HORTON DH
NYSE
America's Builder

META
PLANNING + DESIGN

24285 Katy Freeway, Ste. 525
Katy, Texas 77494
Tel: 281-810-1422

HOU-21006
FEBRUARY 29, 2024

SCALE
0 150 300 600

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*ALL ROW WIDTHS SHALL BE 60' UNLESS OTHERWISE NOTED

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FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: March 14, 2024

Subject: Consider approving a site plan for Friendswood Scoop Shop to be located at 901 S Friendswood Drive.

Action:

SUMMARY / ORIGINATING CAUSE

Friendswood Scoop Shop is a proposed ice cream parlor and retail shop to be located at 901 S. Friendswood Drive. The 1926 house will be renovated for commercial use. The proposed improvements to the site will provide parking and also includes an alternate landscape plan for the Commission's consideration.

Staff added some notes to the site plan and landscape plan for clarification:

- the proposed monument sign will be required to be set back from the property line a minimum of 3 feet
- the label for the property line and landscape buffer along W Castlewood are in the wrong place; staff added notes for correct locations.
- the required landscape parkway width along S. Friendswood Drive is 15 feet, rather than the 10 feet shown on the landscape plan.

Alternate landscape plan proposal:

Assuming the site had no trees, the new landscaping requirements would require 16 2-inch trees and 7 4-inch trees for a total of 23 trees and 60 caliper inches.

The three largest trees on the property equal 106 inches, which exceeds the requirement of the new trees. Additionally, there are many more trees existing that are not listed here. Survival of the new trees

- 46-inch pecan tree
- 24-inch magnolia tree
- 36-inch oak tree

Zoning Ordinance Section 8.N.7.

7.Parkways and landscaping.

a.The 15-foot parkway required along FM 2351 and FM 518, which runs parallel and adjacent to each street's back of curb, includes a seven-foot landscape area. This area shall be reserved for amenities, such as street furniture, lighting and landscaping, and may include grass, brick pavers or other decorative material as approved by the Planning and Zoning Commission.

(1)Trees shall be provided every 25 linear feet. Trees used in the 15-foot parkway shall be Class 2 or Class 3 trees from the city's qualified tree list, and other landscaping material such as bushes and/or groundcover may be used. The tree and landscaping material shall be maintained in living condition. One-half of the trees shall have a minimum caliper of four inches and one-half shall have a minimum caliper of two inches. Existing qualified trees may be counted toward fulfillment of this requirement provided that the size, species, and guaranteed duration shall meet the criteria of the landscaping section of this appendix. (Clustering of trees shall be permitted; provided, however, clustering shall not reduce the number of required trees, and trees shall not be clustered so as to lessen the survival rate of other trees.) (2)Amenities shall be provided in accordance with the design criteria manual, Exhibit E,

Downtown District Amenities. A minimum of two lights and two benches are required within the 15-foot parkway of each development. All provided amenities shall be permanently maintained by the property owner, including the brick-paved sidewalks.

b.Developments along all other streets within the downtown district shall have a minimum ten-foot landscaped buffer located on private property and not less than one tree, whether existing or planted, shall be planted and maintained for each 25 lineal feet or portion thereof. Each such tree shall be not less than eight feet in height immediately upon planting and shall have a caliper of not less than two inches measured 18 inches above the natural ground level.

c.Alternate sidewalk, landscape and amenity designs specific to the site or the function of the development within the downtown district may be considered by the Planning and Zoning Commission if it determines that the proposed alternative sidewalk is not narrower than six feet and provides, respectively:

- (i)Equal or better pedestrian access to and along the development property;
- (ii)Equal or enhanced landscape beautification for the development; or
- (iii)Equal or better design amenities than otherwise required herein.

d.See Section 8.I. for additional information on maintenance and preservation of trees.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Approval of the site plan is subject to review and approval by the Commission, in accordance with the City of Friendswood Zoning Ordinance.

RECOMMENDATIONS

The plans have been reviewed by staff in the following departments: Planning, Engineering, Public Works, Fire Marshal's Office, and Police Department. The proposed project appears to be in compliance with current zoning codes except for the alternate landscape plan. **If the Commission would like to approve the alternate proposal, the motion to approved should include approval of the proposed alternate landscape plan.**

ATTACHMENTS

1. 901 S Friendswood Dr Cover Sheet
2. 901 S Friendswood Dr Site Plan with staff notes
3. 901 S Friendswood Dr Landscape Plan with staff notes
4. 901 S Friendswood Dr Photometric
5. 901 S Friendswood Dr Elevations

BUILDING AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED WITH ANSI A 117.1 AND ADA PUBLIC LAW 101-336 HIGHLIGHTED AS FOLLOWED

- ASSESSABLE DOOR SHALL COMPLY WITH THE FOLLOWING:
- A. THRESHOLD SHALL BE MAXIMUM 1/2" HIGH.
 - B. MAXIMUM FORCE OF PUSH OR PULL SHALL BE 8.5 POUNDS FOR EXT. HINGED DOOR, 5 LBS FOR INT. HINGED DOOR.
 - C. DOOR HANDLE SHALL BE LEVER HANDLE AND SHALL BE MOUNTED NO MORE THAN 36" ABOVE THE FINISHED FLOOR.
 - D. DOOR CLOSER, WHERE PROVIDED, SHALL BE ADJUSTED TO CLOSE FROM AN OPEN POSITION OF 10 DEGREES OR MORE IN LESS THAN 3 SECONDS TO A POINT 3" FROM THE LATCH.
 - E. ALL DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE DOOR SHALL NOT BE LESS THAN 32".
 2. CUSTOMER SERVICE RECEIPTS SHALL BE NOT LESS THAN 34" IN LENGTH AND NOT MORE THAN 30" IN HEIGHT ABOVE THE FINISHED FLOOR.
 3. ASSEMBLE STORAGE SHELVING AND DISPLAY UNIT SHALL BE WITHIN THE REACH RANGE AND ASSESSABLE HEIGHT.
 4. RECEIPTS AND COMMUNICATION SYSTEM RECEIPTS ON WALL SHALL BE MOUNTED AT MINIMUM HEIGHT OF 48" ABOVE THE FINISHED FLOOR.
 5. LAVATORIES AND ASSOCIATED MIRRORS SHALL BE INSTALLED AS WALL MOUNTED. A. HEIGHT: LAVATORIES/SINKS SHALL BE MOUNTED WITH THE RIM OF THE LAVATORY/SINK AT MINIMUM HEIGHT OF 34" ABOVE THE FINISHED FLOOR. THE TOTAL DEPTH OF CLEAR SPACE BENEATH THE LAVATORY SHALL NOT BE LESS THAN 17". OF WHICH THE CLEARANCE SHALL NOT BE MORE THAN 6" IN TOTAL DEPTH. KNEE CLEARANCE SHALL BE 27" ABOVE THE FINISHED FLOOR. B. 30" IN WIDTH.
 6. EXPOSED PIPES AND SURFACES: HOT WATER AND DRAIN PIPES EXPOSED UNDER LAVATORY/SINK SHALL BE COVERED. EXPOSED CLOSING DEVICES SHALL BE NO SHARP OR ABRASE SURFACES UNDER LAVATORIES OR SINKS.
 7. FAUCETS/FAUSETT CONTROL HANDLES SHALL BE LOCATED NOT MORE THAN 18" FROM THE RIM OF THE LAVATORY/SINK OR COUNTER. SELF CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS PER OPERATION.
 8. MIRRORS SHALL BE MOUNTED AT MINIMUM HEIGHT OF 48" ABOVE THE FINISHED FLOOR. SHALL BE TO THE BOTTOM OF THE TOP SHELF IS NO MORE THAN 34" ABOVE THE FLOOR.
 6. WATER CLOSETS A. HEIGHT: THE HEIGHT OF THE WATER CLOSET SHALL BE 1' 10" MEASURED TO THE TOP OF THE TOILET SEAT. B. GRAB BARS: GRAB BARS SHALL BE 1 1/2" DIAMETER, AND PROVIDE A CLEARANCE OF 17" BETWEEN GRAB BARS. THE WALL PROVIDE A MINIMUM OF 250 ALLOWANCE. 36" LENGTH AT 48" AT SIDE MOUNTED TO 30" ABOVE THE FINISHED FLOOR.
 7. TOILET CLOSING: THE TOILET CLOSING SHALL BE 18" FROM THE WIDE SIDE OF THE TOILET CLOSURE, NO MORE THEN 4" OFF THE FINISHED FLOOR.
 8. TOILET CLEARANCE: IN STANDARD STALLS, THE FRONT PARTITION AND AT LEAST ONE SIDE PART SHALL PROVIDE A CLEARANCE OF A MINIMUM OF 48".
 7. CONTROLS AND OPERATING MECHANISMS A. HEIGHT: THE HIGHEST OPERABLE PART SHALL 42" ABOVE THE FINISHED FLOOR, MAX. 15" ABOVE THE FLOOR MINIMUM.
 8. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. HAND REQUIRED SHALL BE 5 LB MAX.
 8. SIGNAGE: SHALL COMPLY WITH THE FOLLOWING ITEMS: A. CHARACTER: CHARACTERS SHALL BE 1/8" HIGH. CHARACTERS ON SIGNS SHALL HAVE A WEIGHT TO HEIGHT RATIO BETWEEN 3.5 AND 1.1. AND A STROKE HEIGHT BETWEEN 1.5 TO 1:1.0. B. CHARACTER HEIGHT: MINIMUM HEIGHT: C. FINISH AND CONTRAST: THE CHARACTER AND BACKGROUND OF SIGNS SHALL BE CONTRASTING. THE CHARACTER AND BACKGROUND OF SYMBOLS SHALL BE EGGSTAIN WITH THEIR BACKGROUNDS. EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
 9. LOCATION: THE LOCATION OF SIGNS SHALL BE PERMANENT. INSTALLATION IS PROVIDED FOR ROOMS AND SPACES. SIGNS SHALL BE INSTALLED ON WALLS ADJACENT TO THE ENTRANCE TO THE ROOM OR SPACE. THE SIGN SHALL BE MOUNTED AT LEAST 48" ABOVE THE FINISHED FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3' OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN A SWING OF A DOOR.
 8. SYMBOLS OF ACCESSIBILITY: SYMBOLS SHALL BE INTERNATIONAL SIGNS OF ACCESSIBILITY.

1. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, AS WELL AS UNDERWRITERS REGULATIONS HAVING JURISDICTION. THE CONTRACTORS SHALL ALSO COMPLY WITH RULES AND REGULATIONS OF THE BUILDING OWNER, IF APPLICABLE.

2. THE CONTRACTOR OR THEIR APPOINTED REPRESENTATIVE SHALL SECURE ALL PERMITS AND CERTIFICATES OF OCCUPANCY OR LOCAL EQUIVALENT.

3. THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR, AND REASONABLY INCIDENTAL TO THE COMPLETION, IN PLACE, OF ALL WORK ILLUSTRATED AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL INFORMATION FROM AVAILABLE INFORMATION AND MUST BE VERIFIED WITH ON-SITE CONDITIONS, WRITTEN DIMENSIONS MUST PRECEDE OVER SCALED DIMENSIONS.

FRIENDSWOOD SCOOP SHOP

CONTACT PERSON

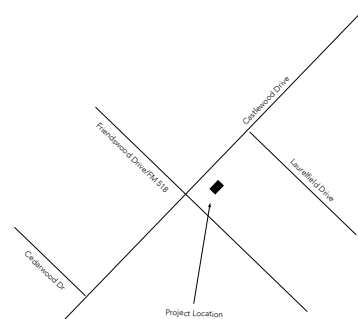
SCOPE OF WORK: A 1013 SQ.FT. BUILDING FOR FRIENDSWOOD SCOOP SHOP

OCCUPANCY TYPE: BOUTIQUE SPACE: B, DINING: A2
OCCUPANT LOAD: 73 (downstairs and attic)
BUILDING CODE AND FIRE CODE: 2018 IFC, 2018 IBC
CONSTRUCTION TYPE: FRAME, ISO CLASS 1, IBC TYPE VB
CODES AND REFERENCES: 2018 EDITION: IBC, IECC, IFC,
NFPA 101, 2017 EDITION: NEC

1013 SQ. FT.
EXISTING BUILDING
SQUARE FOOTAGE

KATIE CHANDLER
PH: 512-913-1228
EMAIL: KATIE.SCOFIELD@GMAIL.COM

INDEX OF DRAWINGS



Scale: 1"=200'

COVER SHEET

FILE NAME: FSS PROJECT- COVS
DESCRIPTION: COVER SHEET
DRAWING SCALE: 1" = 2000'



SITE PLAN EXPIRATION:

APPROVAL OF THE SITE PLAN WILL EXPIRE ONE YEAR AFTER THE APPROVAL OF THE COMMISSION. UPON THAT EXPIRATION OF THAT TIME, THE APPLICANT MUST RESUBMIT A SITE PLAN THAT CONFORMS TO CURRENT ORDINANCES. PROVIDED, HOWEVER, THE APPLICANT MAY REQUEST AN EXTENSION IN WRITING, WHICH MAY BE GRANTED BY THE COMMISSION, FOR A PERIOD NOT TO EXCEED A TOTAL OF (6) SIX MONTHS.

SIGNAGE AND SPRINKLER TO BE PERMITTED SEPARATELY

FOOD SERVICE PLANS HAVE BEEN APPROVED BY THE GALVESTON COUNTY HEALTH DEPT

DATE: 1/10/24

SHEET NUMBER:

1.0

GENERAL NOTES:

1. REFERENCE LINES AND GRADES. THE OWNER SHALL PROVIDE REFERENCES FOR LINE AND GRADE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE REFERENCE POINTS AND REPLACE THEM IF LOST OR DAMAGED.
2. EXISTING UTILITIES. VERIFY LOCATION AND ELEVATION OF EXISTING FACILITIES PRIOR TO CONSTRUCTION OF PROPOSED FACILITIES AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION.
3. PIPELINES. NO EXCAVATING OR OTHER CONSTRUCTION ACTIVITY SHALL BE CONDUCTED IN THE IMMEDIATE VICINITY OF A PIPELINE IN THE ABSENCE OF A PIPELINE REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK, AND SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
4. OVERHEAD LINES MAY EXIST ON THE PROPERTY. THE LINES HAVE NOT BEEN MARKED SINCE THEY ARE CLEARLY VISIBLE. THE CONTRACTOR SHALL LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION. TEXAS LAW, SECTION 752, HEALTH AND SAFETY CODE, FORBIDS ALL ACTIVITIES IN WHICH PERSONS OR THINGS MAY COME WITHIN 6 FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES. CONTRACTORS AND OWNERS ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL & CIVIL LIABILITY.
5. SPECIAL CARE SHALL BE TAKEN TO NOT DISTURB DRAINAGE PATTERNS.
6. PERMITS. OWNER TO OBTAIN ALL PERMITS REQUIRED BY CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION. REQUIRED PERMITS THAT CAN ONLY BE ISSUED TO CONTRACTOR SHALL BE OBTAINED AT HIS EXPENSE.
7. SAFETY. OBSERVE ALL FEDERAL, STATE, AND LOCAL SAFETY REGULATIONS WHEN WORKING IN OR NEAR PUBLIC ROAD R.O.W.S.
8. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND STATE OF TEXAS LAWS CONCERNING EXCAVATION, TRENCHING, AND SHORING.
9. FLOOD STATEMENT: THIS PROPERTY LIES WITHIN ZONE "X" (UNSHADED) AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NUMBER: 48167 C 0014 G, DATED AUGUST 15, 2019.
10. TEMPORARY BENCHMARKS: TBM #1: E459 (AW1002), ELEV=25.99', NAVD88
TBM #2: SET MAG NAIL IN EAST RIGHT-OF-WAY SOUTH FRIENDSWOOD DRIVE (AKA FM 518), ELEV=27.40'

PARKING SUMMARY

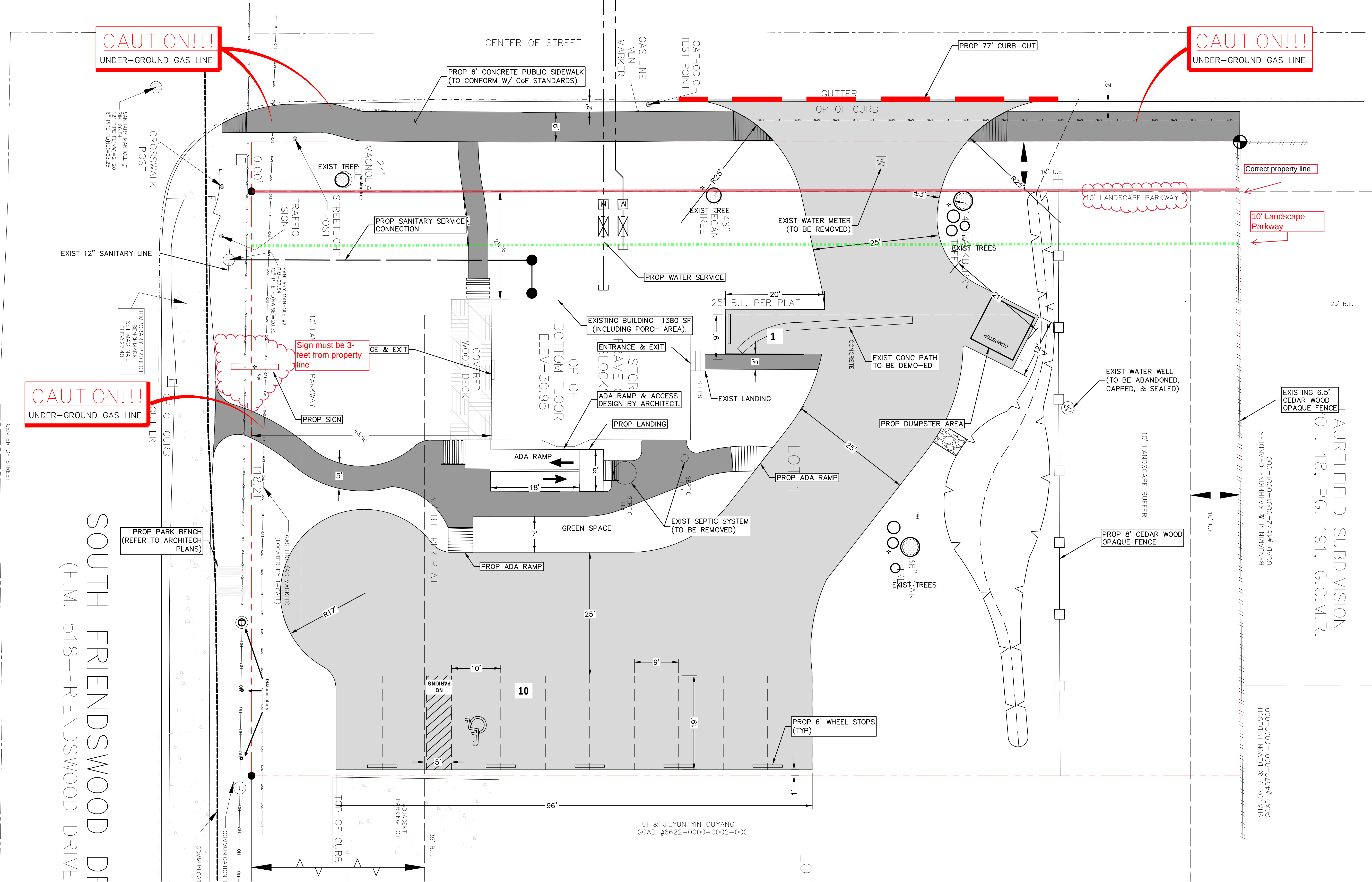
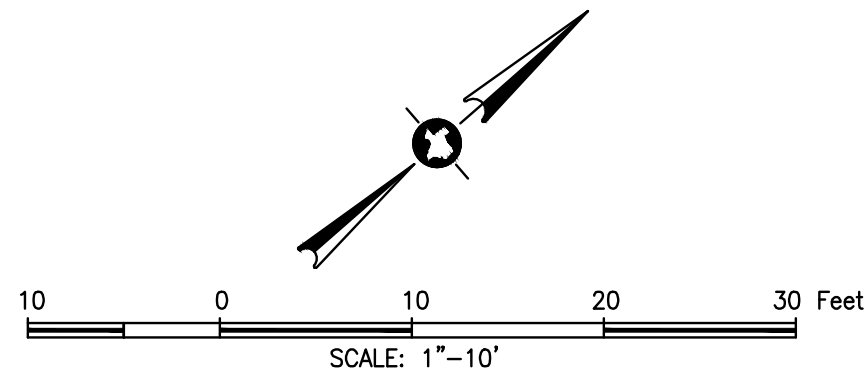
STANDARD PARKING SPACES REQUIRED
RESTAURANT = 1,368 SF
@ 10 EA/1,000 SF
TOTAL SPACES REQUIRED= 11 EA
HANDICAP SPACES REQ.(1-50 SPACES)= 1 EA
PARKING SPACES PROVIDED
STANDARD - 10 EA
HANDICAP - 1 EA
TOTAL SPACES PROVIDED = 11 EA

COVERAGE SUMMARY

LOT AREA = 25,642 SF
PARKING & SIDEWALKS = 8,577 (33% COVERAGE)
BUILDING = 1,380 SF (5% COVERAGE)
COVERAGE PROVIDED - 38%

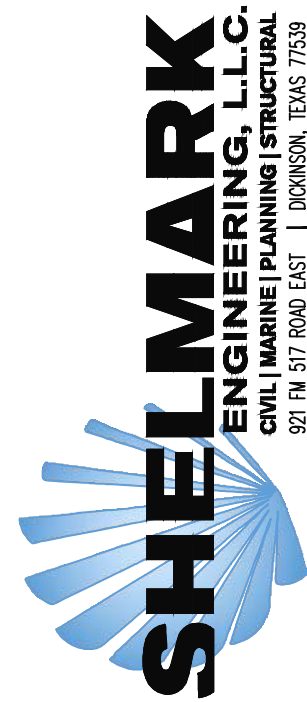
NOTE:
DOWNTOWN DISTRICT ZONING SET BACKS ARE 0.

- ACCESSIBLE PARKING SPACES MUST BE PAVED AND MUST INCLUDE:
1. ACCESSIBLE PARKING SYMBOL OF ACCESS PAINTED CONSPICUOUSLY ON THE SURFACE IN A COLOR THAT CONTRASTS THE PAVEMENT;
 2. THE WORDS "NO PARKING" PAINTED ON ANY ACCESS AISLE ADJACENT TO THE PARKING SPACE. THE WORDS MUST BE PAINTED:
 - 2.1. IN ALL CAPITAL LETTERS
 - 2.2. WITH A LETTER HEIGHT OF AT LEAST ONE (1) FOOT, AND A STROKE WIDTH OF AT LEAST TWO (2) INCHES; AND
 - 2.3. CENTERED WITHIN EACH ACCESS AISLE ADJACENT TO THE PARKING SPACE; AND
 3. A SIGN IDENTIFYING THE CONSEQUENCES OF PARKING ILLEGALLY IN A PAVED ACCESSIBLE SPACE. THE SIGN MUST:
 - 3.1. AT A MINIMUM STATE "VIOLATORS SUBJECT TO FINE AND TOWING" IN A LETTER HEIGHT OF AT LEAST ONE INCH;
 - 3.2. BE MOUNTED ON A POLE, POST, WALL, OR FREESTANDING BOARD;
 - 3.3. BE NO MORE THAN EIGHT (8) INCHES BELOW A SIGN REQUIRED BY TEXAS ACCESSIBILITY STANDARDS, 502.6; AND
 - 3.4. BE INSTALLED SO THE BOTTOM EDGE OF THE SIGN IS NO LOWER THAN FOUR (4) FEET AND NO HIGHER THAN SIX (6) FEET ABOVE GROUND LEVEL
 4. A SIGN THAT MEETS THE REQUIREMENTS SET IN TEXAS ACCESSIBILITY STANDARDS, 502.6, THAT INCLUDES THE REQUIRED LANGUAGE IN SUBSECTION (c)(i) SATISFIES THESE REQUIREMENTS



FRIENDSWOOD SCOOP SHOP
901 S. FRIENDSWOOD DRIVE (F.M. 518)
FRIENDSWOOD, TEXAS

PROJECT:



ISSUED FOR	02/09/2024
REVIEW	3/5/24
CITY COMMENTS	



DWG NAME:
SITE PLAN

DWG NO:
C1.00

SCALE:	1"=10'	BY:	EG
JOB NO:	23-347	REV:	B

LANDSCAPE TABLE

Landscaping Required:

Small Parking/Driveway Area: $7,344\text{sft} \times 10\% = 734.4$ landscape area

1 tree per 250 sqft of landscape: 3 trees required

Perimeter Landscaping between 903: 1 tree per 40 linear feet: $200\text{ ft}/40 = (5)$ 2" trees

Landscaping buffers: 1 tree every 25 linear ft, min 2" tree: $118/25 = (5)$ 2" trees

Landscape Parkways: 2 benches, trees every 25 feet, half 4", half 2"
 $118+200/25 = 13$ trees (6) 2" trees and (7) 4" trees

of tree inches required: (16) 2" trees and (7) 4" trees, total of 60" of trees required

Existing Trees (only the largest listed):

46" Pecan
24" Magnolia
36" Oak

TOTAL largest trees: 106"

Only removing DEAD trees (a few crepe myrtles), but keeping all other trees on the property. JUST with the 3 largest trees, the tree inch is 46" over requirement.

NOTE: Parking was situated intentionally in the open land to preserve the trees. All other areas are fully wooded.

LANDSCAPE %

Lot Coverage= 128.21'x200' = 25,642 sqft = 100%
Driveway, parking and sidewalks = 8,577 = 33%
Structure = 48.75'x28.3' = 1380 sqft = 5%
Landscape/Green Space = 15,685 sqft = 62%

EXISTING 6.5'
CEDAR WOOD
OPAQUE FENCE

DUMPSTER SCREENING DETAILS

The diagram illustrates the construction of a dumpster screening detail. A central rectangular concrete slab, labeled "6\" CONCRETE SLAB ON WELL COMPACTED, CLEAN SAND FILL", is shown at an angle. A "WOOD FENCE, PAINTED WHITE TO MATCH MAIN STRUC" is attached to the top edge of the slab. The fence is composed of vertical "WOOD POST" and horizontal "WOOD RAIL" sections. The posts are labeled "4\"x4\" 50 FT. WOOD POST SET IN 12\" DIA X 36\" DEEP CONC. FOOTING PRIOR TO POURING FLOOR SLAB EA POST". The rails are labeled "OPTIONAL 5\" DIA ROLLER 36\" A.F.F. 2\" EMBEDDED IN CONC. (TYP)". The bottom edge of the slab is labeled "APRON GATE STOP". The right side of the slab is labeled "OPT. ROLLER". The left side of the slab is labeled "ATTACH WOOD NAILED EA DIRECTION". The top edge of the slab is labeled "BORE HOLES IN CONCRETE TO ACCEPT CANE BOLTS FOR BOTH OPEN AND CLOSED POSITIONS". The bottom edge of the slab is labeled "HOLES IN APRON GATE STOP".

4"X4" 50 FT. WOOD POST SET IN 12" DIA X 36" DEEP CONC. FOOTING PRIOR TO POURING FLOOR SLAB EA POST

ATTACH WOOD NAILED EA DIRECTION

OPTIONAL 5" DIA ROLLER 36" A.F.F. 2" EMBEDDED IN CONC. (TYP)

WOOD FENCE, PAINTED WHITE TO MATCH MAIN STRUC

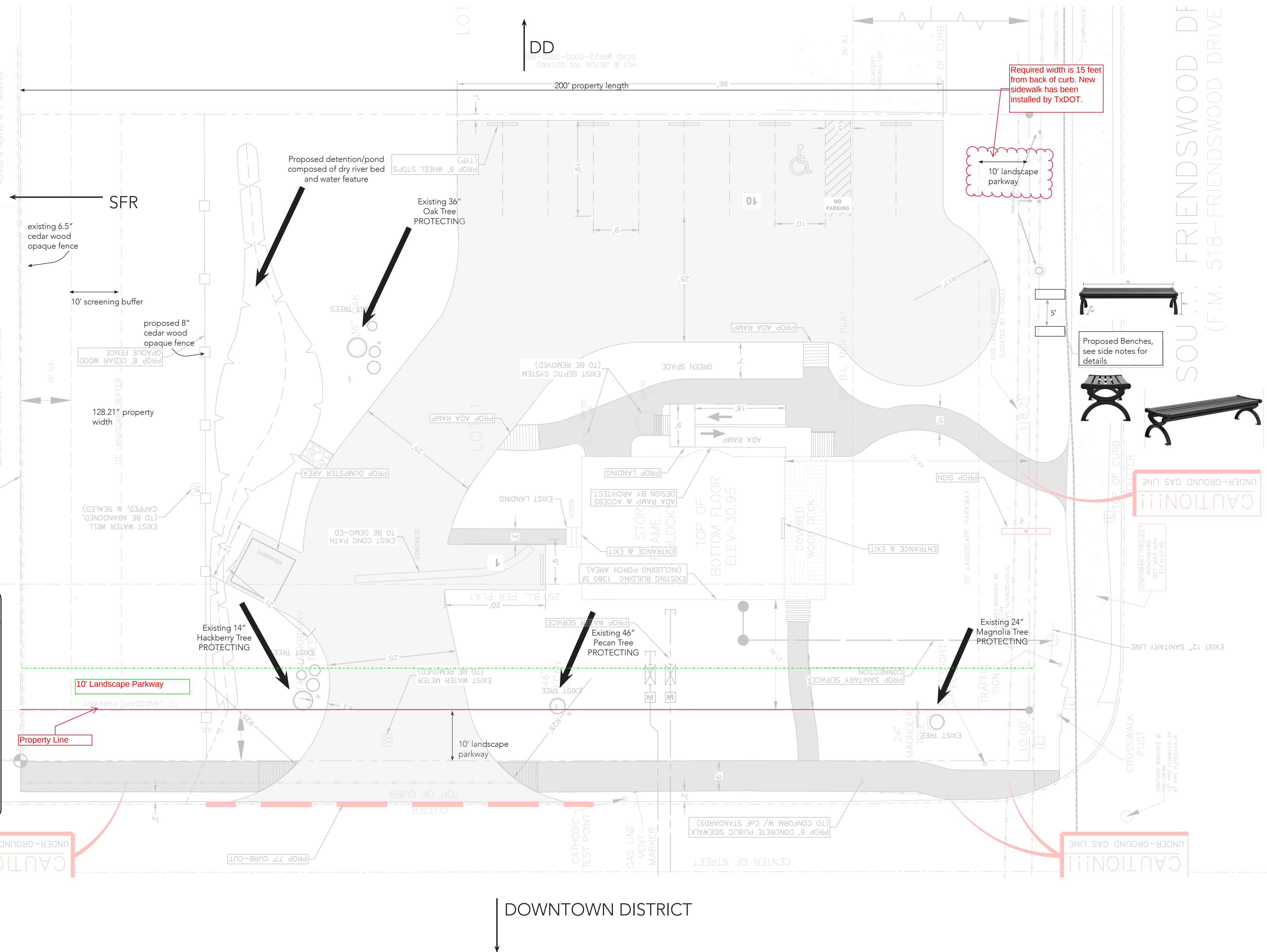
BORE HOLES IN CONCRETE TO ACCEPT CANE BOLTS FOR BOTH OPEN AND CLOSED POSITIONS

APRON GATE STOP

OPT. ROLLER

HOLES IN APRON GATE STOP

6" CONCRETE SLAB ON WELL COMPACTED, CLEAN SAND FILL



DISCLAIMER:

THESE PLANS ARE THE SOLE PROPERTY OF KATIE CHANDLER AND ARE FOR THE SOLE USE ON A SPECIFIC PROJECT AND MAY NOT BE USED ON ANY OTHER PROJECT WITHOUT PERMISSION BY KATIE CHANDLER.

ZONING: DOWNTOWN DISTRICT

BENCH SPECS:

- Rust Proof Aluminum construction
- Powder Coated Frame and seat to resist corrosion and rust
- Made by Global Industrial (WebCoat is no longer in business).
- 73"L x 22-3/4"W x 30-3/4"H
- Weight Capacity 1100lbs
- Surface mount

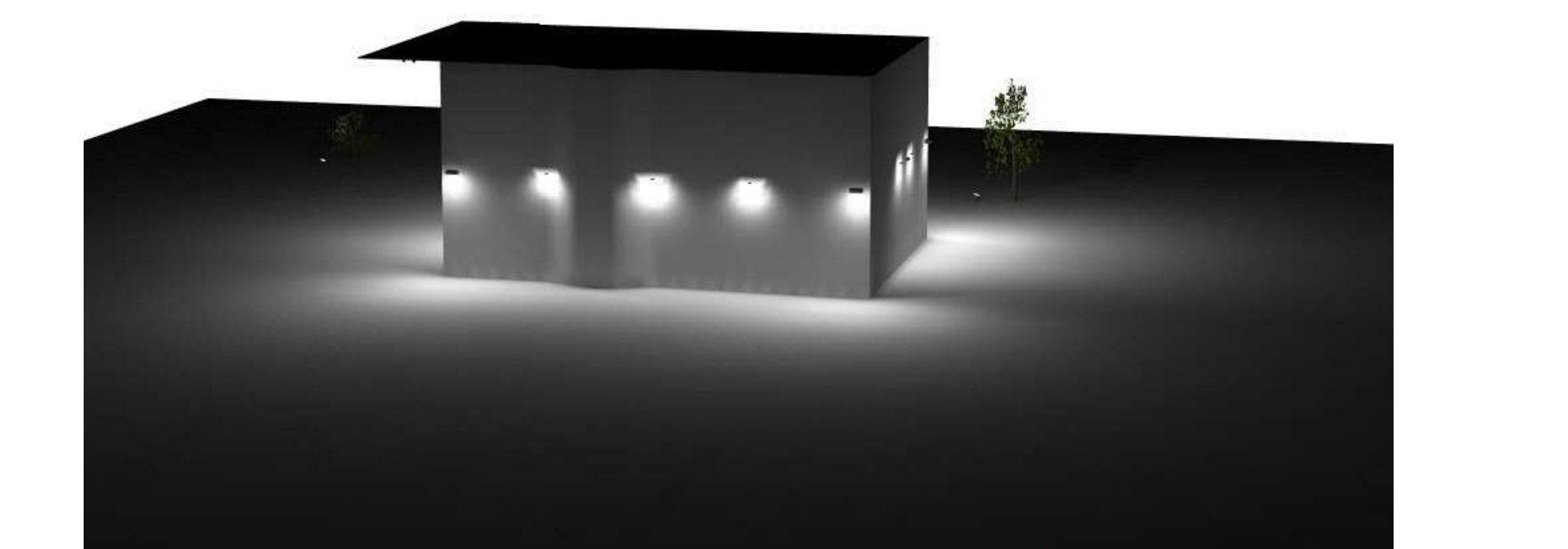
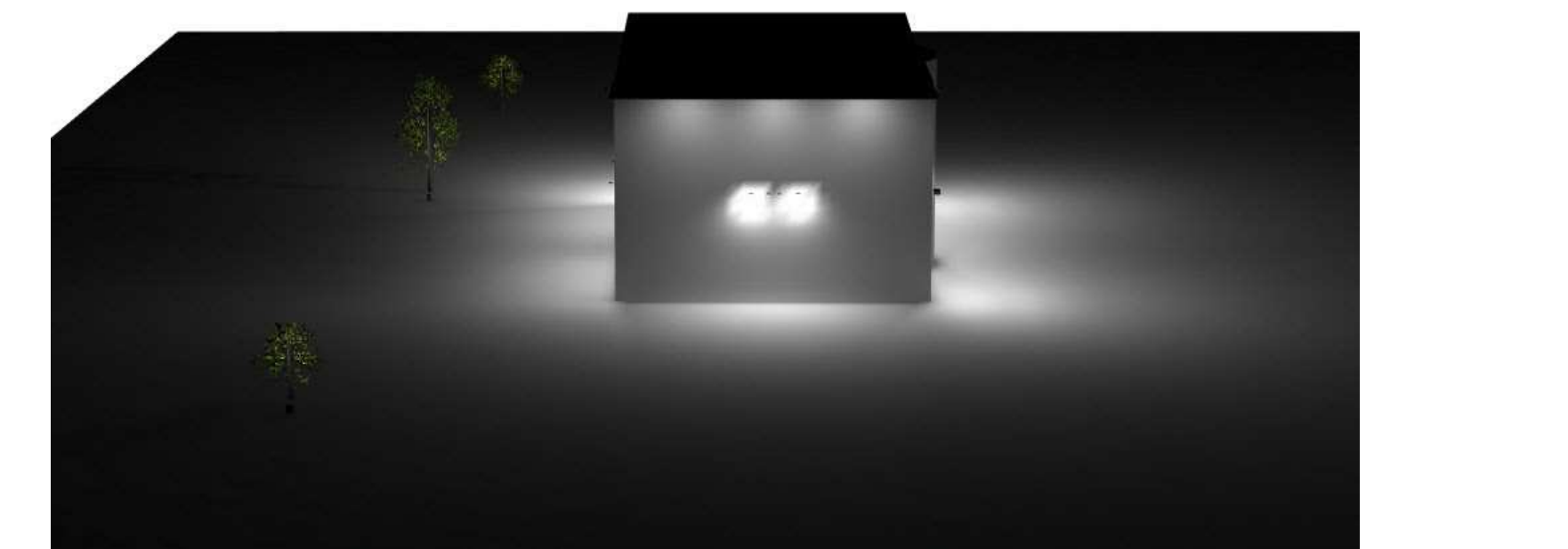
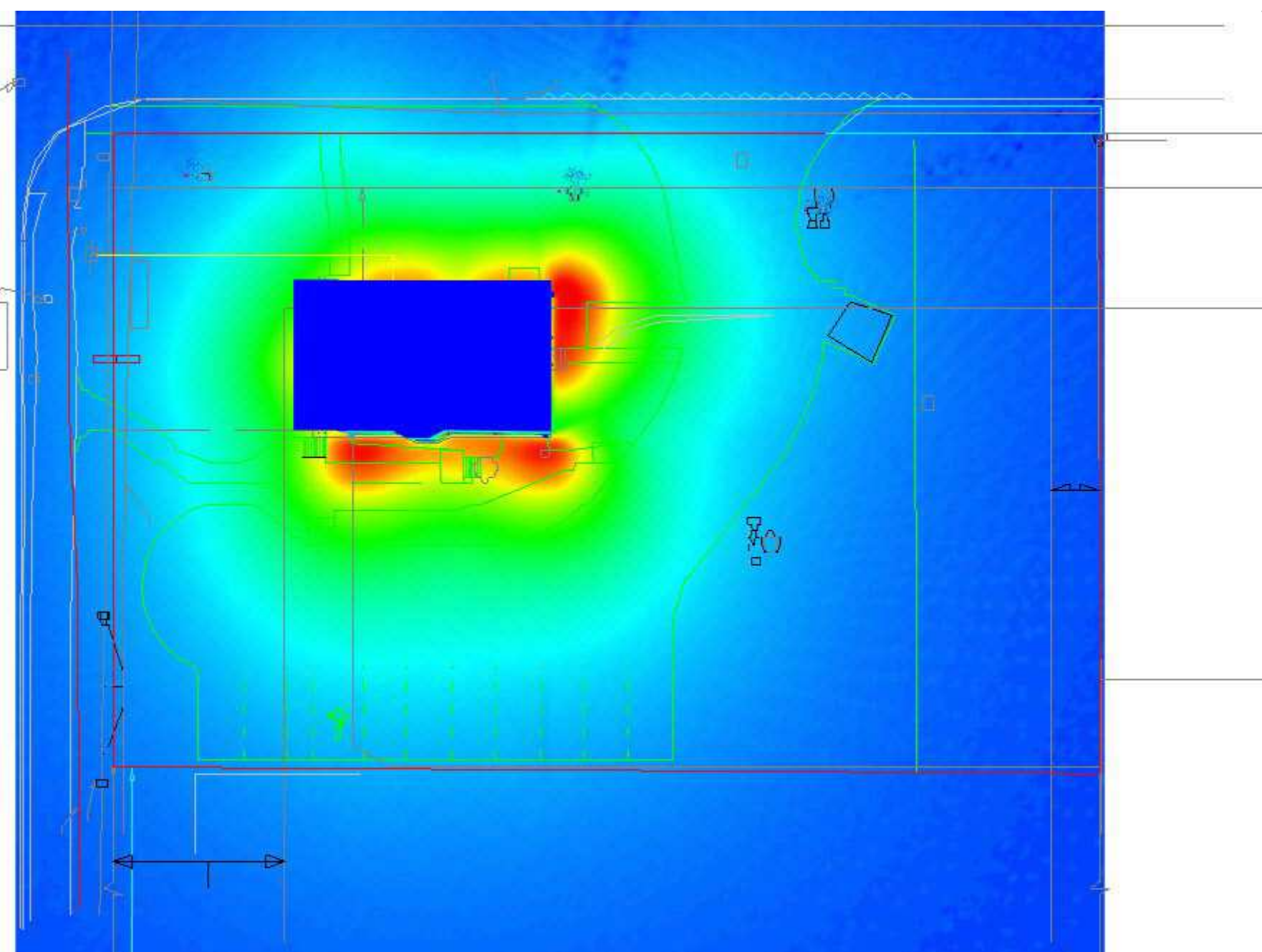
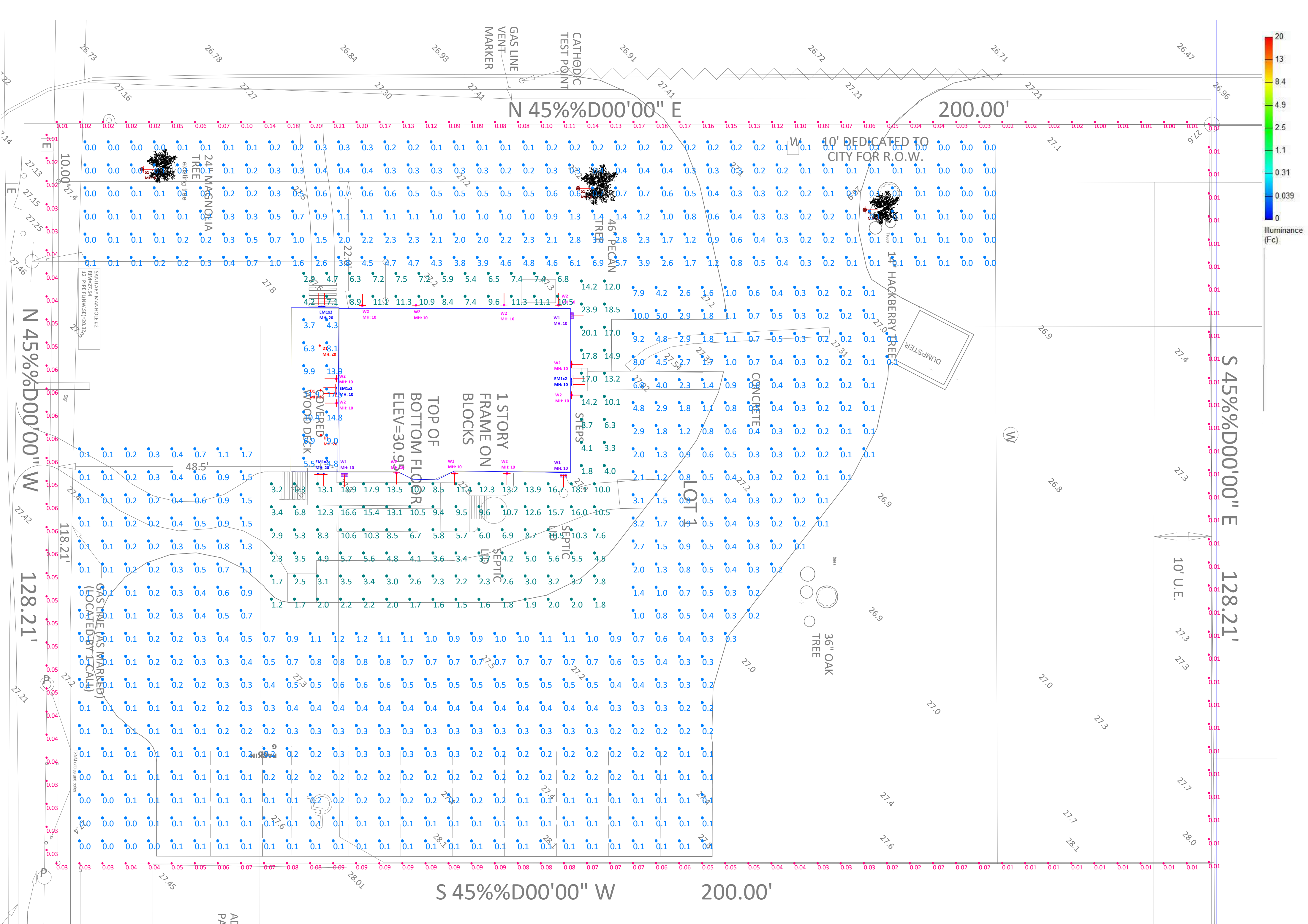
Because the existing benches are no longer available, the backless bench may be more seamless and not stand out as not matching. Backless bench also allows pedestrians to sit facing either direction, and allows for people with large groups to sit on the benches facing either direction.

DATE: 1/25/24

SHEET NUMBER:

2.2

2.2



Calculation Summary				
Label	Units	Avg	Max	Min
Boundary spill	Fc	0.1	0.21	0.00
Building perimeter N-E	Fc	12.3	23.9	1.8
Building perimeter N-W	Fc	7.8	11.3	2.9
Building perimeter S-E	Fc	6.8	18.9	1.2
Deck	Fc	9.1	17.5	3.7
Drive and parking	Fc	0.6	10.0	0.0
Tree and landscape	Fc	0.7	6.9	0.0

Luminaire Schedule				
Label	Symbol	Description	LLF	Qty
EM1x2		Eaton SEL17 EM x 2	0.800	4
D1		Maxxima MRL-61425 - Sensor downlight	0.800	3
W1		PLT-11926 Wall pack	0.800	3
W2		SYLVANIA Easton Vintage Light Sconce Fixture, 60W	0.800	11
S1		Patriot 120V LED Solid Brass Directional Lighter 6W	0.800	3





SIDE FACING NW AND CASTLEWOOD

BUILDING DEPTH:
28.3'



SIDE FACING SE

NOTE:
ALL MECHANICAL AND ELECTRICAL EQUIPMENT WILL BE
SCREENED AND PAINTED TO MATCH BUILDING.



FRONT FACING SW AND S18

BUILDING WIDTH:
28.3'



BACK FACING NE

BUILDING HEIGHT:
21'

EXTERIOR ELEVATIONS

FILE NAME: PG PROJECT - EXISTING EXTERIOR ELEVATIONS
DESCRIPTION: EXTERIOR ELEVATIONS

KATIE CHANDLER
DESIGNER
902 LAURELFIELD DR
FRIENDSWOOD, TX 77546
512-913-1228
KATIE.SCOFIELD@GMAIL.COM

DISCLAIMER:
THESE PLANS ARE THE SOLE
PROPERTY OF KATIE CHANDLER
AND ARE FOR THE SOLE USE ON
A SPECIFIC PROJECT AND MAY
NOT BE USED ON ANY OTHER
PROJECT WITHOUT PERMISSION
BY KATIE CHANDLER.

NOTES:
BUILDING MATERIAL: WOOD

DATE: 1/21/24
SHEET NUMBER:

3.2



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: March 14, 2024

Subject: Discuss a recommendation from the Ad Hoc Parking Subcommittee regarding parking.

Action:

SUMMARY / ORIGINATING CAUSE

The Ad Hoc Parking Subcommittee was appointed in 2023 to research the city's parking standards and decide if any changes could be recommended.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Changes to the city's parking standards could increase land use, decrease the cost of development, and improve walkability.

RECOMMENDATIONS

The Ad Hoc Parking Subcommittee recommends a 20 percent reduction of parking spaces in the Design Criteria Manual, Appendix C, Parking Group Table. The subcommittee also recommends staff increase transparency of existing alternative parking solutions such as shared parking agreements and the opportunity to present parking analyses for consideration by the City Engineer. Finally, the subcommittee recommends the city incentivize redevelopment of larger parking areas.

ATTACHMENTS



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: March 14, 2024

Subject: Receive an update regarding the Zoning Board of Adjustment (ZBOA) 2023 Annual Report.

Action:

SUMMARY / ORIGINATING CAUSE

The ZBOA annual report was provided to City Council on March 4. A copy of the report is attached. No meetings were held in 2023 for the purpose of considering a variance, appeal, or special exception.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. 2023 ZBOA Annual Report

Memo

To: Mayor and City Council

From: Philip Ratisseau, Zoning Board of Adjustment Chair
Glen Grayban, Zoning Board of Adjustment Vice-Chair

Date: March 2024

Re: 2023 Zoning Board of Adjustment Activity

The Zoning Board of Adjustment met one time in 2023 for administrative purposes to vote for chairman and vice chairman and administer oaths of office for reappointed members.

Correction to the report last year...

Last year's annual report indicated that an administrative meeting was held to re-elect a chair and vice chairperson; however, that action was not taken in 2022. Chair and vice chair positions are two-year terms and prior to 2023 were last elected in 2021.

HISTORICAL PERSPECTIVE:

Year	Number of ZBOA Cases
2023	0
2022	2
2021	2
2020	6*
2019	0
2018	9*
2017	2
2016	5
2015	3
2014	3
2013	1
2012	4

* Multiple requests for same address



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: March 14, 2024

Subject: Receive an update regarding the Planning and Zoning 2023 Annual Report provided to City Council on March 4, 2024.

Action:

SUMMARY / ORIGINATING CAUSE

The detailed summary of P&Z activity as well as the summary are attached. Tom provided an annual report to City Council on Monday, March 4, 2024.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. 2023 Summary of P&Z Actions
2. PZ Activity Report 2023

2023 Summary of Planning and Zoning Actions

Date	App Type	Project Name	Action	Expiration	Council Action
1/12/2023	Recommendation	Zone classification change for 401 N Friendswood Dr (Jeter) from CSC to SFR	Positive Recommendation	n/a	PZ PH 1-12-2023 CC PH & 1st Reading 2-9-2023 Ordinance 2023-05
2/9/2023	Commercial Site Plan	The Albritton - 408 S Friendswood Dr	Approved	2/9/2024	n/a
2/9/2023	Commercial Site Plan	Challenge Elite Sports - 14150 Beamer Rd	Approved	2/9/2024	n/a
2/9/2023	Final Plat	Hagewood Estates	Approved	2/9/2024	n/a
2/9/2023	Preliminary Plat Extension	Friendswood Trails Sections 3A & 4A	Approved	8/9/2024	n/a
3/9/2023	Final Plat	Georgetown Detention Basin Phase I	Approved	3/9/2024	n/a
4/13/2023	Recommendation	Zone classification change for 801 W Parkwood Ave from SFR to CSC	Positive Recommendation	n/a	PZ PH 4-13-2023 CC PH & 1st Reading 5-1-2023 Ordinance 2023-10
4/13/2023	Recommendation	Zone classification change for 502 S Friendswood Dr and 107 Spreading Oaks Dr (Friends Church) from SFR to DD with an SUP for #8131 Religious Organizations and #624 Social Assistance	Positive Recommendation	n/a	PZ PH 4-13-2023 CC PH & 1st Reading 5-1-2023 Ordinance 2023-11
4/13/2023	Commercial Site Plan	Big City Manufacturing - 4472 FM 2351	Approved	4/13/2024	n/a
4/13/2023	Preliminary Plat	Nixon Estates	Approved	10/13/2023	n/a
5/25/2023	Final Plat	Nixon Estates	Approved	5/25/2024	n/a
5/25/2023	Replat	Jeter Memorial Funeral Home	Approved	5/25/2024	n/a
6/8/2023	Final Plat	Division C Lot 64	Approved	6/8/2024	n/a
6/8/2023	Commercial Site Plan Amendment	4 Oak Tree Drive - add 6 parking spaces	Approved	6/8/2024	n/a
6/22/2023	Preliminary Plat	Friendswood Trails Sections 4B & 5A	Approved	12/22/2023	n/a
6/22/2023	Commercial Site Plan Amendment	Industry Park II - 4550 and 4552 FM 2351 Add 8' wood fence at Discount Brake	Approved	6/22/2024	n/a
6/22/2023	Commercial Site Plan Amendment	Industry Park II - 4550 and 4552 FM 2351 Replace wood fence with chain link fence	Disapproved	n/a	n/a
6/22/2023	Commercial Site Plan Amendment	Industry Park II - 4550 and 4552 FM 2351 Do not install buffer trees	Disapproved	n/a	n/a
6/22/2023	Commercial Site Plan Amendment	Industry Park II - 4550 and 4552 FM 2351 Decrease mitigation trees from 12 to 9	Approved	6/22/2024	n/a

2023 Summary of Planning and Zoning Actions

Date	App Type	Project Name	Action	Expiration	Council Action
6/22/2023	Commercial Site Plan Amendment	Industry Park II - 4550 and 4552 FM 2351 Increase gate sizes to 4-feet wide	Approved	6/22/2024	n/a
6/22/2023	Commercial Site Plan Amendment	Industry Park II - 4550 and 4552 FM 2351 Modify fire lanes in accordance with FMO	Approved	6/22/2024	n/a
6/22/2023	Commercial Site Plan Amendment	Industry Park II - 4550 and 4552 FM 2351 Move gate locations along the driveway	Approved	6/22/2024	n/a
6/22/2023	Commercial Site Plan Amendment	Industry Park II - 4550 and 4552 FM 2351 Move ADA parking spaces near Building 1	Approved	6/22/2024	n/a
6/22/2023	Commercial Site Plan Amendment	Industry Park II - 4550 and 4552 FM 2351 Replace proposed aluminum fence with a 8' wood fence	Approved	6/22/2024	n/a
7/13/2023	Recommendation	Amendments to Appendix C, Zoning Ordinance, Section 7.P.6. Permitted Use Table including NAICS updates, commercial uses in industrial districts, and remove S1	Positive Recommendation	n/a	PZ PH 7-13-2023 CC PH & 1st Reading 8-7-2023 Ordinance 2023-18
8/10/2023	Recommendation	Amendments to Appendix A, Sign Ordinance	Positive Recommendation	n/a	PZ 8-10-2023
8/10/2023	Recommendation	Zone Change Request 209 E Edgewood Drive from PUD to OPD and allow SUP to remain	Positive Recommendation	n/a	PZ PH 8-10-2023 CC PH & 1st Reading 9-11-2023 Ordinance 2023-23
8/10/2023	Commercial Site Plan Amendment	Friendswood Community Hospital - 3201 E FM 528	Approved	8/10/2024	n/a
8/10/2023	Final Plat Extension	Avalon @ Friendswood Detention Final Plat	Approved	8/10/2024	n/a
8/24/2023	Commercial Site Plan Amendment	Friendswood Shopping Center - 106 Whispering Pines Ave Additional Parking	Approved	8/24/2024	n/a
8/24/2023	Commercial Site Plan	Site One Landscape Storage - 4456 FM 2351	Approved	8/24/2024	n/a
8/24/2023	Recommendation	Amendments to Appendix A, Sign Ordinance	Positive Recommendation	n/a	PZ 8-10-2023; 8-24-2024 CC 1st Reading 9-11-2023 CC 2nd Reading 10-2-2023 Ordinance 2023-26
9/28/2023	Master Plan	The Estates at Wilderness Trail	Approved	n/a	n/a

2023 Summary of Planning and Zoning Actions

Date	App Type	Project Name	Action	Expiration	Council Action
10/12/2023	Recommendation	Zone Change Request Friendswood City Center from PUD to revised PUD	Positive Recommendation	n/a	PZ PH 10-12-2023 Tabled PZ 10-26-2023 CC PH & 1st Reading 11-6-2023 Ordinance 2023-28
10/26/2023	Preliminary Plat	Georgetown Section 1	Disapproved	n/a	n/a
10/26/2023	Preliminary Plat	Georgetown Blvd Phase II	Disapproved	n/a	n/a
10/26/2023	Preliminary Plat	Sherry Lane Street Dedication	Disapproved	n/a	n/a
11/16/2023	Recommendation	Zone Change Request 901 S Friendswood Dr from NC to DD	Positive Recommendation	n/a	PZ PH 11-16-2023 CC PH & 1st Reading 12-4-2023 Ordinance 2023-32
11/16/2023	Commercial Site Plan Amendment	Family Animal Hospital of Friendswood - 1 Oak Tree Dr	Approved	11/16/2024	n/a
11/16/2023	Commercial Site Plan	110 and 112 Hunters Ln Shell Buildings	Approved	11/16/2024	n/a
12/4/2023	Recommendation	Zone Change Request 903 S Friendswood Dr from NC to DD	Positive Recommendation	n/a	PZ PH 12-04-2023 CC PH & 1st Reading 01-8-2024 Ordinance 2024-01

Final Approval Totals:

Commercial Site Plans - 5
 Commercial Site Plan Amendments & Extensions - 5
 * Amendments to Industry Park II only counted as one approval
 Preliminary Plats - 2
 Preliminary Plat Extensions - 1
 Final Plats/Replats - 5
 Final Plat Extensions - 1
 Vacating Plat -
 Master Plan - 1

Total Recommendations to City Council:

Zone Changes - 7
 Ordinances - 2
 Resolutions -



Summary of Actions

(Detailed spreadsheet attached)

- 16 Meetings
- 2 Preliminary Plats; 1 Extensions
- 5 Final Plats/Replats; 1 Extension
- 5 Commercial Site Plans; 5 Amendments/Extensions
- 7 Zone Change recommendations
- 2 Ordinance and 0 Resolution Recommendations
- 0 - Vacate ROW/Easement recommendations

Accomplished:

- Conducted annual review of Permitted Use Table; made a recommendation and changes were adopted via Ord. 2023-18
- Recommended to Council to amend Appendix A, Sign Ordinance – changes adopted via Ord. 2023-26; this change included a change to prohibit LED window lights in all commercial zoning districts
- Two commissioners and staff attended the APA Texas Conference in Corpus Christi.
- Held a Retreat to establish and prioritize goals for the Commission

Ongoing projects/To Do List:

- Continue work with City Council to update the Comprehensive Plan
 - Obtain updates from other City departments involved in the Comprehensive Plan to identify their progress and deadlines for completing their sections.
 - Update list of related master plans and progress on updates to those plans.
 - Establish review and update procedures for the future.
- Workshop Mobile Vendors with City Council.
- Review/update Zoning Ordinance:
 - Adopt a formal process of updating the Future Land Use Map.
 - Update requirements for special events.
- Adopt a new official zoning map.
- Research micro zoning for undeveloped commercial along FM 528.
- Review/recommend updates to the Design Criteria Manual regarding minimum parking regulations for funeral homes and gas stations.
- Review Park Dedication requirements once Parks Master Plan is updated.
- Training on various planning related topics.



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: March 14, 2024

Subject: Receive the DRC Report for February 2024, Council Liaison updates concerning action taken by the City Council on Planning and Zoning related items, and Commissioner comments concerning items of community interest and/or requesting future agenda items.

Action:

SUMMARY / ORIGINATING CAUSE

The February 2024 DRC Report is attached.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. February 2024 DRC Report

COMMUNITY DEVELOPMENT DEPARTMENT

MONTHLY DRC REPORT

FEBRUARY 2024



Project	Current Zoning	Zone Change Required? Y/N	Issues discussed	Location
FM 528/Friendswood Parkway Residential (11 acres at rear, detached homes on 26-ft lots) behind commercial (from 250 feet of frontage)	CSC	Yes – either MFR-M or PUD for mixed use	☒ Zone change ☒ Meets Future Land Use Map – commercial frontage ☒ Plat required ☐ Eligible for Certificate of Platting Exemption - issued ☒ Site plan approval ☐ Community Overlay District (300 feet) ☐ Downtown District ☒ Water Available ☒ Sewer Available ☒ On-site detention required ☐ May be eligible for regional detention ☐ High hazard flood zone(s) – AE, Floodway, and Shaded X; on-site flood mitigation required ☐ Pipelines and abandoned oil wells ☒ TxDOT Permits required Misc Notes: 5-foot sidewalk required along FM 528; connectivity and pedestrian emphasis for PUD	