



**ZONING BOARD OF ADJUSTMENT, REGULAR MEETING
TUESDAY, DECEMBER 17, 2024 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL
910 S. FRIENDSWOOD DR, FRIENDSWOOD, TEXAS 77546**

AGENDA

1. CALL TO ORDER

2. PUBLIC COMMENT

- A. In order to comply with provisions of the Open Meetings Act, the Board may not deliberate on subjects discussed under this agenda item. However, the Board may direct such subjects to be placed on a later regular agenda for discussion and/or possible action.

3. APPROVAL OF MINUTES

- A. Consider approval of the minutes for the Zoning Board of Adjustment Regular Meeting held April 23, 2024.

4. VARIANCES

- A. Conduct a public hearing concerning a request for a variance to Appendix C "Zoning Ordinance," Section 7.Q.3.f "Schedule of district regulations, area and height exceptions" of the Friendswood City Code for the property located at 5423 Appleblossom Lane, Friendswood, Harris County, Texas, to allow a detached accessory structure to encroach the 10-foot rear setback by 2 feet and the 5-foot interior side setback by 0.8 feet.
- B. Consider granting a variance to Appendix C "Zoning Ordinance," Section 7.Q.3.f "Schedule of district regulations, area and height exceptions" for the property located at 5423 Appleblossom Lane, Friendswood, Harris County, Texas, to allow a detached accessory structure to encroach the 10-foot rear setback by 2 feet and the 5-foot interior side setback by 0.8 feet.
- C. Conduct a public hearing concerning a request for a variance to Appendix C "Zoning Ordinance," Section 8 "Supplementary district regulations" of the Friendswood City Code for the property located at 904 Longleaf Court, Friendswood, Galveston County, Texas, to allow an accessory structure to be erected closer than 5 feet next to the main structure.
- D. Consider granting a variance to Appendix C "Zoning Ordinance," Section 8 "Supplementary district regulations" of the Friendswood City Code for the property located at 904 Longleaf Court, Friendswood, Galveston County, Texas, to allow an accessory structure to be erected closer than 5 feet next to the main structure.

5. COMMUNICATIONS

- A. Receive Staff updates or reports, Council Liaison updates concerning action taken by the City Council on Zoning Board of Adjustment related items, and Board Member comments concerning items of community interest and/or requesting future agenda items.

6. ADJOURNMENT

PUBLIC NOTICE IS GIVEN THAT IN ADDITION TO ANY EXECUTIVE SESSION LISTED ABOVE, THE ZONING BOARD OF ADJUSTMENT RESERVES THE RIGHT TO ADJOURN INTO EXECUTIVE SESSION AT ANY TIME AS AUTHORIZED BY THE TEXAS GOVERNMENT CODE SECTIONS 551.071 - 551.090 TO DISCUSS ANY MATTERS LISTED ABOVE.

THE CITY OF FRIENDSWOOD IS COMMITTED TO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. REASONABLE ACCOMMODATIONS AND EQUAL ACCESS TO COMMUNICATIONS WILL BE PROVIDED UPON REQUEST. PLEASE CONTACT THE CITY SECRETARY'S OFFICE BY PHONE AT (281) 996-3270, FAX (281) 482-1634, OR CONTACT (281) 996-3270 VIA RELAY TEXAS AT 711 OR 1-800-735-2988 FOR TYY SERVICES. FOR MORE INFORMATION CONCERNING RELAY TEXAS, PLEASE VISIT: [HTTP://RELAYTEXAS.COM](http://RELAYTEXAS.COM).



Becky Bennett
Assistant Planner of Community Development



Posted by: Leticia Brysch, City Secretary
Posted in compliance with the Texas Open Meetings Act this
12th day of December 2024, at 5:30 P.M.



AGENDA ITEM FORM

Date requested for City Council consideration: December 17, 2024

Date submitted: 12/09/2024

Prepared by: Becky Bennett, Assistant Planner

Subject: Consider approval of the minutes for the Zoning Board of Adjustment Regular Meeting held April 23, 2024.

Originating Department: Community Development

Degree of importance:

SUMMARY / ORIGINATING CAUSE

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. ZBOA Minutes 4-23-2024



**CITY OF FRIENDSWOOD
ZONING BOARD OF ADJUSTMENT
TUESDAY, APRIL 23, 2024 - 7:00 PM**

Minutes

**MINUTES OF A FRIENDSWOOD REGULAR MEETING HELD AT 910 S. FRIENDSWOOD
DR, FRIENDSWOOD, TEXAS 77546, COUNCIL CHAMBERS, CITY HALL**

DRAFT

STATE OF TEXAS
CITY OF FRIENDSWOOD
COUNTIES OF GALVESTON/HARRIS
APRIL 23, 2024

1. CALL TO ORDER

MINUTES OF A REGULAR MEETING OF THE FRIENDSWOOD ZONING BOARD OF ADJUSTMENT THAT WAS HELD ON TUESDAY, APRIL 23, 2024, AT 07:00 PM AT FRIENDSWOOD CITY HALL COUNCIL CHAMBERS, 910 S. FRIENDSWOOD DRIVE, FRIENDSWOOD, TEXAS, WITH THE FOLLOWING PRESENT CONSTITUTING A QUORUM:

CHAIRMAN PHILIP RATISSEAU
VICE CHAIRMAN GLEN GRAYBAN
BOARD MEMBER GLENN MINTZ
BOARD MEMBER MICHAEL FERNANDEZ
BOARD MEMBER JASON BYERS
CITY ATTORNEY KAREN HORNER
DEPUTY DIRECTOR OF CDD/CHIEF BUILDING OFFICIAL BRIAN ROUANE
ASSISTANT PLANNER/ZBOA SECRETARY BECKY BENNETT

ALTERNATE MEMBERS LES FRENCH, CHRIS RICHARDSON, AND JIM GIBSON WERE PRESENT IN THE AUDIENCE.

ALTERNATE MEMBER MEGAN MCKAY WAS ABSENT FROM THE MEETING.

2. ACTION ITEMS

A. Administer the oath of office to the new Alternate Member, Jim Gibson.

Director of Community Development Aubrey Harbin performed the oath of office for Mr. Jim Gibson.

3. PUBLIC COMMENT

None.

4. DISCUSSION AND POSSIBLE ACTION

A. Consider approval of the minutes for the Zoning Board of Adjustment Regular Meeting held August 22, 2023.

**VICE CHAIRMAN Glen Grayban moved to approve the minutes for the Zoning Board of Adjustment Regular Meeting held August 22, 2023. Seconded by Board Member Glenn Mintz. The motion was approved unanimously.

B. Consider a recommendation to City Council amending Resolution 92-2 Zoning Board of Adjustment Rules of Procedure.

Director Harbin explained to the board that the current Rules of Procedure were adopted in 1992, so the staff were proposing an updated version. She presented several slides that outlined the authority and role of the board. She said the most noticeable proposed change was to change the meeting time from 7:00pm to 6:00pm.

Chairman Ratisseau asked if a three-week time-frame for applicants was burdensome. Harbin answered the time allows applicants to prepare their materials and staff to provide notice per the Zoning Ordinance.

He also asked questions about the prohibition on visiting case locations. City Attorney Horner replied that the board is quasi-judicial and should only consider evidence as presented during the hearing. Vice-Chair Grayban asked how to proceed if cases are not very clear using the material provided during the meeting. Horner responded that the quality of materials provided by the applicant or by the city should plead their case. Bennett added that the burden of proof is on the applicant, or the city, and it is up to them to make their case just as would happen in a court of law.

Chairman Ratisseau asked if the meeting could be tabled or continued until better evidence is presented. He asked if the applicant could request a Special Meeting. Both Horner and Harbin answered the applicant does not have authority to request a board meeting.

Vice-Chair asked if the board would ever have reason to adjourn into executive session. Horner responded executive session would only be used in situations allowed by statute.

Harbin reminded the board that three clerical items had been added to the Rules of Procedure after the agenda was posted. She identified the items.

**Board Member Jason Byers moved to approve a recommendation to City Council, with amendments, thereby amending Resolution 92-2 Zoning Board of Adjustment Rules of Procedure. Seconded by Board Member Glenn Mintz. The motion was approved unanimously.

5. COMMUNICATIONS

Chairman Ratisseau asked staff how the board could learn more about their role and responsibilities. Bennett answered that the staff had some training materials that could be sent out again. She also said board members may call or email staff for generic questions as long as they were not case-specific questions.

- A. Receive Staff updates or reports, Council Liaison updates concerning action taken by the City Council on Zoning Board of Adjustment related items, and Board Member comments concerning items of community interest and/or requesting future agenda items.

6. ADJOURNMENT

This meeting was adjourned at 07:32 PM.



AGENDA ITEM FORM

Date requested for City Council consideration: December 17, 2024

Date submitted: 12/09/2024

Prepared by: Becky Bennett, Assistant Planner

Subject: Conduct a public hearing concerning a request for a variance to Appendix C "Zoning Ordinance," Section 7.Q.3.f "Schedule of district regulations, area and height exceptions" of the Friendswood City Code for the property located at 5423 Appleblossom Lane, Friendswood, Harris County, Texas, to allow a detached accessory structure to encroach the 10-foot rear setback by 2 feet and the 5-foot interior side setback by 0.8 feet.

Originating Department: Community Development

Degree of importance:

SUMMARY / ORIGINATING CAUSE

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. Case Packet_5423 Appleblossom Ln

Memo

To: Zoning Board of Adjustment Members

From: Brian Rouane, Building Official
Becky Bennett, Assistant Planner

Date: December 5, 2024

Subject: 5423 Appleblossom Lane

The applicant is requesting the following:

To grant a variance to allow a detached accessory structure to encroach the 10-foot rear setback by 2-feet and the 5-foot interior side setback by 0.8 feet being a variance to Appendix C, Zoning Ordinance, Section 7.Q.3.f. Schedule of district regulations, area and height exceptions.

The garage at 5423 Appleblossom Lane was destroyed in a fire in July 2024. The property owner submitted a permit application to rebuild the same size garage in the same location but was denied a permit based on the city zoning ordinance requirements for building setbacks.

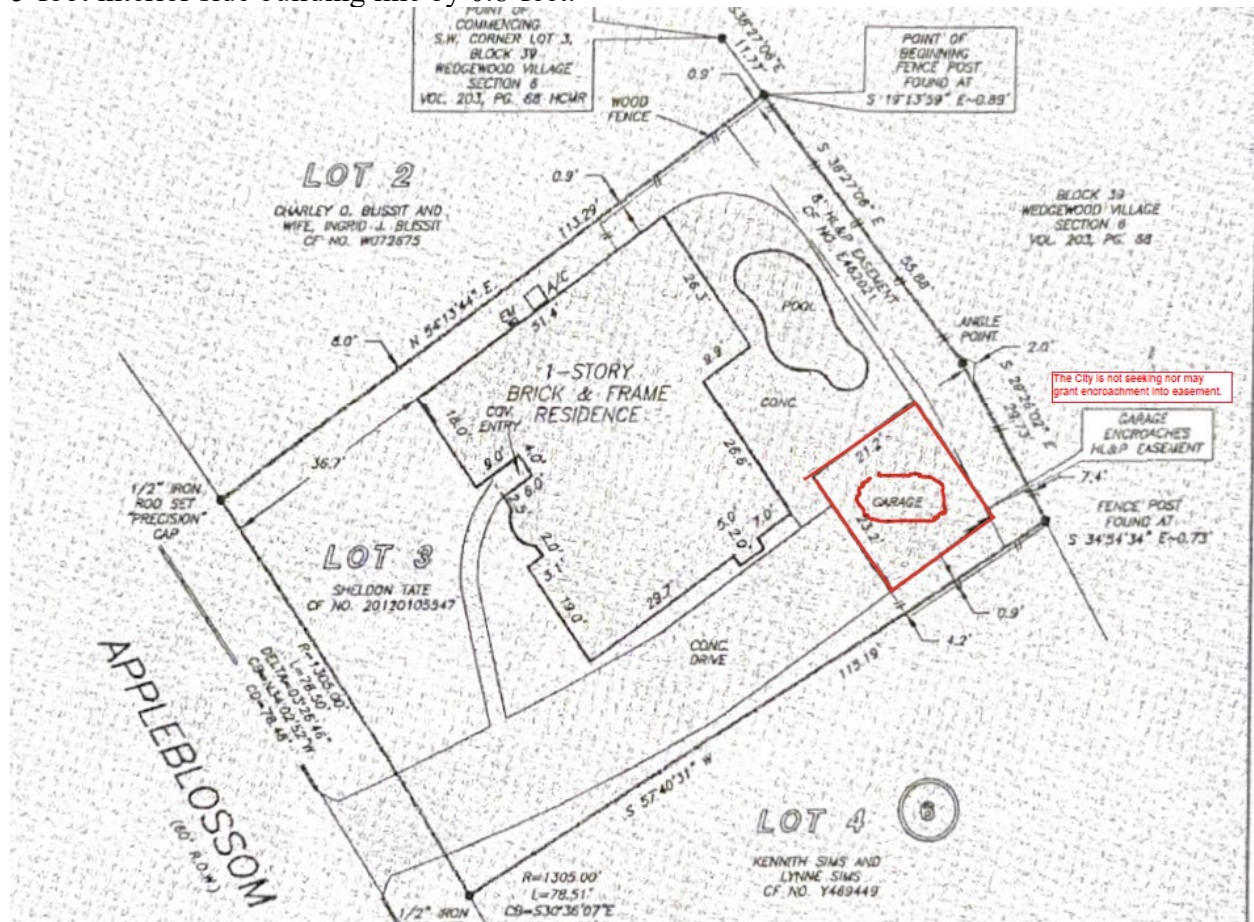
The property at 5423 Appleblossom Lane was annexed into the City of Friendswood in 1985 and became a non-conforming lot with a non-conforming structure because the Wedgewood Village subdivision was developed using smaller lot dimensions and smaller building setbacks than the current city ordinance.

Nonconforming lot. Any lot that fails to meet the requirements for area, width, or depth that are applicable to the zoning district in which the lot is located.

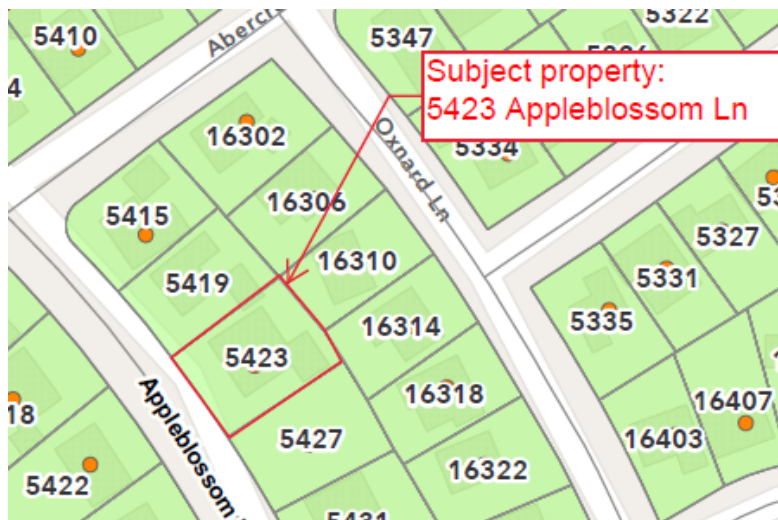
Nonconforming structure. Any structure that does not conform to zoning ordinance provisions regulating structures, including, but not limited to, the following requirements: lot coverage area, required minimum lot dimensions, front yard, side yard, rear yard, height, parking, landscaping, buffer yards, screening, architectural design, exterior construction materials or other structural regulations of the district in which it is located.

If a nonconforming structure or portion of a nonconforming structure is destroyed or damaged by 50 percent or more of the current replacement cost of the structure by accidental means, the structure must be restored in full conformity with current structural regulations for the district in which it is located.

The demolished garage encroached the rear 10-foot building line by approximately 2-feet and the 5-foot interior side building line by 0.8-feet.



The subject property is zoned Single Family Residential (SFR) and is abutted on all sides by properties also zoned Single Family Residential (SFR).



Friendswood GIS Zoning Map

The subject property is part of the unrecorded Wedgewood Village Section 8 drawn in December 1974.



Friendswood GIS Aerial Map

Attachments:

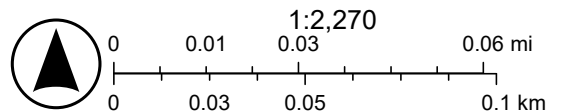
- Maps: Location, Aerial and Zoning Map
- ZBOA Application with homeowner letter
- Owner provided photographs
- Engineer's report on foundation
- Building Summary Report
- Property survey
- Wedgewood Village Section 8 unrecorded plat
- Copy of the property owner notice that was mailed to owners within 200 feet of the subject property

City of Friendswood



11/27/2024, 2:20:19 PM

- Address Points
- Streets
- ▭ City Limit
- Water Lines
- ▭ Parcels



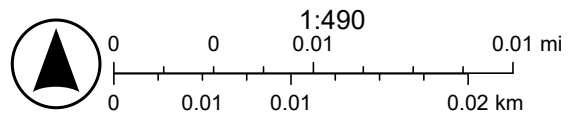
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City of Friendswood



11/27/2024, 2:35:54 PM

- Address Points
- City Limit
- ▭ Parcels
- Streets



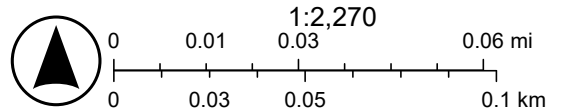
Esri Community Maps Contributors, City of Houston, HPB, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, CONANP, Esri, TomTom, Garmin, Foursquare, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

City of Friendswood



11/27/2024, 2:28:24 PM

- Address Points
- City Limit
- Parcels
- Streets
- Specific Use Permit
- Water Lines
- Zoning by Parcel
- SFR



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FRIENDSWOOD ZONING BOARD OF ADJUSTMENT

\$100 Application Fee per Request

Request for Variance

Request for Appeal

Request for Special Exception

Property Address: 5423 Appleblossom Ln

Legal Description of Property (attach certified metes & bounds): Lot 3, Block 6 Wedgewood Village Section 8 unrecorded; 0.2041 acres

County: Harris

Property Owner Information:

Printed Name: Elias K. Wallace

Email: ekwenterprises2@gmail.com Phone: 713 854 3138

Mailing Address: 5423 Appleblossom Ln. Friendswood, TX 77546

Signature: [Signature] Date: 11-23-21

Agent Information: (if applicable)

Printed Name:

Email: Phone:

Mailing Address:

Signature: Date:

VARIANCE: From what number and section of the zoning ordinance is the variance being requested?

(Variance cannot be for the purpose of rezoning – see Appendix C, Zoning, Section 11.A.(2)(a))

7.Q.3.f. Zoning Ordinance, Schedule of district regulations, Area and height exceptions.

APPEAL: From what order, requirement, decision, or determination of the administrative official is the appeal being requested?

n/a

SPECIAL EXCEPTION: From what number and section of the zoning ordinance is the special exception being requested?

n/a

EVIDENCE: Please state the grounds for the appeal/variance/special exception you are seeking.

Example: Variance due to physical hardship such as irregular shaped lot or flood plain issues. *Hardships cannot be self-imposed nor monetary in nature.*

See email attachment sent to B. Bennett
bbennett@friendswood.com

You may attach additional pages or evidence exhibits to this application.

NOV 26 2024
Received by:

Becky Bennett
City Official

Date & Time Received

From: [Elias Wallace](#)
To: [Becky Bennett](#)
Cc: [Brian T. Rouane](#); [Jorge Marines](#)
Subject: [EXTERNAL]Re: Zoning Board of Adjustment - 5423 Appleblossom Ln
Date: Tuesday, November 26, 2024 9:42:24 AM
Attachments: [Apple Blossom Lane Foundation Inspection Report.pdf](#)
[image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[ZBOA Application.pdf](#)

Please let this serve as Evidence towards ZBOA request for variance for the property at 5423 Appleblossom Ln.

Application delivered Tuesday November 26, 2024

Greeting's esteemed council,

I am requesting a Variance to keep the same footprint on the destroyed slab I currently have at my home. A fire destroyed the garage in July '24 due to a whole home Generac generator failure during Hurricane Beryl. The foundation is being replaced due to structural damage from the fire and to meet the city's building requirements for the structure. My engineer has drafted the new slab based upon the existing footprint of the damaged detached slab, see recommendations from "GA Brooks engineering", attached.

We have or had no desire to modify our existing garage. Due to this incident during Beryl, we are being asked to relocate the garage while reducing our minimal space currently existing, which has not been an issue over the last 42 years, over the time that the ordinance has been in effect. There has also been no issues with the spacing since the annexation of the new access spacing which took place in 1983.

Moving the structure approximately 2' west and 8" north will create an unnecessary hardship on us. The changes requested impede on our existing concrete pool decking, driveway and home foundation all while reducing the size of the garage square footage and is not necessary as the existing spacing from the origination of the home access has never caused any issues to date as previously noted.

My family and I are alarmed by the repercussions we are having to endure after Hurricane Beryl. We have been out of our homes for the last 4 months with resources dwindling and stress levels affecting our health and livelihood. We just now are seeing the light at the end of the tunnel and these restrictions are adding to our setbacks.

My family and I are asking you to allow us to finalize the construction as it was

prior to this incident and move forward with getting back to whole.

Best Regards,

Elias Wallace and Family

On Nov 20, 2024, at 11:01 AM, Becky Bennett <bbennett@friendswood.com> wrote:

Good Morning Mr. Walker,
Thank you for coming in to discuss your project at 5423 Appleblossom Lane this morning. To follow up on our conversation, I have attached the ZBOA variance application and filled out some of the basic information. To make the next available ZBOA meeting date of December 17th, I would need the application no later than November 26th.

Please feel free to reach out if you have any questions. Thank you.



Becky Bennett

Assistant Planner

bbennett@friendswood.com

Dept: 281-996-3201

Direct:281-996-3290

City of Friendswood

910 S. Friendswood Dr. Friendswood, Texas 77546



in



www.friendswood.com











Greg A. Brooks, P.E.
P.O. Box 2373
Freeport, TX 77542

October 10, 2024
979-229-0068

PRELIMINARY FOUNDATION INSPECTION REPORT: JOB NO. 24-Frndswd278

LOCATION: 5423 Apple Blossom Lane
Friendswood, TX

DATE OF INSPECTION: October 8, 2024

OBSERVATIONS:

This report focuses on evaluating a two-car detached garage foundation for re-use after a recent fire which destroyed the entire building. The foundation consists of a 21'x23' foundation. Refer to this write-up and the attached photos evaluating the current state of the foundation and the potential for future use.

CONCLUSIONS:

The 21'x23' foundation has multiple deficiencies that would have to be corrected prior to re-using the foundation. The foundation has a distinct crack traveling the width of the foundation in the middle section. Laser floor scan confirms 2.5" of settlement along the back perimeter when compared with the center of the foundation. The front perimeter shows 1" of settlement when compared with the center. Before a new structure is erected on the existing foundation, the concrete should be stabilized. Stabilization would require underpinning 12 pressed piles to stabilize the existing grade beam before re-use. In addition to stabilizing the foundation, the surface has multiple deficiencies that would be expensive to correct. See Figure 1-3 showing extensive "violent" fire induced concrete spalling on over 60% of the floor surface. Violent spalling is caused by the moisture trapped in the concrete vaporizing popping loose the concrete due to the excessive temperatures. Furthermore, an epoxy coating would have to be stripped before addressing the concrete spalling. The epoxy coating would have to be stripped, and the concrete would have to be re-surfaced before re-use and re-application of the epoxy coating.

Figure 1: Fire Induced Concrete Spalling



Figure 2: Close-up Example of Spalling



Figure 3: Concrete Spalling Present on Over 60% of the Structure



RECOMMENDATIONS:

Based on the cost associated with addressing the concrete settlement, stripping of the epoxy coating and resurfacing of the concrete spalling deficiencies, it is likely that the repair cost will be greater than 75% of the cost of a new foundation. Even with the stated repairs, the concrete will still be a repair that is not as robust as a new foundation pour. It is this engineer's opinion that the foundation should be demolished and replaced due to the extensive repair cost and potential unknown issues not providing enough value when compared with replacing the foundation. If the owner decides to re-use the existing foundation, a full cost evaluation of the following items should be obtained.

1. Designing and implementing a stabilization plan
2. Stripping the remaining epoxy coating
3. Resurfacing the existing surface
4. Confirming an epoxy coating can be reapplied to the resurfaced concrete filler

Respectfully submitted,

Greg A. Brooks, P.E. #114197 10-10-2024
F-15269



SUMMARY REPORT

City of Friendswood

RES2024-5054

5423 APPLEBLOSSOM LN

Case #: RES2024-5054
Case Type: Residential
Case SubType: Addition
Location: 5423 APPLEBLOSSOM LN

Case Status: OUT2APPLIC
Description/Tag: New Foundation and Garage
Initiated On: 11/15/2024 10:40:04AM
Issued Date:

Location Information:

Location:

Comments:

Individuals listed on the record:

Applicant

Tmlp Services Llc
11406 BROOK MEADOW DR
Houston, TX 77089

Home Phone:
Work Phone: 832-421-0421
Cell Phone: 8324210421
E-Mail: info@tmlpsvs.com

Contractor

Tmlp Services Llc
11406 BROOK MEADOW DR
Houston, TX 77089

Home Phone:
Work Phone: 832-421-0421
Cell Phone: 8324210421
E-Mail: info@tmlpsvs.com

Property Owner (Gis)

Wallace Elias Kyle & Gloria Adelia
5423 APPLEBLOSSOM LN

FRIENDSWOOD, TX 77546-3342

Home Phone:
Work Phone: 713-854-3138
Cell Phone:
E-Mail: ekwenterprises2@gmail.com

Contractors:

General Contractor: TMLP Services LLC

Data Details:

Total Value of Improvement	22,000.00
1st Floor SQFT of Alteration (air conditioned area)	0.00
2nd Floor SQFT of Alteration (air conditioned area)	
# of Bathrooms	0.00
# of Bedrooms	0.00
Construction Type	4HT Heavy Timber
Description of Work	Installation of new concrete foundation and new wood structure for garage area
Fire Sprinkler Required	N
Fire Sprinkler Provided	N
Garage SQFT	483.00
Total Impervious Cover (SQFT)*	0
Lot Size (Total SQFT)	483.00
Occupancy Type	S-2 Storage-Low Hazard
Outdoor SQFT (non-air conditioned)	0.00
% Lot Coverage (vertical structures)	0.00

SUMMARY REPORT
City of Friendswood
RES2024-5054
5423 APPLEBLOSSOM LN

Case #: RES2024-5054
Case Type: Residential
Case SubType: Addition
Location: 5423 APPLEBLOSSOM LN

Case Status: OUT2APPLIC
Description/Tag: New Foundation and Garage
Initiated On: 11/15/2024 10:40:04AM
Issued Date:

Workflow:

Date Entered:
11/15/2024 1:31:44PM

Task: Application Intake
Result: Received- Complete
Entered By:Chrissy Beier

Date Entered:
11/15/2024 11:23:39AM

Task: Application Intake
Result: Received- Incomplete
Entered By:Chrissy Beier

Comments: Incomplete-please provide a site plan of where the garage is going to be placed with the setbacks and easements.

Date Entered:
11/18/2024 8:09:34AM

Task: Planning Review
Result: Resubmit
Entered By:Becky Bennett

Date Entered:
11/19/2024 9:35:49AM

Task: Flood Zone Determination
Result: AE
Entered By:Brian Rouane

Date Entered:
11/19/2024 9:35:52AM

Task: Elevation Cert 1 Received?
Result: N/A
Entered By:Brian Rouane

Date Entered:
11/19/2024 9:36:34AM

Task: GCCDD Review
Result: N/A
Entered By:Brian Rouane

Date Entered:
11/19/2024 9:46:21AM

Task: Building Plan Review
Result: Resubmit
Entered By:Brian Rouane

Comments: Existing building encroaches side build line and utility easement. cannot be placed back in original location.

Date Entered:
11/19/2024 9:46:24AM

Task: Send Comments
Result: Send (Corrections)
Entered By:Brian Rouane

Fees Assessed:

Total Fees Due:

SUMMARY REPORT

City of Friendswood

RES2024-5054

5423 APPLEBLOSSOM LN

Case #: RES2024-5054

Case Type: Residential

Case SubType: Addition

Location: 5423 APPLEBLOSSOM LN

Case Status: OUT2APPLIC

Description/Tag: New Foundation and Garage

Initiated On: 11/15/2024 10:40:04AM

Issued Date:

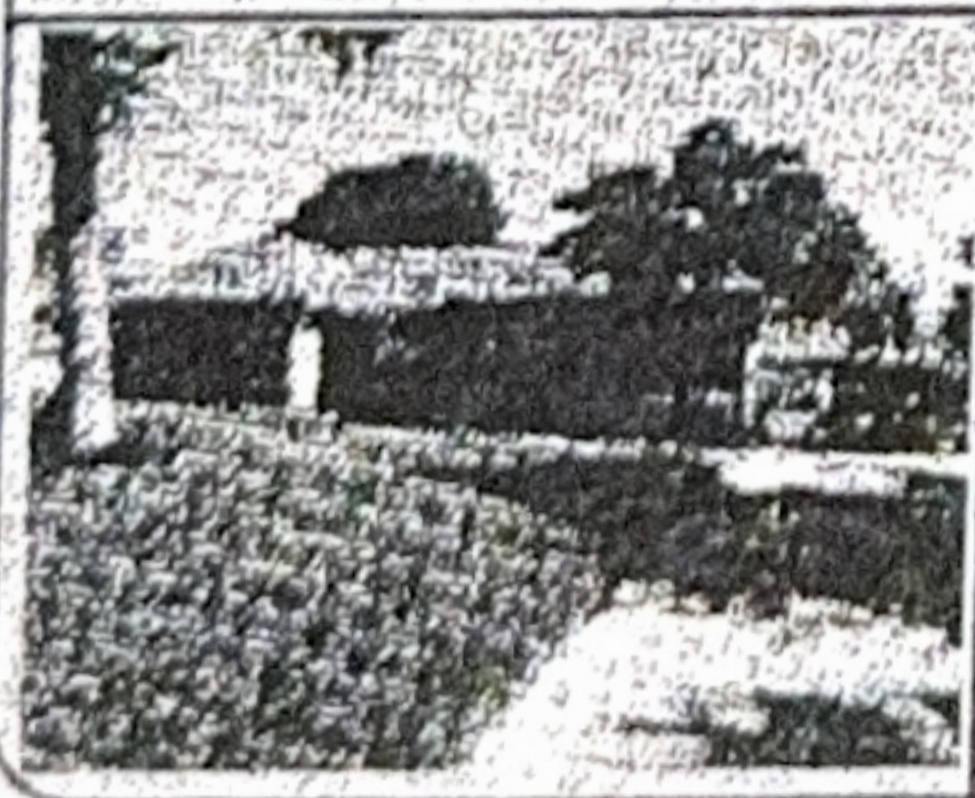
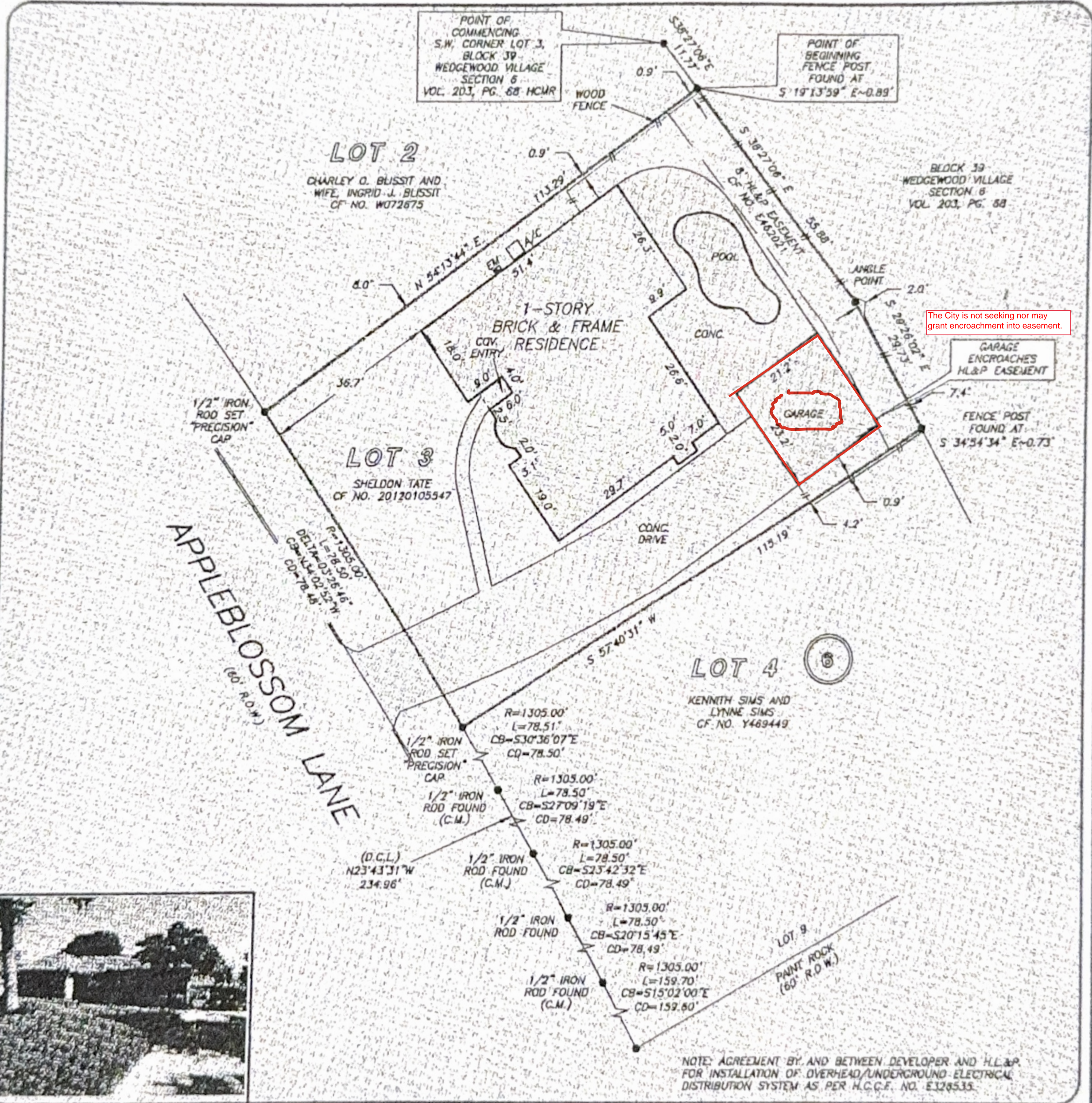
Attachments:

GF NO. CTH-FRW-CTT19713399SCM CHICAGO TITLE
 ADDRESS: 5423 APPLEBLOSSOM LANE
 FRIENDSWOOD, TEXAS 77546
 BORROWER: SHELDON TATE

0.2170 ACRE
 LOT 3, BLOCK 6
 WEDGEWOOD VILLAGE, SECTION 8

AN UNRECORDED SUBDIVISION IN THE
 SARAH MCKISSICK SURVEY, A-549
 OF HARRIS COUNTY, TEXAS
 (SEE ATTACHED METES AND BOUNDS DESCRIPTION)

SCALE: 1" = 30'



THIS PROPERTY IS AFFECTED BY THE 100 YEAR FLOOD PLAN AS PER FIRM PANEL NO. 48167C 0018 G MAP REVISION: 08/18/2019 ZONE AE BASED ONLY ON VISUAL EXAMINATION OF MAPS. INACCURACIES OF FEMA MAPS PREVENT EXACT DETERMINATION WITHOUT DETAILED FIELD STUDY

A SUBSURFACE INVESTIGATION WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE RECORD BEARING: CF NO. 20120105547

DRAWN BY: JB

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THERE ARE NO ENCROACHMENTS APPARENT ON THE GROUND, EXCEPT AS SHOWN HEREON. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY AND ABSTRACTING PROVIDED IN THE ABOVE REFERENCED TITLE COMMITMENT WAS RELIED UPON IN PREPARATION OF THIS SURVEY.

TERRANCE MISH
 PROFESSIONAL LAND SURVEYOR
 NO. 4981
 JOB NO. 19-08918
 OCTOBER 18, 2019



CHICAGO TITLE
 SUSAN MAGERS
 281-993-5773



PRECISION surveyors

1-800-LANDSURVEY
 www.precisionlandsurveyors.com
 281-496-1586 FAX 281-496-1867 210-829-4941 FAX 210-829-1555
 950 THREEHEDGE STREET SUITE 150 HOUSTON, TEXAS 77079 1777 NE LOOP 410 SUITE 600 SAN ANTONIO, TEXAS 78217
 FIRM NO. 10063700

Handwritten notes and signatures on the left margin, including '00001210' and 'X' marks.

BLACKHAWK BOULEVARD

1	1052.82'	13°51'28"	254.64'	127.94'
2	1112.82'	13°51'28"	269.15'	135.23'
3	380.10'	63°52'52"	423.79'	236.96'
4	440.10'	63°52'52"	490.69'	274.37'
5	1010.00'	38°27'27"	677.92'	352.29'
6	1070.00'	38°27'27"	613.45'	373.21'
7	300.00'	16°00'00"	83.76'	42.16'
8	360.00'	16°00'00"	100.53'	50.59'
9	500.00'	28°15'36"	249.80'	
10	590.00'	16°00'00"	164.76'	82.92'
11	550.00'	16°00'00"	181.51'	91.35'
12	263.28'	103°24'43"	477.33'	336.25'
13	323.28'	103°24'43"	586.11'	412.88'
14	25.00'	97°36'50"	42.59'	28.56'
15	1248.00'	54°29'28"	1184.06'	641.09'
16	1305.00'	54°29'28"	1241.12'	671.99'
17	25.00'	111°10'29"	48.51'	36.44'
18	578.69'	44°51'40"	483.10'	238.89'
19	638.69'	44°51'40"	500.08'	263.65'
20	25.00'	111°10'29"	48.51'	36.44'
21	1340.00'	07°36'49"	178.06'	89.16'
22	860.00'	02°16'46"	39.22'	19.61'

- MEANDERS OF THE NORTHERLY
WATERS EDGE OF CLEAR CREEK
1. N59°41'00"E 29.94'
 2. N33°14'00"E 75.30'
 3. N06°11'00"E 32.60'
 4. N08°03'00"W 23.60'
 5. N29°51'00"W 38.00'
 6. N49°26'00"W 55.05'

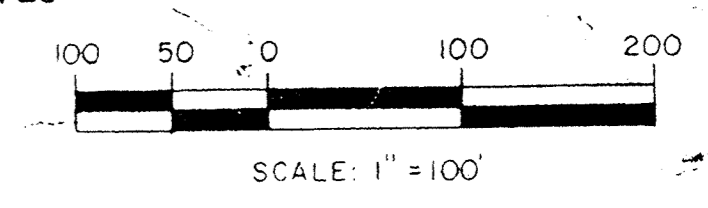


**WEDGEWOOD VILLAGE
SECTION 8**

A SUBDIVISION OF 51.2764 ACRES OUT OF
THE SARAH MCKISSICK SURVEY ABSTRACT 549
HARRIS COUNTY, TEXAS

8 BLOCKS
19 LOTS
3 RESERVES

OWNER: SUMNER WOODS INC.
ENGINEER: L.C. LOPER,
FEBRUARY, 1974



TOTAL CURVE DATA
R=1360.00'
Δ=18°05'40"
L=310.82'
T=156.09'

TOTAL CURVE DATA
R=840.00'
Δ=26°46'57"
L=592.65'
T=199.98'

L. C. LOPER & ASSOCIATES, INC.
CONSULTING ENGINEER



City of Friendswood

Community Development Department
910 S. Friendswood Drive
Friendswood, Texas 77546-4856

December 5, 2024

TO WHOM IT MAY CONCERN:

In accordance with State and Local Zoning Law, all owners of land within two hundred feet of any property being considered for an appeal, variance, or a special exception must be afforded an opportunity to address the subject at a public meeting held for this purpose.

You are hereby notified that the **Friendswood Zoning Board of Adjustment** will hold a Public Hearing to consider a request for a variance that may be of interest to you.

PROPERTY OWNER: Elias Kyle & Gloria Adelia Wallace

LOCATION OF PROPERTY: 5423 Appleblossom Ln
Wedgewood Village Section 8 U/R, Lot 3, Block 6, Harris
County, Friendswood, Texas

REQUEST: To grant a variance to allow a detached accessory structure to encroach the 10-foot rear setback by 2-feet and the 5-foot interior side setback by 0.8 feet being a variance to Appendix C, Zoning Ordinance, Section 7.Q.3.f. Schedule of district regulations, area and height exceptions.

**The Public Hearing will be held at
Friendswood City Hall, Council Chambers, 910 S. Friendswood Drive
Friendswood, Texas**

**PUBLIC HEARING DATE: December 17, 2024
PUBLIC HEARING TIME: 6:00 PM**

Documentation will be available online 72 hours prior to the meeting.

www.ci.friendswood.tx.us

Government Information > Meeting Agendas & Minutes

Staff contact: Becky Bennett, Assistant Planner
281-996-3290 or Email: bbennett@friendswood.com



AGENDA ITEM FORM

Date requested for City Council consideration: December 17, 2024

Date submitted: 12/10/2024

Prepared by: Karen Horner, City Attorney

Subject: Consider granting a variance to Appendix C "Zoning Ordinance," Section 7.Q.3.f "Schedule of district regulations, area and height exceptions" for the property located at 5423 Appleblossom Lane, Friendswood, Harris County, Texas, to allow a detached accessory structure to encroach the 10-foot rear setback by 2 feet and the 5-foot interior side setback by 0.8 feet.

Originating Department: City Attorney

Degree of importance:

SUMMARY / ORIGINATING CAUSE

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS



AGENDA ITEM FORM

Date requested for City Council consideration: December 17, 2024

Date submitted: 12/09/2024

Prepared by: Becky Bennett, Assistant Planner

Subject: Conduct a public hearing concerning a request for a variance to Appendix C "Zoning Ordinance," Section 8 "Supplementary district regulations" of the Friendswood City Code for the property located at 904 Longleaf Court, Friendswood, Galveston County, Texas, to allow an accessory structure to be erected closer than 5 feet next to the main structure.

Originating Department: Community Development

Degree of importance:

SUMMARY / ORIGINATING CAUSE

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. Case Packet_904 Longleaf Ct

Memo

To: Zoning Board of Adjustment Members

From: Brian Rouane, Building Official
Becky Bennett, Assistant Planner

Date: December 5, 2024

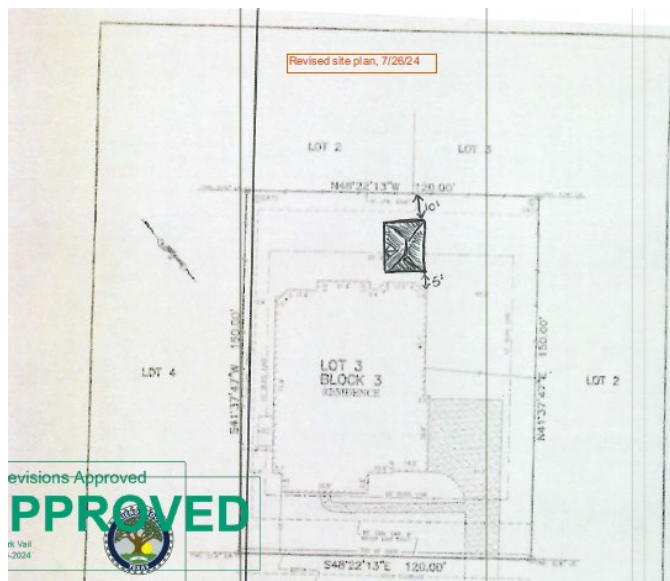
Subject: 904 Longleaf Ct

The applicant is requesting the following:

To grant a variance to allow an accessory structure to be erected closer than 5-feet next to the main structure being a variance to Appendix C, Zoning Ordinance, Section 8. Supplementary district regulations.

A patio cover at 904 Longleaf Court was constructed in the summer of 2024. During an inspection, the structure was found to be non-compliant with the 5-foot separation requirement and measured 3.5-feet from the main structure. The contractor was issued a stop work order; however, the structure was completed.

Accessory buildings. Except as specifically permitted by this appendix, no accessory building shall be erected in any required yard, and no separate accessory building shall be erected within five feet of any other buildings.

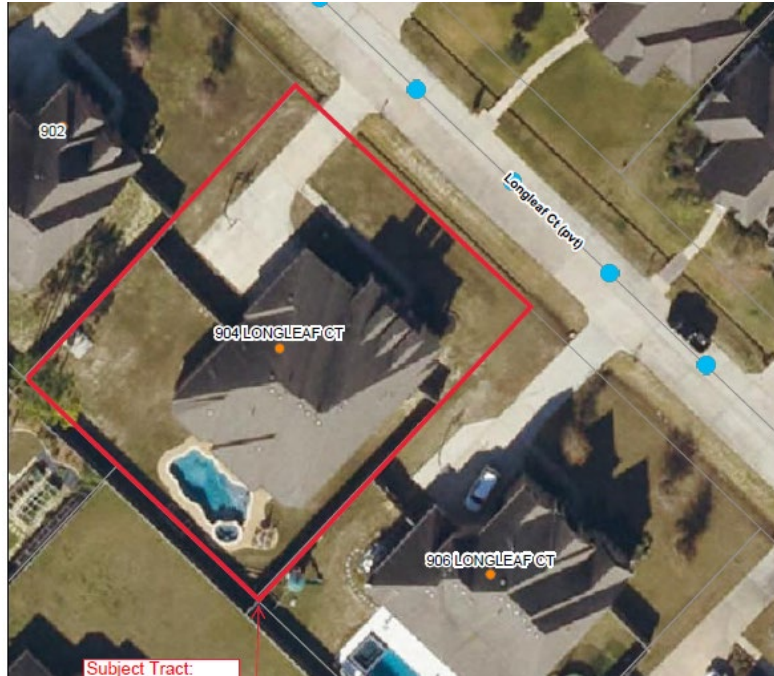


The subject property is zoned Single Family Residential (SFR) and is abutted on all sides by properties also zoned Single Family Residential (SFR).



Friendswood GIS Zoning Map

The subject property was originally platted as part of Jacob's Landing in 2009. It was re-platted from a public to private subdivision in 2011 and renamed Creekwood Estates.



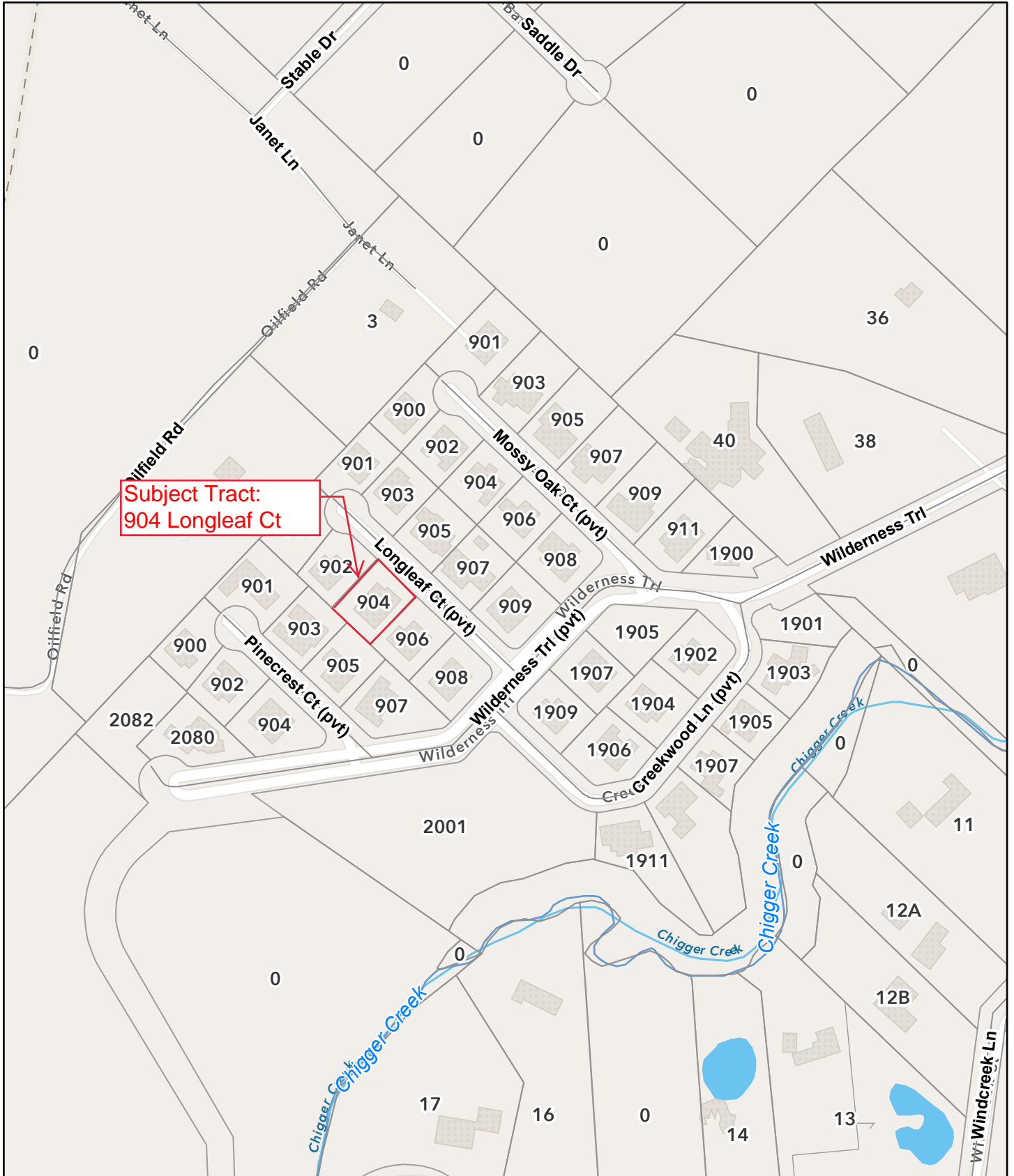
Friendswood GIS Aerial Map

Attachments:

- Maps: Location, Aerial and Zoning Map
- ZBOA Application with homeowner letter
- Owner provided documents, communications, and photographs

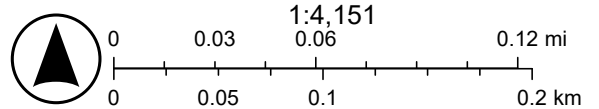
- City provided audit log, permit set, inspection photographs, and corrections report
- Creekwood Estates plat
- Copy of the property owner notice that was mailed to owners within 200 feet of the subject property

City of Friendswood



11/26/2024, 2:25:13 PM

- City Limit
- Streets
- GCAD Lot lines
- Water Lines
- Parcels



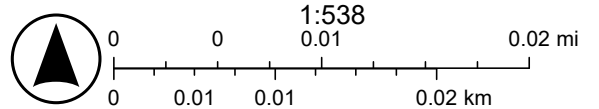
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City of Friendswood



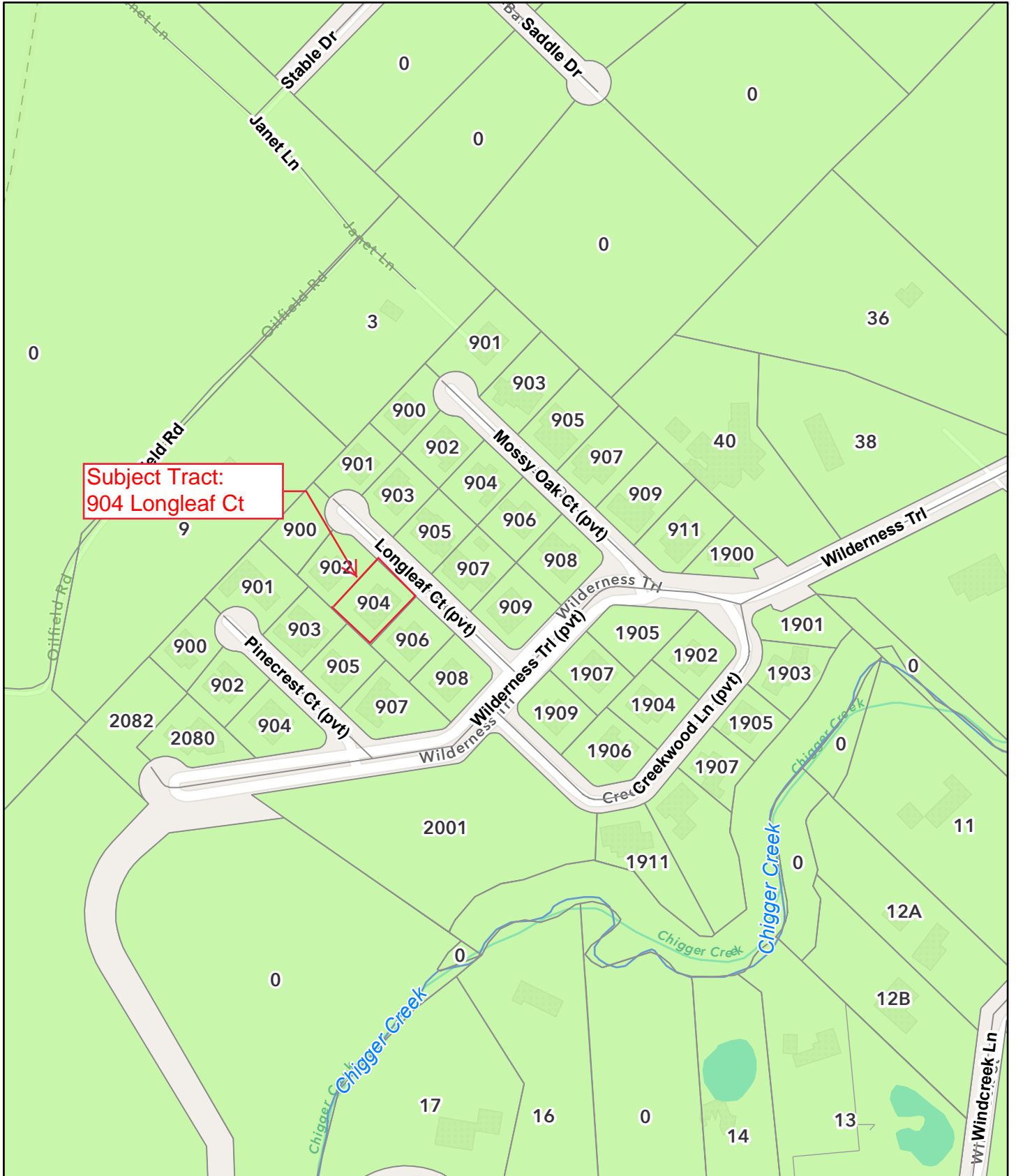
11/26/2024, 2:31:19 PM

- Address Points
- City Limit
- ▭ Parcels
- Streets



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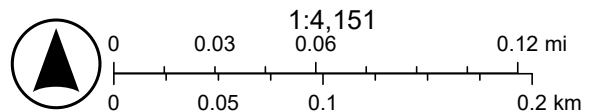
City of Friendswood



Subject Tract:
904 Longleaf Ct

11/26/2024, 2:26:35 PM

- City Limit
- GCAD Lot lines
- Parcels
- Streets
- Water Lines
- Zoning by Parcel
- SFR



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FRIENDSWOOD ZONING BOARD OF ADJUSTMENT

\$100 Application Fee per Request

Request for Variance

Request for Appeal

Request for Special Exception

Property Address: 904 Longleaf Ct

Legal Description of Property (attach certified metes & bounds):

Creekwood Estates (2011) Abstract 84, Block 3, Lot 3, 0.413 acres

County: Galveston

Property Owner Information:

Printed Name: Michael and Jennifer Parker

Email: jmsaladino@sbcglobal.net Phone: 713-828-0823

Mailing Address: 904 Longleaf Ct.

Signature: Jennifer Parker, Michael Parker Date: 11/25/24

Agent Information: (if applicable)

Printed Name:

Email: Phone:

Mailing Address:

Signature: Date:

VARIANCE: From what number and section of the zoning ordinance is the variance being requested?

(Variance cannot be for the purpose of rezoning - see Appendix C, Zoning, Section 11.A.(2)(a))

Zoning Ordinance Section 8.C. Supplementary district regulations.

APPEAL: From what order, requirement, decision, or determination of the administrative official is the appeal being requested?

n/a

SPECIAL EXCEPTION: From what number and section of the zoning ordinance is the special exception being requested?

n/a

EVIDENCE: Please state the grounds for the appeal/variance/special exception you are seeking.

Example: Variance due to physical hardship such as irregular shaped lot or flood plain issues. *Hardships cannot be self-imposed nor monetary in nature.*

Variance due to miscommunication between
City of Friendswood and the Contractor.
Please see attached evidence.
Thank you!

You may attach additional pages or evidence exhibits to this application.

City of Friendswood
NOV 25 2024
Received by:
Date & Time Received

Becky Bennett
City Official

November 25, 2024

Michael and Jennifer Parker
904 Longleaf Ct.
Friendswood, Texas 77546

City Of Friendswood

To Whom It May Concern:

We are writing to request a variance to our property to be able to keep our newly built patio. During the pandemic of 2020, our need for an additional structure on our property grew. So we decided to put in a pool to be able to enjoy. With this we have always wanted to extend the patio to be able to enjoy the outdoors with family and friends.

In August of 2024 we decided to make this dream happen. We hired a reputable company, Apex Patio and Pools. The project was turning out great until we received a notice from the City of Friendswood on August 16th. We informed the owner, Erik Miller immediately about this notice and we were told by him, don't worry about it everything has already been approved by the city you are fine.

Then on September 5th we get another notice. This time we are panicking because we were told everything was fine. Erik Miller again told us that everything is handled not to worry and that he is the builder and knows what he is doing. That same day he comes out to our property and explains to us that one of the posts is 4ft from the house not 5ft and in order to fix this issue we are going to have to attach the porch to your home. In the meantime we decided to contact the city ourselves to find out what is actually going on. We were told that we could not attach it to the home and that we would have to tear it down. That's when all communication stopped between the builder and me.

We have been in constant communication with the city since then and were told that it was a miscommunication between the city and the builder. The city explained that they did not realize that there was a bay window, which is causing this minor issue. We feel this variance will not negatively impact any neighbor, nor will it alter the essential character of the property. This hardship is unique to my situation because of the shape of one window, which is a bare minimum needed to correct the problem. We believe we fulfill the hardship requirements for a variance and kindly ask you to review and grant such variance.

Thank you for your time and consideration.

Michael and Jennifer Parker

Friendswood, Texas

910 S Friendswood Drive
Friendswood, TX 77546



Final Approved Plan Set

Application No. RES2024-2845 Date Stamped 07-26-2024

Submission Documents:

Document Name	Document ID
Survey Drawing.pdf	59033
Electrical Layout.pdf	59034
Permit Documents.pdf	58647

Comment Author Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone No.:
Chrissy Beier	cbeier@friendswood.com	1
Mark Vail	mvail@friendswood.com	1

General Comments

Comment ID	Reviewer : Department	Status	Review Comments	Applicant Response Comments
4	Mark Vail : Building	Open	Windstorm letter due prior to Cover Inspection	
5	Mark Vail : Building	Open	No Electrical or Plumbing in Utility Easements.	

"Note: Even though the city of Friendswood's review of the plans and specifications is designed to discover potential code violations, design errors or non-compliance with other city ordinances and regulations, failure on the city's part to discover all such violations or errors does not relieve the developer, engineer, architect, builder or contractor from the responsibility of producing an end product that is in total compliance with all requirements of the city's design criteria manual, the Galveston County consolidated drainage district's design criteria manual or the current international code series as adopted by the City of Friendswood, any that is in total compliance with any other applicable requirements in the city's code of ordinances or regulations, or with an industry designs standards relevant to the project covered by these plans and specifications.

The developer, engineer, architect, builder and contractor are each solely responsible for the adherence to all requirements of other entities or agencies that are relevant to the project."

*****Permit holder must print a copy of this approved set to keep on the job site and available to all inspectors for verification during inspections.*****

APPROVED

Reviewed for Compliance

Approved for Construction

Mkd

Official: Mark Vail
Date: 07-26-2024

Building



MICHAEL PARKER on Apr 25, 2024

Approved



APEX PATIOS & POOLS

2215 Repsdorff Rd Ste A • Seabrook, TX 77586-6445 • Phone: 713-291-8197

MICHAEL PARKER
Phone: 281-299-2054

Job Address:
904 LONGLEAF COURT
FRIENDSWOOD, TX 77546

Print Date: 4-26-2024

Proposal for MICHAEL PARK (2)

Items	Description	Qty/Unit	Price
NEW KOOL DECKING AND RE-COLOR 5520 - Special flooring	<ul style="list-style-type: none"> * INSTALL 480 SQ. FT. OF KOOL DECKING OVERLAY TO NEWLY INSTALLED CONCRETE SLAB \$1680.00 * INSTALL NEW RE-COLOR TO 840 SQ. FT. EXSISTNG PATIO AND POOL WALKWAYS \$1680.00 	1	\$3,360.00
DEMO EXSISTING BRICK COLOUMNS 1300 - Demolition	<ul style="list-style-type: none"> * DEMO 2 EXSISTING BRICK COLUMNS * REMOVE AND DISPOSE ALL DEMO DEBRIS FROM JOB-SITE * LAND FILL FEES ARE INCLUDED IN QUOTE * APEX DUMP TRAILER RENTAL FEE IS INCLUDED IN QUOTE * LABOR QUOTE ONLY. NO MATERIALS NEEDED IN THIS JOB-SCOPE 	1	\$550.00
INSTALL ENGINEER LAM BEAM ON EXSISTING PATIO 3210 - Framing labor—draw #1	<ul style="list-style-type: none"> * INSTALL TEMP SUPPORT WALL TO EXSISTING PATIO DURING COLUMN REMOVAL * REMOVE EXSISTING PATIO BEAMS * INSTALL ANTHONY POWER BEAM TO EXSISTING PATIO PER ENGINEER SPECS * REMOVE TEMP SUPPORT WALL * TRIM ANTHONY POWER BEAM IN HARDIE MATERIALS * PREP HARDIE FOR PAINT * PAINT HARDIE * ALL LABOR AND MATERIALS FACTORED IN QUOTE 	1	\$2,880.00
DEMO EXSISTING PATIO HARDIE CEILINGS	<ul style="list-style-type: none"> * DEMO EXSISTING HARDIE PATIO CEILINGS * REMOVE AND DISPOSE OF ALL DEMO MATERIALS FROM JOB-SITE 	1	\$350.00

Items	Description	Qty/Unit	Price
1300 - Demolition			
VAULT EXSISTING PATIO CEILINGS 3220 - Framing labor— draw #2	* CONVERT EXSISTING PATIO FLAT CEILINGS TO VAULTED CEILINGS * ALL LABOR AND MATERIALS FACTORED IN QUOTE	1	\$650.00
INSTALL TOUNGE AND GROOVE CEILINGS TO EXSISTING PATIO 5890 - Special finishes	* INSTALL YELLOW PINE TOUNGE AND GROOVE CEILINGS TO EXSISTING PATIO CEILINGS * INSTALL STAIN AND POLY SEALANT * CUSTOMER TO SELECT STAIN COLOR PRIOR TO INSTALLATION * ALL LABOR AND MATERIALS FACTORED IN QUOTE	1	\$1,890.00
6400 - Patios, walks	CONSTRUCT A 480 SQ. FT DETTACHED OPEN GABLE PAVILLION (20 X 24) * MATERIALS TO BE USED ARE: 8 X 8 PRESSURE TREATED POSTS ENGINEERED LAM BEAMS (PER ENGINEER) PRESSURE TREATED 2 X 12 BEAMS PRESSURE TREATED 2 X 12 LEDGER 2 X 8 YELLOW PINE RAFTERS 2 X 8 YELLOW PINE JOISTS 1/2" OSB DECKING SYNTHETIC ROOFING FELT HOT DIPPED GALVANIZED DRIP EDGE AND FLASHING 30 YEAR COMPOSITE SHINGLES TO MATCH EXISTING HOMES SHINGLES ALL TRIM OUT FINISHES WILL BE IN HARDIE PRODUCT, SOFFITS, CEILINGS, AND FASCIA ALL HARDWARE TO BE HOT DIPPED GALVANIZED HURRICANE STRAPS, BRACKETS, AND PLATES * PAINT AND STAIN COMPLETE STRUCTURE USING SHERWIN WILLIAMS DURATION EXTERIOR PAINT * RUN ELECTRICAL FOR 4 CANS, 1 CEILING FAN, AND 1 RECEPTACLE * CUSTOMER MAY ADD EXTRA ELECTRICAL FOR AN ADDTIONAL \$100.00 PER FIXTURE * CUSTOMER TO SUPPLY CEILING FANS AND TRIM KITS FOR CANS * APEX PATIOS WILL INSTALL ALL FIXTURES * APEX PATIOS WILL INSTALL 5" SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS TO NEW STRUCTURE ALL LABOR AND MATERIALS ARE FACTORED IN THIS QUOTE ***** YELLOW PINE TOUNGE AND GROOVE CEILING UPGRADE THAT INCLUDES STAIN AND POLY SEALANT WOULD BE AN ADDTIONAL \$3,360.00 IF CUSTOMER ELECTS TO UPGRADE, NOW OR DURING CONSTRUCTION THRU THE FRAMING STAGE *****	1	\$23,040.00
6300 - CONCRETE	CONSTRUCT A NEW 480 SQ. FT. PATIO SLAB EXTENSION SCRAPE TOP LAYER OF SOD AND SOIL REMOVE AND DISPOSE OF ALL SOIL DEBRIS FROM JOB-SITE	1	\$4,480.00

Items	Description	Qty/Unit	Price
	<p>FRAME AND FORM A 20 X 24 AREA</p> <p>INSTALL A SELECT FILL / PLAY SAND MIXTURE BASE WHERE NEEDED</p> <p>COMPACT BASE</p> <p>INSTALL 3/4" REBAR IN 16" GRIDS</p> <p>POUR A 4" THICK SLAB USING 3500 PSI READY MIX CONCRETE</p> <p>APPLY CONCRETE FINISHES</p> <p>REMOVE FORMS</p> <p>GENERAL SITE CLEAN UP</p> <p>ALL LABOR AND MATERIALS FACTORED IN QUOTE</p>		
1010 - Building permits	<p>* CITY PERMITS AND ENGINEERING COSTS ARE NOT FACTORED IN THIS QUOTE</p> <p>* IF CUSTOMER ELECTS TO PERMIT THIS JOB APEX PATIOS WILL PAY ALL FEES, BUT CUSTOMER WILL REIMBURSE APEX PATIOS</p> <p>* APEX PATIOS WILL SCHEDULE ALL CITY INSPECTIONS</p> <p>* APEX PATIOS WILL TAKE CARE OF ALL HOA MATTERS ON CUSTOMERS BEHALF AT NO ADDITIONAL COSTS</p>	1	\$0.00
Engineering	<p>* APEX PATIOS OFFERS TO SHOP AROUND FOR THE BEST PRICE FOR ENGINEERING ON THE CUSTOMER'S BEHALF AND SCHEDULE ALL INSPECTIONS</p> <p>*PLEASE NOTE THAT ENGINEERING COSTS RANGE FROM (\$1,200.00 - \$2,000.00 DEPENDING ON IF YOU ARE IN A WINDSTORM AREA OR NOT.)</p>	1	\$0.00
Buildertrend Flat Rate	<p>* THIS PROPOSAL IS VALID FOR 7 DAYS</p> <p>* SHOULD 7 DAYS EXPIRE AND CUSTOMER WOULD STILL LIKE TO HIRE APEX. APEX OFFERS TO RE-BID JOB AT CURRENT MARKET RATE.</p>	1	\$0.00
3D RENDERINGS	<p>\$200.00 IS DUE UPON THE SIGNED PROPOSAL. THIS COST IS TO PAY FOR THE 3D RENDERINGS PROVIDED BY APEX PATIO'S GRAPHIC DESIGNER.</p> <p>THE \$200.00 WILL BE CREDITED BACK PRIOR TO CONSTRUCTION AND ONCE THE GENERAL CONTRACTOR AGREEMENT IS SENT WITH THE PAYMENT SCHEDULE. PLEASE NOTE THIS COST IS COMPLETELY SEPARATE FROM THE ENGINEERING PACKAGE.</p> <p>THIS FEE CAN BE PAID USING A CHECK, MONEY ORDER, VENMO, OR ZELLE.</p>	1	\$200.00
PAYMENTS	<p>PLEASE NOTE WHEN USING A CREDIT CARD FOR THE PATIO COVER, CONCRETE, OUTDOOR KITCHEN, ETC. PAYMENTS, THERE WILL BE AN ADDITIONAL 3.5% CHARGE FOR EACH TRANSACTION. WE APOLOGIZE FOR ANY INCONVENIENCE.</p>	1	\$0.00
STONE COLUMNS WITH DRINK LEDGES 4250 - Masonry labor	<p>* INSTALL 4) 9' FULL STONE COLUMNS</p> <p>* APEX WILL PROVIDE CINDER BLOCK, SAND, MORTAR, THINSET, BRICK TIES, EXTERIOR STONE VANEERS AND LABOR</p> <p>* EXTERIOR STONE VANEER ALLOWANCE IS SET @ \$250.00 PER COLUMN</p> <p>* EACH COLUMN IS \$950.00</p> <p>* ALL LABOR AND MATERIALS ARE FACTORED IN QUOTE</p>	1	\$3,800.00
ACCENT WALL / FUAX FIREPLACE 3210 - Framing labor— draw #1	<p>* CONSTRUCT A 9 X 7 X 2 FULLY STONED ACCENT WALL / FUAX FIREPLACE</p> <p>* INSTALL SIDE FULL LOUVER WALLS</p> <p>* MATERIALS TO BE:</p> <p>2 X 6 PRESSURE TREATED STUD FRAMING, 1/2" CONCRETE BACKER BOARD, RED GUARD MOISTURE BARRIER, THINSET, EXTERIOR STONE VANEERS</p>	1	\$6,250.00

Items	Description	Qty/Unit	Price
	* EXTERIOR STONE VANNER ALLOWANCE IS SET @ \$1,200.00 * CUSTOMER TO SUPPLY ALL FIXTURES SUCH AS TV, LED FIREPLACE, MANTEL, ETC. * ALL LABOR AND MATERIALS ARE FACTORED IN QUOTE		

Total Price: \$47,450.00

I confirm that my action here represents my electronic signature and is binding.



Signature:

Date:

Apr 25, 2024 2:44 PM

Approved by:

MICHAEL PARKER

APEX PATIOS & POOLS GENERAL CONTRACTOR AGREEMENT

This CONSTRUCTION CONTRACT is dated effective as of AUGUST 1, 2024 ("Effective Date") by and between **APEX PATIOS & POOLS**, a Texas limited liability company ("hereinafter referred to as: **CONTRACTOR**") and

MICHAEL PARKER (hereinafter referred to as: "**CUSTOMER(S)**")

Contractor and Customer(s) are, collectively, the "Parties".

CUSTOMER(S) hereby authorizes and employs CONTRACTOR to serve as General Contractor to oversee three (3) or more trades.

WHEREAS CUSTOMER(S) owns the property located at 904 LONGLEAF CT, FRIENDSWOOD, TX 77546 (the Property") and wishes to have work performed by CONTRACTOR at the Property.

- **General Agreement** CONTRACTOR and Customer agree as set forth herein regarding the Project, which will be performed in accordance with the Proposal and the Plans, if applicable, and shall be subject to the terms and provisions hereof.

- **Contract Price and Payments** CUSTOMER agrees to pay CONTRACTOR the total amount of \$50,810.00 (the Contract Price"). Payment of this amount is subject to additions or deductions in accordance with any mutually agreed to changes and/or modifications in the scope of work, and the other documents to which this Agreement is subject. Payment for the Work will be completed according to the following schedule:

A. For **DEMO, ACCENT WALL, AND PATIO COVER W/ TONGUE & GROOVE**, there will be 3) PYMT(S) totaling **\$38,970.00**.

- The 1st payment in the amount of **\$16,810.00** will be due when the materials arrive.
- The 2nd payment in the amount of **\$14,205.00** will be due when shingles and electrical rough-in begins.
- The 3rd payment in the amount of **\$7,955.00** will be due when the patio cover is completed.

B. For **CONCRETE**, there will be 2) PYMT(S) totaling **\$4,480.00**.

- The 1st payment in the amount of **\$2,240.00** due when concrete work begins.
- The 2nd payment in the amount of **\$2,240.00** due when concrete work is completed.

- C. For **STONE COLUMNS**, there will be 2 PYMT(S) totaling **\$3,800.00**.
- The 1st payment in the amount of **\$1,900.00** due when materials arrive.
 - The 2nd payment in the amount of **\$1,900.00** due when masonry work is completed.
- D. For **KOOL DECKING**, there will be 1 PYMT(S) totaling **\$3,360.00** due upon kool decking completion.
- E. **Permit & HOA fees** are not included.
- F. **\$200** difference in totals is for the renderings listed on your proposal that you have already paid.
- G. **WPI-8**. WPI-8 Certificates will not be issued until project is paid in full.
- H. **Payments**. If payments are needing to be made by card instead of check there will be a 3.5% CARD FEE applied, and the amount will need to be pre-paid to account for the transferring time.
- I. **Contract Cancellation**. If any time a breach in contract occurs as per the conditions of our business contract, CONTRACTOR reserves the right to terminate said contract Immediately. This would be as the result of the CUSTOMER upholding and meeting the financial obligations outlined above. CONTRACTOR will notify CUSTOMER by the end of the day of job abandonment. CONTRACTOR will provide a final Invoice to include all costs incurred up until the contract termination. It Is then the CUSTOMER'S responsibility to pay all debts in a timely manner.
- J. **Materials and Labor**. CONTRACTOR shall provide all labor and equipment, Including tools, construction equipment, machinery, transportation, and all other facilities and/or services; and all materials necessary for completion of work.
- K. **Supervision of Construction**. CONTRACTOR shall be solely responsible for and shall supervise and direct all construction under this Agreement. CONTRACTOR shall provide competent and suitable personnel to perform the work and shall at all times maintain good discipline and order at the job site.

- L. **Warranty.** In addition to other common law and statutory warranties, whether implied or express, CONTRACTOR warrants, for a one-year period from the date of Substantial Completion of the Project, that its work on the Project will have been performed in accordance with the standards and pursuant to the specifications herein required. Notwithstanding anything herein to the contrary, CONTRACTOR makes no warranty whatsoever with respect to materials obtained from third party sources, including whether such materials contain any latent or patent defects. Any claims for warranty work shall be requested by written notice given to CONTRACTOR by CUSTOMER on or before the one-year anniversary of the date of Substantial Completion. Any notice given after such a date is void and of no effect.
- M. **Concrete Warranty.** CONTRACTOR guarantees that during the first year after installation, we shall repair or replace the product if it fails to maintain functional structural integrity for the intended purpose of the product solely due to a defect. Hairline cracks, surface scratches and chips are not included as part of this warranty, nor is structural damage caused by severe impacts, physical overloading, or damage stemming from loss of support and/or excessive deflections.
- N. **Contractor's Insurance.** Apex Patios agrees to maintain at its own expense during the entire period of construction at the property.
- O. **Contractor's Insurance**
- A. **General Liability Insurance.** Such general liability insurance as will protect Contractor from claims for property damage and bodily injury, with limits not less than \$1,000,000.00 for each occurrence.
- B. **Worker's Compensation Insurance.** Such worker's compensation and employment insurance as required by law.
- P. **Change Orders.** If the CUSTOMER wishes to make additional changes to the scope of work, before or during construction, the CUSTOMER shall continue to pay CONTRACTOR. The customer is responsible for all additional expenses added. CONTRACTOR will provide CUSTOMER with a new work order/ invoice which will include any and all changes and prices.
- Q. **Damages.** CONTRACTOR shall not be responsible for damages resulting from natural causes, acts of God, including earthquake, rain, fire, ground swells, inundations, flooding, ground and/or hillside motion, landslide, or any natural or accidental cause of peril resulting from storms, flood, war, riot, or freeze damage. CONTRACTOR will not be responsible for any removal or replacement of landscaping or dirt during the construction process or damage caused to sprinkler systems and cable lines.
- R. **Disputes.** Any disputes arising from this Agreement shall be resolved through mediation. If dispute(s) cannot be resolved through mediation, then dispute(s) will be resolved through binding arbitration conducted in accordance with the rules of the American Arbitration Association.



August 9, 2024

City of Friendswood
910 South Friendswood Drive
Friendswood, Texas 77546

Attention: Building Official
Reference: Windstorm/Framing/Concrete Shafts/Posts/Foundation Letter (Visual Observation)
Locations: **904 Longleaf Court -Detached Patio only**
Friendswood 77546

Dear Sir or Madam:

The purpose of this letter is to inform you that at the time of our site visual observation and per our opinion the wood framing at the above-mentioned location was generally installed per the current adopted International Residential Code and per acceptable good practice standards.

A professional's certification is composed of a professional opinion or judgment of a specific condition or circumstance. It does not comprise a guarantee or warranty, express or implied, nor does it relieve any contractor or other party to a construction project from his responsibility for meeting the requirements set forth in the project documents.

If you have any questions or would like to further discuss our recommendations, please do not hesitate to contact us at your convenience. We may be reached at (281) 648-7571 or via e-mail at rdavid@pesquare.com.

Sincerely,
PE Square Engineering Consultants, LLC

By: Ricardo A. David, P.E.
President



F-4866



Demo hardy
ceiling; install
vaulted T&G
ceiling



- *Demo 2 columns; install engineer beam
- *All New Kool Decking on existing & new concrete.



Renderings





August 16th

This text is
showing we sent
Erik Miller the
notice from Friendwood

He responded with
a phone call saying
everything was fine.



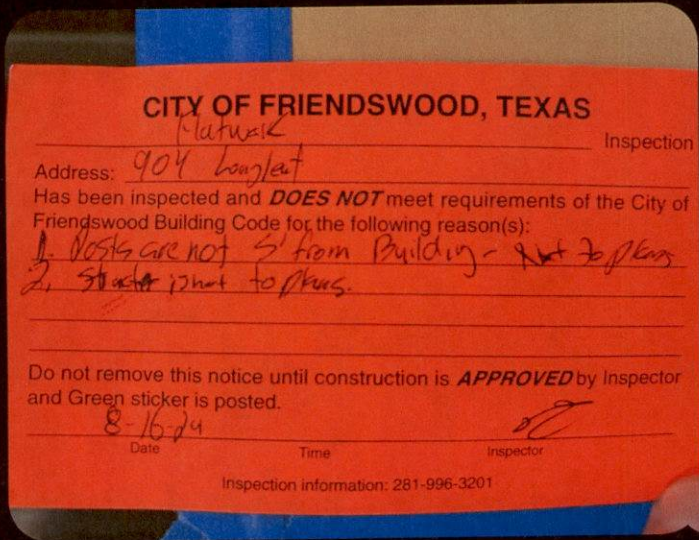
Erik >

Good morning. Hopefully, we get Friendswood out today for inspections so that we can pour concrete on Saturday. We can meet later today in person if you'd like

Working today. Will be home around six if you are in the area?

Still need to get by the showroom to decide on materials and paint.

Fri, Aug 16 at 6:13 PM



Sat, Aug 17 at 3:10 PM



Text Message



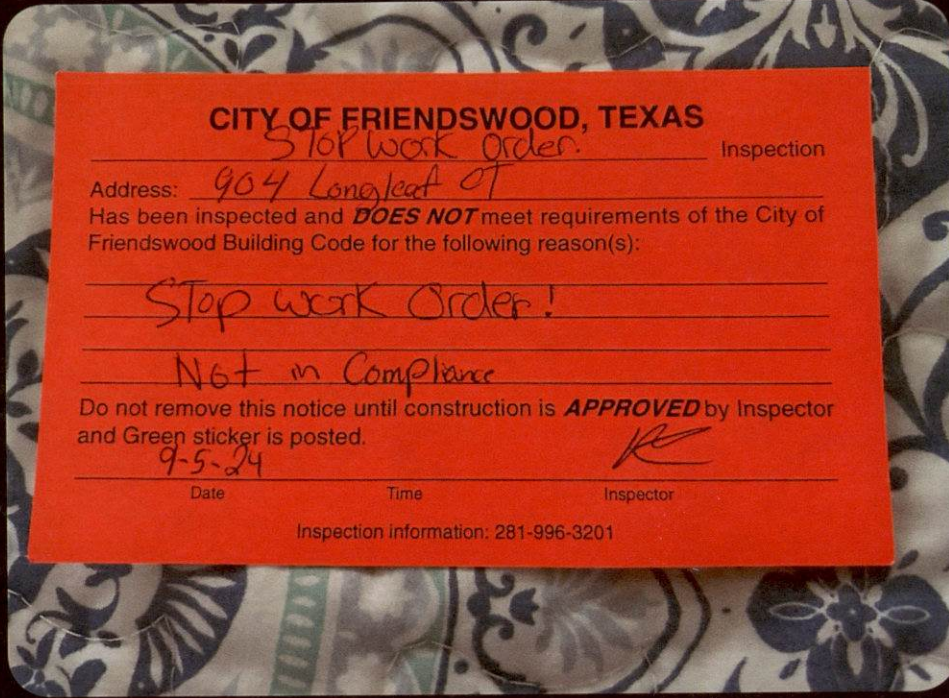
September 5th

This text is
from the second
notice from the
City with Erik
Miller's response

EM

Erik >

Thank you again Erik



Just left on my front door

The engineer just sent me the letter to forward to the city. It's handled.

Ok good, thank you!

The issue with the City was the post is 4 ft from house not 5 ft.



Text Message





EM

Erik >

The issue with the City was the post is 4 ft from house not 5 ft.

It will be later today. I'm trying to collect my final payment

Sorry, that was intended for my framer on Patios. He's requesting payment on completed work of his scope. That was my response



Will you be home @ noon to do a walk thru with me & get juan going on electrical

I should arrive around 12:15. Will you be home?

Juan has came already. Still need stone guys to finish and gutter guys.

I also need the city to confirm with me that we are good to go



Text Message



This text is
where we were
told that we
now have to
attach the porch
to our home.



EM

Erik >

I also need the city to confirm with me that we are good to go as fast as inspections process or send me something printed.

As far as

My question is will you be home in @ 12:15 to do a walk thru & have a discussion.

Yes

Ok. I'll be there in 10-15

Fri, Sep 6 at 8:19 AM

Where is the additional downspout going? Is it going where you were standing yesterday when I told you to be careful so you did not get wet. The gutter guy was asking.

He said that there were five total

Fri, Sep 6 at 4:14 PM



Text Message





EM

Erik >

Fri, Sep 6 at 4:14 PM

Can you ask your wife to have check cut, placed in a zip lock under the front door for a 7:30 am pick up in the morning so I don't wake anyone please. We're here today until everything is completed

Yes, and you said Mario would be by around Tuesday to take care of the attachment of house roof to Pavillion roof to satisfy city fire code or inspections people correct? So I can tell the wife.

Yes sir. I've held back stone & column money of almost \$3k for reassurance, not to mention the free stone wall.

Latest invoice total reflects that

Yes sir

See you guys next week



Text Message





EM

Erik >

Tue, Sep 10 at 11:46 AM

Good morning Erik. Have we gotten the cities approval for the connection to the roof yet? I am really nervous about that! Macario never made it by yesterday.

We are on it & you have money over me to ensure that. Electrician will be back out today & I'll check on Macario.

Thank you sir!

Yes sir

Fri, Sep 13 at 8:38 AM

Morning! The stone guys did come by and install the drain pipe a couple of days ago. They still need to acid wash the stone at some point though. Jordyn texted yesterday to inform me that the engineered drawings have been submitted to the city. She



Text Message





EM

Erik >

Electrian will be back out today
& I'll check on Macario.

Thank you sir!

Yes sir

Fri, Sep 13 at 8:38 AM

Morning! The stone guys did come by and install the drain pipe a couple of days ago. They still need to acid wash the stone at some point though. Jordyn texted yesterday to inform me that the engineered drawings have been submitted to the city. She says about 3 to 4 days for approval.

Tuesday 3:13 PM

We would like to wait on the decking guy until the roof is attached and all the touch ups have been completed to reduce the amount of foot traffic and dirt on the finished



Text Message



Decking

From: jennifer parker (jmsaladino@sbcglobal.net)

To: rutledgejordyn2@gmail.com

Date: Tuesday, September 17, 2024 at 01:24 PM CDT

Hi Jordyn,

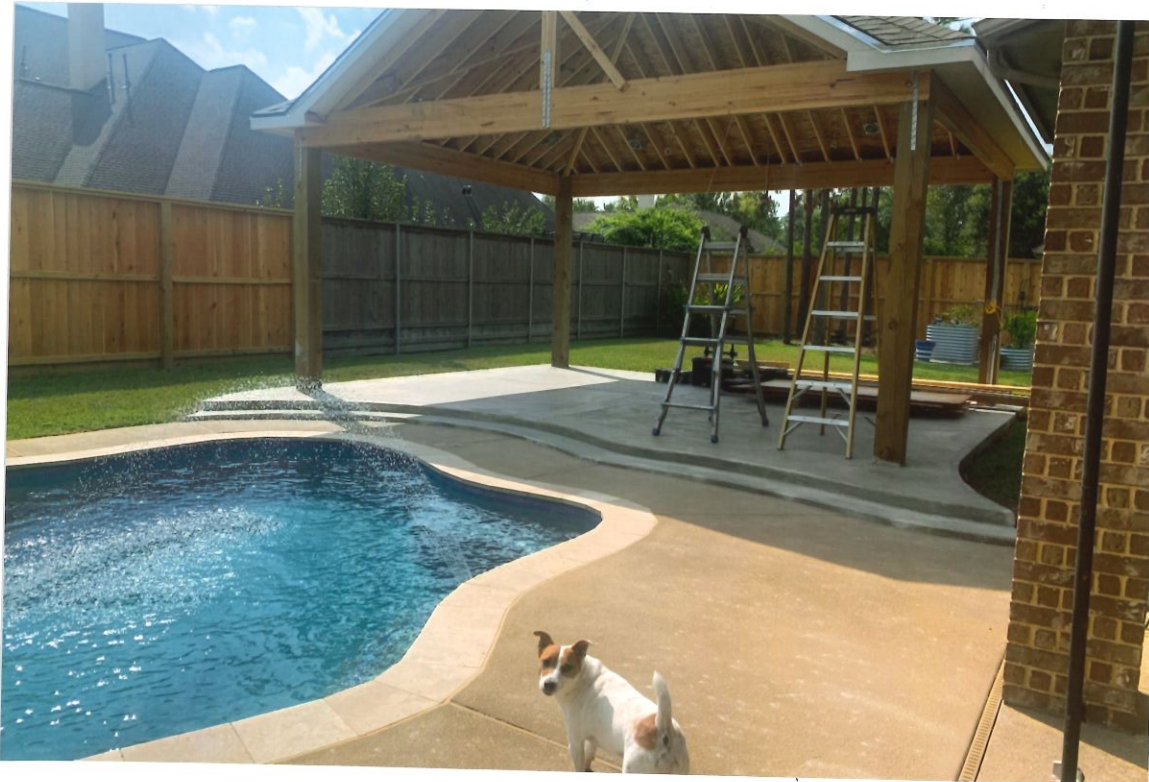
Mike said that the decking guy wants to start tomorrow. I understand that the roof project will not interfere with this, but we would like to wait until the porch is completed to do the decking. With debris and dust we just don't want to take any chances. I also think the ceiling may need another coat because of several wood streaks. (If this is something we need to do we will).

Did the city approve roof addition?

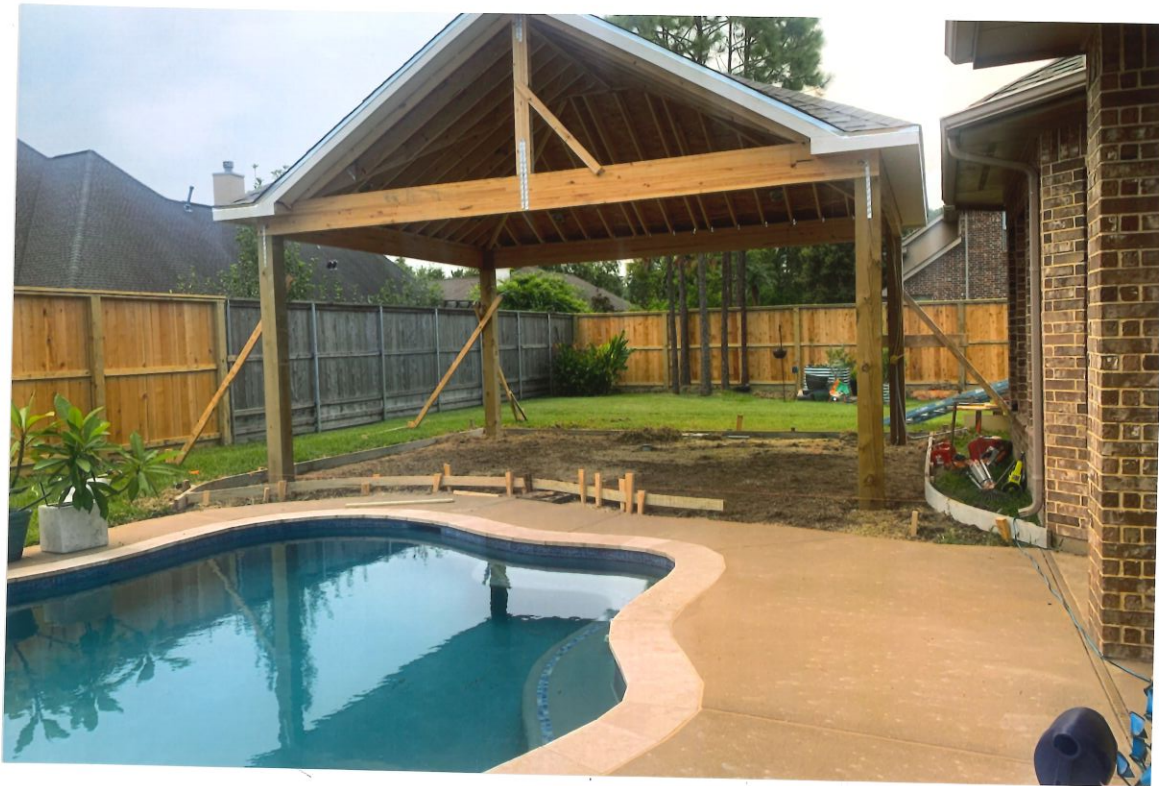
Jennifer Parker
Sent from my iPhone











**Audit Log for RES2024-2845
(36237)**

Main:

<u>Change Date</u>	<u>Change Code</u>	<u>Login ID</u>	<u>Case Name</u>	<u>Location</u>	<u>Issue Date</u>	<u>Expiration Date</u>	<u>Status Description</u>
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		01/11/2025	Submitted
7/11/24 2:51 pm	Update-New	cbeier_fwd	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		01/11/2025	Incomplete
7/18/24 11:17 am	Update-New	cbeier_fwd	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		01/11/2025	In Review
7/23/24 8:24 am	Update-New	cbeier_fwd	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		01/11/2025	Out to Applicant
7/25/24 4:31 pm	Update-New	kcornett_fwd	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		01/11/2025	In Review
7/26/24 1:45 pm	Update-New	cbeier_fwd	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		01/11/2025	Fees Due
8/13/24 9:54 am	Update-New	PublicUser	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		01/11/2025	Issued
9/5/24 10:25 am	Update-New	cbeier_fwd	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		02/12/2025	Stop Work
9/17/24 10:24 am	Update-New	cbeier_fwd	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		02/12/2025	In Review
9/19/24 4:56 pm	Update-New	kcuellar_fwd	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		02/12/2025	Out to Applicant
9/19/24 4:56 pm	Update-New	kcuellar_fwd	Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24)	904 Longleaf Ct, Friendswood, Tx, 77546		02/12/2025	Stop Work

11/26/24 11:32 am Update-New bbennett_fwd Construct 480Sqft Detatched Patio Cover And Concrete Slab (20X24) 904 Longleaf Ct 02/12/2025 Stop Work

Status History:

<u>Change Date</u>	<u>Change Code</u>	<u>Login ID</u>	<u>Case Status</u>	<u>Status Code</u>
7/11/24 2:51 pm	Insert	cbeier_fwd	Submitted	Open
7/18/24 11:17 am	Insert	cbeier_fwd	Incomplete	Open
7/23/24 8:24 am	Insert	cbeier_fwd	In Review	Open
7/25/24 4:31 pm	Insert	kcornett_fwd	Out2Applic	Open
7/26/24 1:44 pm	Insert	cbeier_fwd	In Review	Open
8/13/24 9:54 am	Insert	PublicUser	Fees Due	Open
8/13/24 9:54 am	Insert	PublicUser	Fees Due	Open
9/5/24 10:25 am	Insert	cbeier_fwd	Issued	Issue
9/17/24 10:24 am	Insert	cbeier_fwd	Stop Work	Open
9/19/24 4:56 pm	Insert	kcuellar_fwd	In Review	Open
9/19/24 4:56 pm	Insert	kcuellar_fwd	Out2Applic	Open

Fees:

<u>Change Date</u>	<u>Change Code</u>	<u>Login ID</u>	<u>Fee Description</u>	<u>Amount</u>	<u>Comment</u>	<u>Waive Fee?</u>
7/26/24 1:45 pm	Insert	cbeier_fwd	Building Permit Issuance Fee	\$10.00		N
7/26/24 1:45 pm	Insert	cbeier_fwd	Credit Card Processing Fee	\$3.85		N
7/26/24 1:45 pm	Update-New	cbeier_fwd	Credit Card Processing Fee	\$5.65		N
7/26/24 1:45 pm	Insert	cbeier_fwd	Plan Check Fee	\$72.00		N
7/26/24 1:45 pm	Insert	cbeier_fwd	Residential Addition/Alteration	\$144.00		N

Payments:

<u>Change Date</u>	<u>Change Code</u>	<u>Login ID</u>	<u>Fee Description</u>	<u>Amount</u>	<u>Account</u>	<u>Reference Information</u>	<u>Date Voided</u>
8/13/24 9:54 am	Insert	PublicUser	Building Permit Issuance Fee	\$10.00	AN		
REFUNDS:							
8/13/24 9:54 am	Insert	PublicUser	Credit Card Processing Fee	\$5.65	AN		
REFUNDS:							
8/13/24 9:54 am	Insert	PublicUser	Plan Check Fee	\$72.00	AN		
REFUNDS:							
8/13/24 9:54 am	Insert	PublicUser	Residential Addition/Alteration	\$144.00	AN		
REFUNDS:							

Conditions:

<u>Change Date</u>	<u>Change Code</u>	<u>Login ID</u>	<u>Default Text</u>	<u>Date Applied</u>	<u>Date Completed</u>
7/18/24 10:58 am	Insert	cwadmin		7/18/24 10:58 am	
7/18/24 11:16 am	Delete	cbeier_fwd		7/18/24 10:58 am	
7/25/24 3:18 pm	Insert	cwadmin		7/25/24 3:18 pm	
7/25/24 4:32 pm	Delete	kcornett_fwd		7/25/24 3:18 pm	
8/12/24 11:36 am	Insert	cwadmin		8/12/24 11:36 am	
8/13/24 9:56 am	Delete	cbeier_fwd		8/12/24 11:36 am	
8/15/24 9:24 am	Insert	cwadmin		8/15/24 9:24 am	
8/15/24 10:02 am	Delete	cbeier_fwd		8/15/24 9:24 am	
9/12/24 1:15 pm	Insert	cwadmin		9/12/24 1:15 pm	
9/12/24 1:37 pm	Delete	kcornett_fwd		9/12/24 1:15 pm	
9/19/24 4:39 pm	Insert	kcuellar_fwd	8/16/2024 Stop Work Hold - Structure not built to approved plans. and set backs	9/19/24 4:39 pm	

Tasks:

<u>Change Date</u>	<u>Change Code</u>	<u>Login ID</u>	<u>Target Start Date</u>	<u>Task Assigned To</u>	<u>Result Code</u>	<u>Completed Date</u>	<u>Available</u>	<u>Complete</u>
Application Intake								
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com	7/11/24 2:37 pm				Y	N
7/11/24 2:51 pm	Update-New	cbeier_fwd	7/11/24 2:37 pm	cbeier_fwd	Recvdincom	7/11/24 2:51 pm	N	Y
7/11/24 2:51 pm	Insert	cbeier_fwd	7/11/24 2:51 pm				Y	N
7/18/24 11:17 am	Update-New	cbeier_fwd	7/11/24 2:51 pm	cbeier_fwd	Recvdcompl	7/18/24 11:17 am	N	Y
Flood Zone Determination								
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com					N	N
7/18/24 5:12 pm	Update-New	brianrouane_fwd	7/18/24 11:17 am	brianrouane_fwd	Unshadex	7/18/24 5:12 pm	N	Y
Planning Review								
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com					N	N
7/18/24 4:08 pm	Update-New	aharbin_fwd	7/18/24 11:17 am	aharbin_fwd	Approved	7/18/24 4:08 pm	N	Y
Building Plan Review								
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		BuildingInspector1			N	N
7/18/24 5:13 pm	Update-New	brianrouane_fwd	7/18/24 5:12 pm	mvail_fwd			Y	N
7/23/24 7:19 am	Update-New	mvail_fwd	7/18/24 5:12 pm	mvail_fwd	Resubmit	7/23/24 7:19 am	N	Y
GCCDD Review								
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com					N	N
7/18/24 5:12 pm	Update-New	brianrouane_fwd	7/18/24 5:12 pm	brianrouane_fwd	N/A	7/18/24 5:12 pm	N	Y
Receive Resubmittal								
7/23/24 8:24 am	Insert	cbeier_fwd	7/23/24 8:24 am				Y	N
7/25/24 4:31 pm	Update-New	kcornett_fwd	7/23/24 8:24 am	kcornett_fwd	Recvdrev	7/25/24 4:31 pm	N	Y
Send Comments								
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com					N	N
7/23/24 8:24 am	Update-New	cbeier_fwd	7/23/24 7:19 am	cbeier_fwd	Sendresub	7/23/24 8:24 am	N	Y
Building Plan Review								
7/25/24 4:31 pm	Insert	kcornett_fwd	7/25/24 4:31 pm	BuildingInspector1			Y	N
7/25/24 4:31 pm	Update-New	kcornett_fwd	7/25/24 4:31 pm	mvail_fwd			Y	N
7/26/24 1:32 pm	Update-New	mvail_fwd	7/25/24 4:31 pm	mvail_fwd	Approved	7/26/24 1:32 pm	N	Y

Fee Assessment 7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com						N	N
Fee Notification 7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com						N	N
Planning Review 7/25/24 4:31 pm	Insert	kcornett_fwd	7/25/24 4:31 pm					Y	N
7/25/24 4:31 pm	Update-New	kcornett_fwd	7/25/24 4:31 pm	kcornett_fwd	N/A	7/25/24 4:31 pm		N	Y
Building Foundation 7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect				N	N
Letter - Form Survey 7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect				N	N
Letter - Foundation 7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect				N	N
Send Comments 7/25/24 4:31 pm	Insert	kcornett_fwd						N	N
7/26/24 1:44 pm	Update-New	cbeier_fwd	7/26/24 1:32 pm	cbeier_fwd	Approved	7/26/24 1:44 pm		N	Y
Fee Assessment 7/26/24 1:45 pm	Update-New	cbeier_fwd	7/26/24 1:44 pm	cbeier_fwd	Insertfees	7/26/24 1:44 pm		N	Y
Fee Notification 7/26/24 1:45 pm	Update-New	cbeier_fwd	7/26/24 1:44 pm	cbeier_fwd	Send	7/26/24 1:45 pm		N	Y
Letter - Windstorm 7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect				N	N
Brick Tie Inspection 7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect				N	N

Building Flatwork

7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect			N	N
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Building Foundation

8/15/24 12:17 pm	Update-New	kcornett_fwd	8/16/24 12:00 am	BuildingInspector1			Y	N
8/15/24 12:17 pm	Update-New	kcornett_fwd	8/16/24 12:00 am	BuildingInspector1			Y	N
8/16/24 7:57 am	Update-New	brianrouane_fwd	8/16/24 12:00 am	rcantu_fwd			Y	N
8/16/24 1:34 pm	Update-New	rcantu_fwd	8/16/24 12:00 am	rcantu_fwd	Disapprove	8/16/24 1:32 pm	N	Y
8/16/24 1:34 pm	Insert	rcantu_fwd		OnlineBPInspect			Y	N

Building Frame/Cover

7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect			N	N
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Building Lath Inspection

7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect			N	N
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Drive Approach

7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect			N	N
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Letter - Form Survey

8/15/24 12:17 pm	Update-New	kcornett_fwd		OnlineBPInspect	N/A	8/15/24 12:17 pm	N	Y
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Letter - Foundation

8/15/24 12:17 pm	Update-New	kcornett_fwd		OnlineBPInspect	N/A	8/15/24 12:17 pm	N	Y
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Building Final to CO

7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com		OnlineBPInspect			N	N
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Letter - Windstorm

8/13/24 9:58 am	Update-New	kcornett_fwd	8/14/24 12:00 am	BuildingInspector1			Y	N
8/14/24 7:27 am	Update-New	tferguson_fwd	8/14/24 12:00 am	tferguson_fwd			Y	N
8/14/24 12:18 pm	Update-New	tferguson_fwd	8/14/24 12:00 am	tferguson_fwd	Disapprove	8/14/24 12:16 pm	N	Y
8/14/24 12:19 pm	Insert	tferguson_fwd		OnlineBPInspect			Y	N
8/15/24 9:29 am	Update-New	kcornett_fwd	8/15/24 12:00 am	tferguson_fwd			Y	N
8/15/24 9:30 am	Update-New	kcornett_fwd	8/15/24 12:00 am	tferguson_fwd			Y	N
8/15/24 10:44 am	Update-New	tferguson_fwd	8/15/24 12:00 am	tferguson_fwd	Approved	8/15/24 10:41 am	N	Y

Building Plan Review

9/12/24	1:32 pm	Insert	kcornett_fwd	9/12/24	1:32 pm				Y	N
9/12/24	1:35 pm	Update-New	kcornett_fwd	9/12/24	1:32 pm	brianrouane_fwd			Y	N
9/17/24	10:24 am	Update-New	cbeier_fwd	9/12/24	1:32 pm	brianrouane_fwd			Y	N
9/19/24	2:08 pm	Update-New	brianrouane_fwd	9/12/24	1:32 pm	brianrouane_fwd	Resubmit	9/19/24 2:08 pm	N	Y

Issue Certificate

7/11/24	2:37 pm	Insert	ericmiller3265@gmail.com						N	N
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Receive Resubmittal

9/19/24	4:56 pm	Insert	kcuellar_fwd	9/19/24	4:56 pm				Y	N
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Receive Resubmittal (revisions)

9/12/24	1:31 pm	Insert	kcornett_fwd	9/12/24	1:31 pm				Y	N
9/12/24	1:31 pm	Update-New	kcornett_fwd	9/12/24	1:31 pm	kcornett_fwd	Recvdrevs	9/12/24 1:31 pm	N	Y

Send Comments

9/19/24	4:37 pm	Insert	kcuellar_fwd	9/19/24	4:37 pm				Y	N
9/19/24	4:56 pm	Update-New	kcuellar_fwd	9/19/24	4:37 pm				Y	N
9/19/24	4:56 pm	Update-New	kcuellar_fwd	9/19/24	4:37 pm	kcuellar_fwd	Sendresub	9/19/24 4:56 pm	N	Y

Contractor(s):

<u>Change Date</u>	<u>Change Code</u>	<u>Login ID</u>	<u>Contractor Type</u>	<u>Business Name</u>
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com	General Contractor	Apex Patios & Pools Llc

People:

<u>Change Date</u>	<u>Change Code</u>	<u>Login ID</u>	<u>Name</u>	<u>Phone</u>	<u>Email</u>
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com	Eric Miller	7132918197	ericmiller3265@gmail.com
7/11/24 2:37 pm	Insert	ericmiller3265@gmail.com	Michael Parker	2812992054	michael.parker@ineos.com
7/18/24 11:16 am	Insert	cbeier_fwd	Parker Michael Wayne & Jennifer Marie		
7/18/24 11:17 am	Update-New	cbeier_fwd	Parker Michael Wayne & Jennifer Marie		
7/18/24 11:17 am	Update-New	cbeier_fwd	Parker Michael Wayne & Jennifer Marie		michael.parker@ineos.com
7/18/24 11:17 am	Delete	cbeier_fwd	Michael Parker	2812992054	michael.parker@ineos.com
7/18/24 11:17 am	Update-New	cbeier_fwd	Eric Miller	7132918197	ericmiller3265@gmail.com
7/26/24 1:42 pm	Update-New	cbeier_fwd	Eric Miller	7132918197	ericmiller3265@gmail.com

Application Data:

<u>Change Date</u>	<u>Change Code</u>	<u>Login ID</u>	<u>Detail Description</u>	<u>Detail Result</u>
7/11/24 2:37 pm	Insert	cwadmin	Total Value of Improvement	47450.0000
7/11/24 2:37 pm	Insert	cwadmin	Description of Work	CONSTRUCT 480SQFT DETATTCHED PATIO COVER AND CONCRETE SLAB (20X24) W/ STONE ACCENT WALL, LOUVRED WALLS, AND FULL STONE COLUMNS. DEMO EXISTING PATIO COLUMNS AND INSTALL AN ENGINEER BEAM.
7/11/24 2:37 pm	Insert	cwadmin	1st Floor SQFT of Alteration (air conditioned area)	5017.0000
7/26/24 1:43 pm	Update-New	cbeier_fwd	1st Floor SQFT of Alteration (air conditioned area)	
7/11/24 2:37 pm	Insert	cwadmin	2nd Floor SQFT of Alteration (air conditioned area)	
7/11/24 2:37 pm	Insert	cwadmin	Garage SQFT	
7/11/24 2:37 pm	Insert	cwadmin	Outdoor SQFT (non-air conditioned)	480.0000
7/11/24 2:37 pm	Insert	cwadmin	Lot Size (Total SQFT)	18000.0000
7/11/24 2:37 pm	Insert	cwadmin	% Lot Coverage (vertical structures)	34.50
7/11/24 2:37 pm	Insert	cwadmin	# of Bathrooms	
7/11/24 2:37 pm	Insert	cwadmin	# of Bedrooms	
7/11/24 2:37 pm	Insert	cwadmin	Total Impervious Cover (SQFT)*	6247
7/11/24 2:37 pm	Insert	cwadmin	Construction Type	
7/11/24 2:37 pm	Insert	cwadmin	Occupancy Type	
7/11/24 2:37 pm	Insert	cwadmin	Fire Sprinkler Required	N
7/11/24 2:37 pm	Insert	cwadmin	Fire Sprinkler Provided	N

Friendswood, Texas

910 S Friendswood Drive
Friendswood, TX 77546



Final Approved Plan Set

Application No. RES2024-2845 Date Stamped 07-26-2024

Submission Documents:

Document Name	Document ID
Survey Drawing.pdf	59033
Electrical Layout.pdf	59034
Permit Documents.pdf	58647

Comment Author Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone No.:
Chrissy Beier	cbeier@friendswood.com	1
Mark Vail	mvail@friendswood.com	1

General Comments

Comment ID	Reviewer : Department	Status	Review Comments	Applicant Response Comments
4	Mark Vail : Building	Open	Windstorm letter due prior to Cover Inspection	
5	Mark Vail : Building	Open	No Electrical or Plumbing in Utility Easements.	

"Note: Even though the city of Friendswood's review of the plans and specifications is designed to discover potential code violations, design errors or non-compliance with other city ordinances and regulations, failure on the city's part to discover all such violations or errors does not relieve the developer, engineer, architect, builder or contractor from the responsibility of producing an end product that is in total compliance with all requirements of the city's design criteria manual, the Galveston County consolidated drainage district's design criteria manual or the current international code series as adopted by the City of Friendswood, any that is in total compliance with any other applicable requirements in the city's code of ordinances or regulations, or with an industry designs standards relevant to the project covered by these plans and specifications.

The developer, engineer, architect, builder and contractor are each solely responsible for the adherence to all requirements of other entities or agencies that are relevant to the project."

*****Permit holder must print a copy of this approved set to keep on the job site and available to all inspectors for verification during inspections.*****

APPROVED

Reviewed for Compliance
Approved for Construction

M. Vail

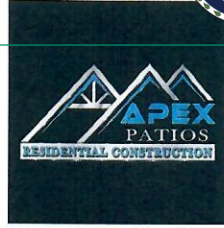
Official: Mark Vail
Date: 07-26-2024



MICHAEL PARKER on Apr 25, 2024

Approved

Building



APEX PATIOS & POOLS

2215 Repsdorff Rd Ste A • Seabrook, TX 77586-6445 • Phone: 713-291-8197

MICHAEL PARKER
Phone: 281-299-2054

Job Address:
904 LONGLEAF COURT
FRIENDSWOOD, TX 77546

Print Date: 4-26-2024

Proposal for MICHAEL PARK (2)

Items	Description	Qty/Unit	Price
NEW KOOL DECKING AND RE-COLOR 5520 - Special flooring	<ul style="list-style-type: none"> * INSTALL 480 SQ. FT. OF KOOL DECKING OVERLAY TO NEWLY INSTALLED CONCRETE SLAB \$1680.00 * INSTALL NEW RE-COLOR TO 840 SQ. FT. EXSISITNG PATIO AND POOL WALKWAYS \$1680.00 	1	\$3,360.00
DEMO EXSISITING BRICK COLOUMNS 1300 - Demolition	<ul style="list-style-type: none"> * DEMO 2 EXSISITING BRICK COLUMNS * REMOVE AND DISPOSE ALL DEMO DEBRIS FROM JOB-SITE * LAND FILL FEES ARE INCLUDED IN QUOTE * APEX DUMP TRAILER RENTAL FEE IS INCLUDED IN QUOTE * LABOR QUOTE ONLY. NO MATERIALS NEEDED IN THIS JOB-SCOPE 	1	\$550.00
INSTALL ENGINEER LAM BEAM ON EXSISTING PATIO 3210 - Framing labor—draw #1	<ul style="list-style-type: none"> * INSTALL TEMP SUPPORT WALL TO EXSISITNG PATIO DURING COLUMN REMOVAL * REMOVE EXSISTING PATIO BEAMS * INSTALL ANTHONY POWER BEAM TO EXSISITNG PATIO PER ENGINEER SPECS * REMOVE TEMP SUPPORT WALL * TRIM ANTHONY POWER BEAM IN HARDIE MATERIALS * PREP HARDIE FOR PAINT * PAINT HARDIE * ALL LABOR AND MATERIALS FACTORED IN QUOTE 	1	\$2,880.00
DEMO EXSISITNG PATIO HARDIE CEILINGS	<ul style="list-style-type: none"> * DEMO EXSISITING HARDIE PATIO CEILINGS * REMOVE AND DISPOSE OF ALL DEMO MATERIALS FROM JOB-SITE 	1	\$350.00

Items	Description	Qty/Unit	Price
1300 - Demolition			
VAULT EXSISITING PATIO CEILINGS 3220 - Framing labor— draw #2	* CONVERT EXSISITING PATIO FLAT CEILINGS TO VAULTED CEILINGS * ALL LABOR AND MATERIALS FACTORED IN QUOTE	1	\$650.00
INSTALL TOUNGE AND GROOVE CEILINGS TO EXSISITNG PATIO 5890 - Special finishes	* INSTALL YELLOW PINE TOUNGE AND GROOVE CEILINGS TO EXSISITING PATIO CEILINGS * INSTALL STAIN AND POLY SEALANT * CUSTOMER TO SELECT STAIN COLOR PRIOR TO INSTALLATION * ALL LABOR AND MATERIALS FACTORED IN QUOTE	1	\$1,890.00
6400 - Patios, walks	CONSTRUCT A 480 SQ. FT DETTACHED OPEN GABLE PAVILLION (20 X 24) * MATERIALS TO BE USED ARE: 8 X 8 PRESSURE TREATED POSTS ENGINEERED LAM BEAMS (PER ENGINEER) PRESSURE TREATED 2 X 12 BEAMS PRESSURE TREATED 2 X 12 LEDGER 2 X 8 YELLOW PINE RAFTERS 2 X 8 YELLOW PINE JOISTS 1/2" OSB DECKING SYNTHETIC ROOFING FELT HOT DIPPED GALVANIZED DRIP EDGE AND FLASHING 30 YEAR COMPOSITE SHINGLES TO MATCH EXISTING HOMES SHINGLES ALL TRIM OUT FINISHES WILL BE IN HARDIE PRODUCT, SOFFITS, CEILINGS, AND FASCIA ALL HARDWARE TO BE HOT DIPPED GALVANIZED HURRICANE STRAPS, BRACKETS, AND PLATES * PAINT AND STAIN COMPLETE STRUCTURE USING SHERWIN WILLIAMS DURATION EXTERIOR PAINT * RUN ELECTRICAL FOR 4 CANS,1 CEILING FAN, AND 1 RECEPTACLE * CUSTOMER MAY ADD EXTRA ELECTRICAL FOR AN ADDTIONAL \$100.00 PER FIXTURE * CUSTOMER TO SUPPLY CEILING FANS AND TRIM KITS FOR CANS * APEX PATIOS WILL INSTALL ALL FIXTURES * APEX PATIOS WILL INSTALL 5" SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS TO NEW STRUCTURE ALL LABOR AND MATERIALS ARE FACTORED IN THIS QUOTE ***** YELLOW PINE TOUNGE AND GROOVE CEILING UPGRADE THAT INCLUDES STAIN AND POLY SEALANT WOULD BE AN ADDTIONAL \$3.360.00 IF CUSTOMER ELECTS TO UPGRADE, NOW OR DURING CONSTRUCTION THRU THE FRAMING STAGE *****	1	\$23,040.00
6300 - CONCRETE	CONSTRUCT A NEW 480 SQ. FT. PATIO SLAB EXTENSION SCRAPE TOP LAYER OF SOD AND SOIL REMOVE AND DISPOSE OF ALL SOIL DEBRIS FROM JOB-SITE	1	\$4,480.00

Items	Description	Qty/Unit	Price
	<p>FRAME AND FORM A 20 X 24 AREA</p> <p>INSTALL A SELECT FILL / PLAY SAND MIXTURE BASE WHERE NEEDED</p> <p>COMPACT BASE</p> <p>INSTALL 3/4" REBAR IN 16" GRIDS</p> <p>POUR A 4" THICK SLAB USING 3500 PSI READY MIX CONCRETE</p> <p>APPLY CONCRETE FINISHES</p> <p>REMOVE FORMS</p> <p>GENERAL SITE CLEAN UP</p> <p>ALL LABOR AND MATERIALS FACTORED IN QUOTE</p>		
1010 - Building permits	<p>* CITY PERMITS AND ENGINEERING COSTS ARE NOT FACTORED IN THIS QUOTE</p> <p>* IF CUSTOMER ELECTS TO PERMIT THIS JOB APEX PATIOS WILL PAY ALL FEES, BUT CUSTOMER WILL REIMBURSE APEX PATIOS</p> <p>* APEX PATIOS WILL SCHEDULE ALL CITY INSPECTIONS</p> <p>* APEX PATIOS WILL TAKE CARE OF ALL HOA MATTERS ON CUSTOMERS BEHALF AT NO ADDITIONAL COSTS</p>	1	\$0.00
Engineering	<p>* APEX PATIOS OFFERS TO SHOP AROUND FOR THE BEST PRICE FOR ENGINEERING ON THE CUSTOMER'S BEHALF AND SCHEDULE ALL INSPECTIONS</p> <p>*PLEASE NOTE THAT ENGINEERING COSTS RANGE FROM (\$1,200.00 - \$2,000.00 DEPENDING ON IF YOU ARE IN A WINDSTORM AREA OR NOT.)</p>	1	\$0.00
Buildertrend Flat Rate	<p>* THIS PROPOSAL IS VALID FOR 7 DAYS</p> <p>* SHOULD 7 DAYS EXPIRE AND CUSTOMER WOULD STILL LIKE TO HIRE APEX. APEX OFFERS TO RE-BID JOB AT CURRENT MARKET RATE.</p>	1	\$0.00
3D RENDERINGS	<p>\$200.00 IS DUE UPON THE SIGNED PROPOSAL. THIS COST IS TO PAY FOR THE 3D RENDERINGS PROVIDED BY APEX PATIO'S GRAPHIC DESIGNER.</p> <p>THE \$200.00 WILL BE CREDITED BACK PRIOR TO CONSTRUCTION AND ONCE THE GENERAL CONTRACTOR AGREEMENT IS SENT WITH THE PAYMENT SCHEDULE. PLEASE NOTE THIS COST IS COMPLETELY SEPARATE FROM THE ENGINEERING PACKAGE.</p> <p>THIS FEE CAN BE PAID USING A CHECK, MONEY ORDER, VENMO, OR ZELLE.</p>	1	\$200.00
PAYMENTS	<p>PLEASE NOTE WHEN USING A CREDIT CARD FOR THE PATIO COVER, CONCRETE, OUTDOOR KITCHEN, ETC. PAYMENTS, THERE WILL BE AN ADDITIONAL 3.5% CHARGE FOR EACH TRANSACTION. WE APOLOGIZE FOR ANY INCONVENIENCE.</p>	1	\$0.00
STONE COLUMNS WITH DRINK LEDGES 4250 - Masonry labor	<p>* INSTALL 4) 9' FULL STONE COLUMNS</p> <p>* APEX WILL PROVIDE CINDER BLOCK, SAND, MORTAR, THINSET, BRICK TIES, EXTERIOR STONE VANEERS AND LABOR</p> <p>* EXTERIOR STONE VANEER ALLOWANCE IS SET @ \$250.00 PER COLUMN</p> <p>* EACH COLUMN IS \$950.00</p> <p>* ALL LABOR AND MATERIALS ARE FACTORED IN QUOTE</p>	1	\$3,800.00
ACCENT WALL / FUAX FIREPLACE 3210 - Framing labor— draw #1	<p>* CONSTRUCT A 9 X 7 X 2 FULLY STONED ACCENT WALL / FUAX FIREPLACE</p> <p>* INSTALL SIDE FULL LOUVER WALLS</p> <p>* MATERIALS TO BE:</p> <p>2 X 6 PRESSURE TREATED STUD FRAMING, 1/2" CONCRETE BACKER BOARD, RED GUARD MOISTURE BARRIER, THINSET, EXTERIOR STONE VANEERS</p>	1	\$6,250.00

Items	Description	Qty/Unit	Price
	* EXTERIOR STONE VANNER ALLOWANCE IS SET @ \$1,200.00 * CUSTOMER TO SUPPLY ALL FIXTURES SUCH AS TV, LED FIREPLACE, MANTEL, ETC. * ALL LABOR AND MATERIALS ARE FACTORED IN QUOTE		

Total Price: \$47,450.00

I confirm that my action here represents my electronic signature and is binding.



Signature:

Date:

Apr 25, 2024, 2:44 PM

Approved by:

MICHAEL PARKER

Revised site plan, 7/26/24

LOT 4

LOT 2

LOT 3

LOT 2

LOT 3
BLOCK 3
RESIDENCE

N48°22'13"W 120.00'

10'

5'

S41°37'47"W 150.00'

N41°37'47"E 150.00'

S48°22'13"E 120.00'

904
LONGLEAF COURT
(60' P.U.E.)

Michael Wayne Parker

Jennifer Marie Parker

**MICHAEL WAYNE PARKER
JENNIFER MARIE PARKER

NOTES

1. ALL BEARINGS SHOWN HEREON ARE BASED ON THE RECORDED PLAT
2. SUBJECT TO APPLICABLE RESTRICTIVE COVENANTS LISTED IN ITEM NO. 1, SCHEDULE "B" OF TITLE COMMITMENT ISSUED BY ALAMO TITLE COMPANY UNDER CT. NO. 47014-05-ATTORNEY'S TRUST

PLAT OF SURVEY
SCALE: 1" = 30'

FLOOD MAP
THIS PROPERTY LIES IN ZONE
"X" SHADED AS A FLOODWAY
AS DEPICTED ON COMMUNITY PANEL
NO. 48848 WHO IS DATED 09-20-09
THIS BEARING HAS BEEN OBTAINED FROM THE
FEDERAL EMERGENCY MANAGEMENT AGENCY
DISASTER PREVENTION AND MITIGATION
DEPARTMENT

FOR BY
ADDRESS: 904 LONGLEAF
COURT
ALLPOINTS SUB REVENUE
OFFICE ATCHINADITCH



ALLPOINTS
SERVICES CORP
PHONE 281-483-7707
TX PLS NO. 070000

LOT 3, BLOCK 3,
CREEKWOOD ESTATES,
PLAT RECORD 2011A, MAP NO. 58-59,
MAP RECORDS,
GALVESTON COUNTY, TEXAS

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS THE
RESULTS OF A SURVEY MADE ON GROUND, ON THE 10TH
DAY OF OCTOBER, 2018.

Steven P. Brister



ALLPOINTS SERVICES CORP

COMMERCIAL REAL ESTATE DIVISION 1515 WITTE ROAD HOUSTON TEXAS 77002

Revisions Approved

APPROVED



Official: Mark Vail
Date: 07-26-2024

Building

Impervious Coverage Worksheet

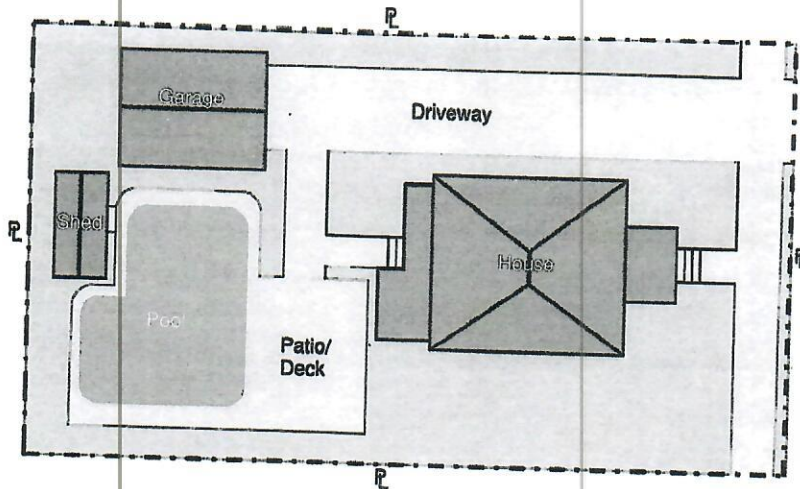
Incomplete applications will not be accepted.

Indicate "NA" when an item does not pertain to your application.

PROJECT INFORMATION

Project Address: 904 LONGLEAF CT, FRIENDSWOOD, TX 77546
 Scope of Work: Construct 480 sqft Detached Patio Cover & concrete slab w/ Stone Columns, accent wall & louvered walls

IMPERVIOUS COVERAGE CALCULATION



Structure(s) (i.e. house, garage, shed, carport)	Existing (Sq. Ft.)	Proposed (Sq. Ft.)	Total (Sq. Ft.)
	5017	0	5017
Paving (i.e. driveway, sidewalk, patio, pool deck)	750	480	1230
Other(s)	0	0	0
Total	5767	480	6247

Overall Lot Size (Sq. Ft.): 18000 Total Impervious Cover (Sq. Ft.): 6247

Impervious Cover Percentage (%) 34.5% ((Total Impervious Cover / Overall Lot size) X 100)

- Impervious coverage includes all features within a property where water cannot infiltrate into the ground.
- Impervious surfaces include, but are not limited to, the footprint of any structure, sidewalks, driveways, patios, pool decks.
- The water surface of in-ground pools/hot tubs and spas is not counted as part of the maximum total impervious coverage.
- Lot sizes shall be provided from the recorded plat, sealed survey or county appraisal district.
- A copy of the survey of the property shall accompany this worksheet. Photographic copies are prohibited.
- Pool and all associated equipment shall be no less than 3 feet from any property line.





Demo hardy
ceiling; install
vaulted T&G
ceiling



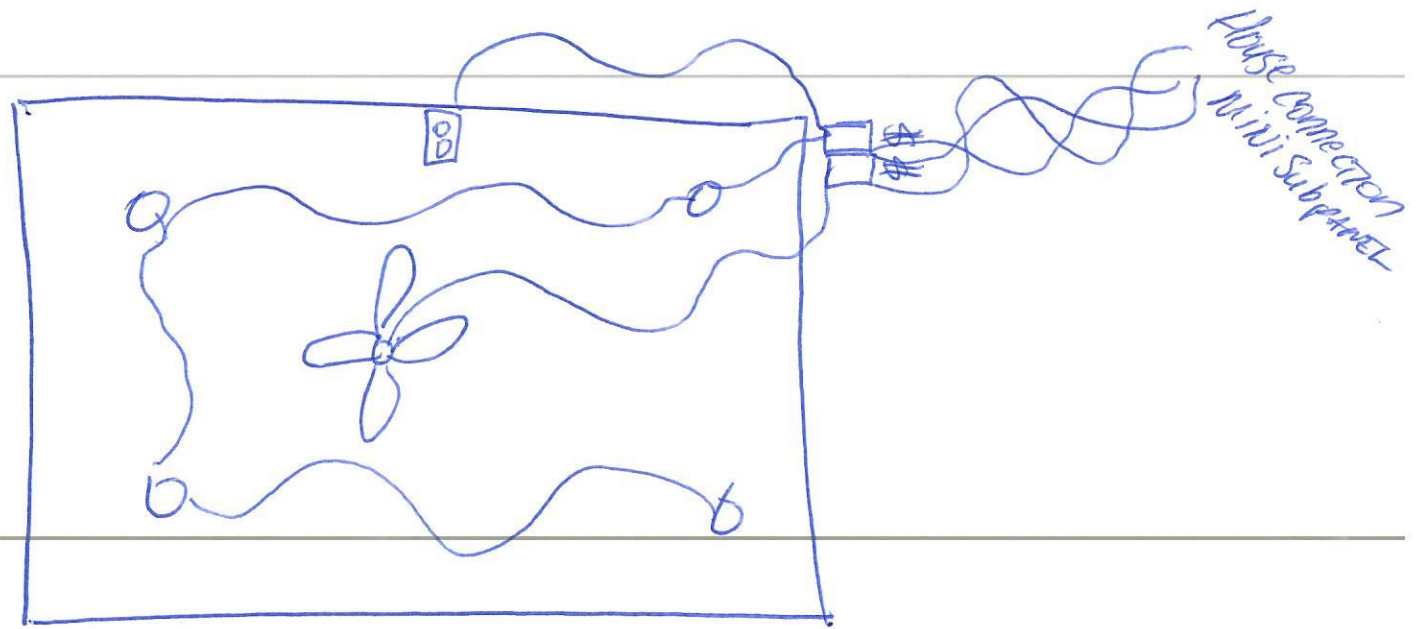
- *Demo 2 columns; install engineer beam
- *All New Kool Decking on existing & new concrete.





ELECTRICAL LAYOUT
904 LONGLEAF CT
FRIENDSWOOD, TX 77546

APPROVED



PROJECT DESIGN CRITERIA

- BUILDING CODE: 2018 IRC
- WIND SPEED: 143 MPH
- RISK CATEGORY: II
- EXPOSURE FACTOR: C
- IMPORTANCE FACTOR: 1.00

FOUNDATION NOTES

1. FOUNDATION NOTES:

- A. SEE FOUNDATION PLAN FOR NET TOTAL LOAD AND NET SUSTAINED LOAD SOIL BEARING CAPACITY, DEPTH OF FOOTINGS, AND GEOTECHNICAL ENGINEER REPORT NUMBER AND AUTHOR.
- B. ALL FOUNDATION EXCAVATION TO BE CARRIED TO UNDISTURBED MATERIAL OR PLACED IN APPROVED ENGINEERED FILL. EXCAVATIONS SHALL BE FREE OF LOOSE MATERIAL AND WATER.
- C. OVER EXCAVATION OF MATERIALS SHALL BE BACK FILLED WITH CONCRETE.
- D. ALL BACK FILL AROUND FOOTINGS, BEHIND WALLS, AND UNDER SLABS SHALL BE COMPACTED TO NO LESS THAN 95% RELATIVE DENSITY. SEE SOILS REPORT FOR SITE PREPARATION SPECIFICATIONS.
- E. BACK FILLING AGAINST FOUNDATION WALLS WILL NOT BE PERMITTED UNTIL THE FOUNDATION HAS REACHED 28 DAY STRENGTH AND ALL SUPPORTING STRUCTURE IS IN PLACE.
- F. STEP FOOTINGS AT A RATIO OF ONE VERTICAL TO TWO HORIZONTAL WITH A MAXIMUM VERTICAL STEP OF 2'-0" (U.N.G.).
- G. WATERPROOFING OF FOUNDATIONS AND RETAINING WALLS SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR, AND IS NOT THE RESPONSIBILITY OF THE ENGINEER.
- H. ANY UNUSUAL SITE CONDITIONS (E.G. LOOSE FILL, SUBSURFACE WATER, ETC.) SHALL BE REPORTED TO THE ENGINEER.
- I. CONCRETE AND REINFORCING FOR DRILLED FOOTINGS SHALL BE PLACED IMMEDIATELY AFTER EXCAVATION.
- J. ALL PIPES THROUGH EXTERIOR GRADE BEAMS SHALL BE SLEEVED. ALL PIPES SHALL BE LOCATED AT MID DEPTH OF GRADE BEAM. SIZE OF SLEEVES SHALL NOT EXCEED 1/2" OVERALL DEPTH OF GRADE BEAM. SPACINGS OF SLEEVES SHALL NOT BE GREATER THAN 3 DIAMETERS ON CENTER EXCEPT WATER SERVICE LINE AND FLOOR DRAIN.

3. REINFORCED CONCRETE

- A. REINFORCED CONCRETE SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE ACI AND ACI STANDARD 318.
- B. ALL CONCRETE USED IN FOUNDATION AND SLAB ON GRADE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF NO LESS THAN 3000 PSI.
- C. THE MAXIMUM SLUMP SHALL NOT EXCEED 6 INCHES.
- D. PROVIDE #3 @ 16" O.C. EACH WAY IN ALL SLABS ON GRADE PLACED 1' U2" DOWN FROM THE TOP OF SLAB, SUPPORTED BY CHAIRS AT 48" O.C. EACH WAY (U.N.G.).
- E. PROVIDE CONTROL JOINTS IN ALL EXPOSED SLABS ON GRADE. THE MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C. (U.N.G.).
- F. FOUR SLAB IN STRIP FORMS, NOT IN CHECKERBOARD PATTERN.
- G. PROVIDE VERTICAL CONTROL JOINTS IN ALL CONCRETE WALLS. THE MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 20'-0" O.C. (U.N.G.). CUT ALTERNATE HORIZONTAL REINFORCING BARS, EACH FACE.
- H. ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED.

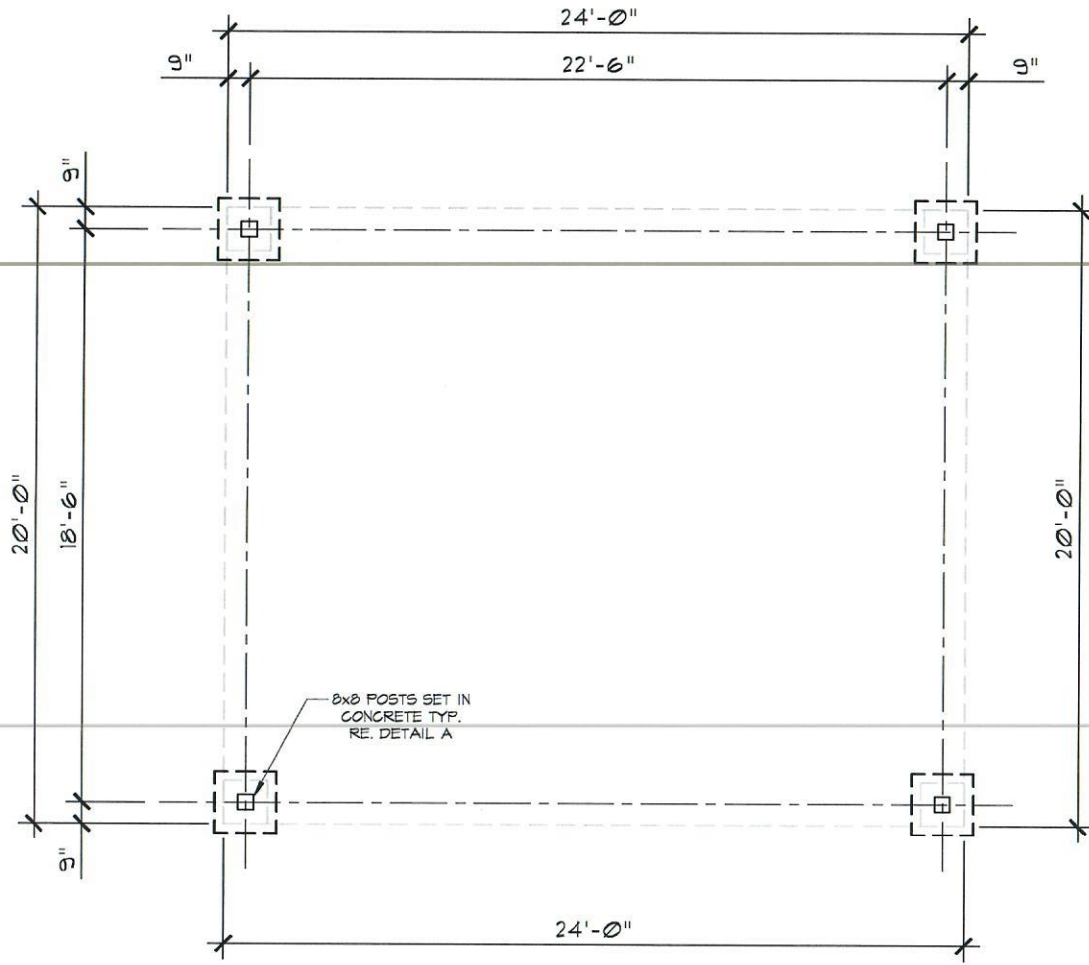
4. REINFORCING STEEL

- A. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 (U.N.G.), EXCEPT #3 OR SMALLER MAY BE ASTM A615 GRADE 40.
- B. ALL REINFORCING STEEL SHALL BE ACCURATELY LOCATED AND ADEQUATELY SECURED IN POSITION BEFORE AND DURING PLACEMENT OF CONCRETE.
- C. ALL DETAILS OF FABRICATION AND INSTALLATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE.
- D. LAP REINFORCING BAR SPLICES 40 BAR DIAMETERS (U.N.G.). SPLICE TOP BARS AT MID SPAN, SPLICE BOTTOM BARS OVER SUPPORTS.
- E. BEND ALL HORIZONTAL BEAM AND WALL BARS 40 BAR DIAMETERS AROUND ALL CORNERS (U.N.G.).
- F. PROVIDE VERTICAL AND HORIZONTAL REINFORCING BARS IN CONCRETE AND MASONRY WALLS TO CONFORM TO THE MINIMUM PROVISIONS OF ACI 318, SECTION 14.8 (U.N.G.).
- G. PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER OVER REINFORCING STEEL: CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO WEATHER 3" CONCRETE EXPOSED TO EARTH OR WEATHER 1 1/2" CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND 3/4"

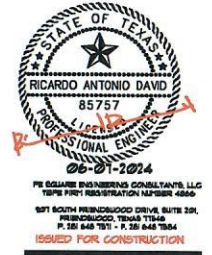
GENERAL NOTE:

A SOILS REPORT IS ALWAYS RECOMMENDED. IN THE EVENT A SOILS REPORT IS NOT AVAILABLE, THE BUILDER AND/OR OWNER ASSUME THE RESPONSIBILITY OF THE FOUNDATION STRUCTURAL PERFORMANCE INCLUDING BUT NOT LIMITED TO DIFFERENTIAL SETTLEMENT, POTENTIAL VERTICAL RISE, EXCESSIVE CRACKS, LONG TERM MOVEMENT, PAD PREPARATION PERFORMANCE AND INCORRECT RISE DEPTH. EVEN WITH A SOILS REPORT IN HAND, THE FINAL PLANS FOR THE PROPOSED STRUCTURE SHALL BE REVIEWED BY A GEOTECHNICAL ENGINEER SO THAT HE MAY DETERMINE IF CHANGES IN THE FOUNDATION ARE REQUIRED. SPECIAL CARE SHALL BE GIVEN TO THE PAD PREPARATION SINCE IT IS A VITAL PART OF THE OVERALL FOUNDATION PERFORMANCE. THE FOUNDATION IN GENERAL WILL ONLY PERFORM AS GOOD AS THE PAD PREPARATION. FURTHERMORE, WE ENCOURAGE THE BUILDER/OWNER TO HAVE COMPACTION TEST DONE FOR EVERY LIFT.

PE SQUARE ENGINEERING CONSULTANTS, LLC, ONLY WARRANTS AND GUARANTEES TO USE THE EXPECTED LEVEL OF CARE AS PRACTICED BY MEMBERS OF OUR PROFESSION. IN ADDITION, BY USING THIS PLAN, THE CLIENT OR BUILDER LIMITS THE TOTAL AGGREGATE LIABILITY TO PE SQUARE ENGINEERING CONSULTANTS, LLC TO NO MORE THAN THE PROPOSAL VALUE.



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



APEX PATIOS & POOLS
A PROJECT @
904 LONGLEAF COURT
FRIENDSWOOD, TEXAS 77546



PE SQUARE ENGINEERING CONSULTANTS, LLC
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FOUNDATION & DETAIL PLAN

51 OF 51

PROJECT DESIGN CRITERIA

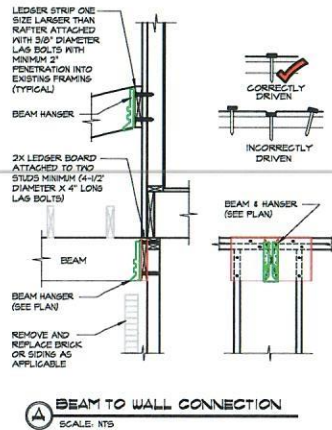
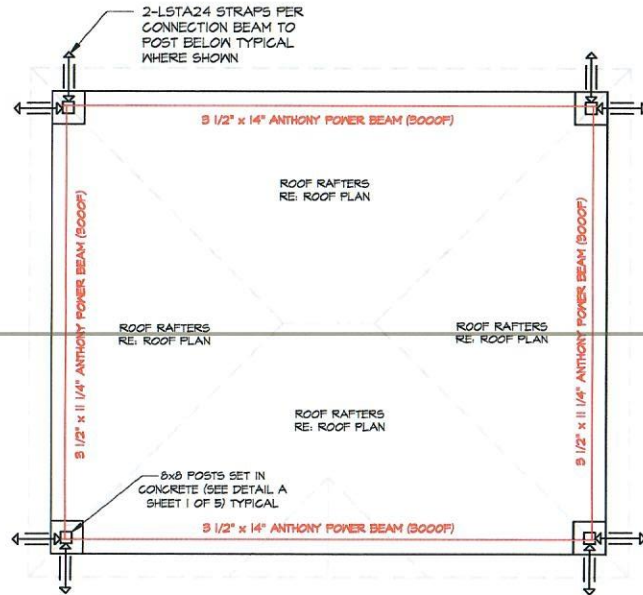
- BUILDING CODE: 2015 IRC
- WIND SPEED: 143 MPH
- RISK CATEGORY: II
- EXPOSURE FACTOR: C
- IMPORTANCE FACTOR: 1.00

FRAMING NOTES

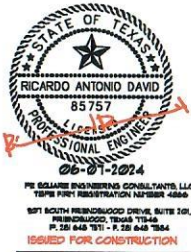
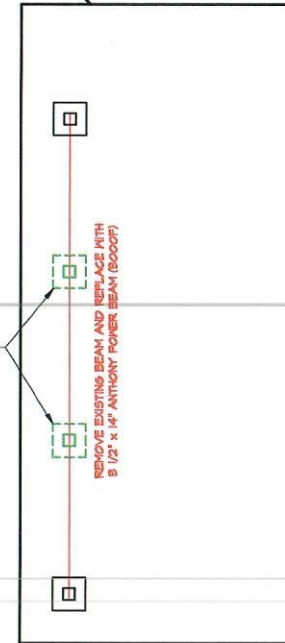
- ALL LUMBER SHALL BE #2 SOUTHERN YELLOW PINE GRADE OR BETTER AND SPACED AT 16" O.C. UNLESS NOTED OTHERWISE.
- DOUBLE STUD FOR OPENINGS LESS THAN 4' WIDE AND TRIPLE STUD FOR OPENINGS 4' WIDE OR LARGER.
- PROVIDE A CONTINUOUS TRACK ACROSS BUILDING WITH STRONG BACKS ON ALL JOIST SPANS OVER 7'-4" AND TWO STRONG BACKS ON ALL JOIST SPANS OVER 11'-0". STRONGBACKS SHALL BE ONE 2x6 VERTICAL AND ONE 2x4 FLAT RUN PERPENDICULAR TO JOISTS AND NAIL TO EACH JOIST.
- PROVIDE DOUBLED JOISTS UNDER PARTITIONS ABOVE WHICH ARE PARALLEL WITH JOIST AND BLOCK IF PARTITION ABOVE IS A PLUMBING WALL.
- PROVIDE SOLID BLOCKING @ 12" O.C. BETWEEN JOISTS UNDER PARTITIONS ABOVE WHICH ARE PERPENDICULAR TO JOIST SPAN. BLOCKINGS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND SHALL MATCH DEPTH OF JOISTS.
- THE NUMBER OF WALL STUDS @ BEARING POINTS OF 2x MEMBER BEAMS SHALL EXCEED THE NUMBER OF MEMBERS IN THE BEAM BY ONE. THE CENTERLINE OF THE BEAM SHALL BE THE CENTERLINE OF THE SUPPORTING WALL STUDS.
- TRUSSES SHALL BE DESIGNED FOR BEARING WALL LOADS WHERE REQUIRED.
- ALL CHIMNEYS SHALL BE 2x4 CONSTRUCTION WITH MIN. 1/4" MOOD STRUCTURAL PANEL SHEATHING (N.O.).
- HEADER SCHEDULE ALLOWABLE SPANS FOR #2 SYP. HEADERS OVER OPENINGS IN EXTERIOR WALLS ARE AS FOLLOWS:

WIDTH OF ROOF STRUCTURE	HEADER SIZE	MAXIMUM SPAN
UP TO 26'-0"	2-2x6	6'-0"
	2-2x10	7'-6"
	2-2x12	9'-0"
26'-0" to 32'-0"	2-2x6	4'-0"
	2-2x10	5'-4"
	2-2x12	6'-10"

- THESE HEADERS AND SPANS ARE ASSUMING UNIFORMLY DISTRIBUTED LOAD REQUIREMENT TO 1/2 THE WIDTH MULTIPLIED BY THE APPLICABLE LOAD. IF CONCENTRATED LOADS FROM THE BEAMS OR OPENINGS ABOVE ARE APPLIED TO THESE HEADERS, SPECIAL ANALYSIS WILL BE REQUIRED.
- SYSTEM SHEATHING, WEATHERPROOFING FACES, WATER RESISTANT GYP. JOINT COVER BY ROOF FELT IN ROOF GEMENT OR COVER BY 1/8" FELT OR 4 MIL BLACK POLYETHYLENE.
 - ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE TREATED LUMBER.
 - PROVIDE BRACK TIES OF 22 GAUGE, 1/8" STAINLESS STEEL - 9" INTO MASONRY @ 24" HORIZONTALLY & 16" VERTICALLY (ALL NAILS TO BE STAINLESS STEEL).
 - PROVIDE MASONRY KEEP HOLES 3/2" O.C. AT BASE OR LEDGE.
 - PLYWOOD FLOOR SHEATHING SHALL BE STANDARD C-D INTERIOR GRADE WITH EXTERIOR SUE (SEE TONGUE & GROOVE PLYWOOD IF CALLED FOR ON WALL SECTIONS). ALL PLYWOOD SHALL BEAR AN APPROVED STAMP. NAIL WITH 8D COMMON NAILS 6" O.C. AT EDGES & 12" O.C. IN THE FIELD (MINIMUM 3/4" THICK).
 - FOR 3 STORY CONSTRUCTION, ALL BEARING WALLS SUPPORTING 2 FLOORS, ROOF & CEILING SHALL BE 2-2x4 STUDS AT 16" O.C. OR 2x6 STUDS AT 16" O.C.



CEILING FRAMING PLAN
SCALE: 3/16"=1'-0"



PE SQUARE ENGINEERS & CONSULTANTS, LLC
 904 LONGLEAF COURT
 FRIENDSWOOD, TEXAS 77546
 P. 281.448.1911 F. 281.448.1954

PE SQUARE
 ENGINEERING & CONSULTANTS, LLC

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FRAMING PLAN

S2 OF 5

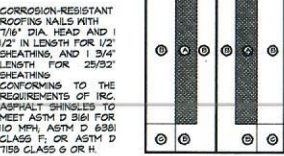
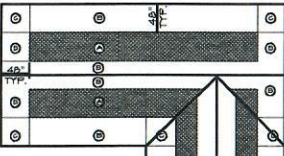
PROJECT DESIGN CRITERIA

- BUILDING CODE: 2018 IRC
- WIND SPEED: 143 MPH
- RISK CATEGORY: II
- EXPOSURE FACTOR: C
- IMPORTANCE FACTOR: 1.00

ROOF FRAMING NOTES:

- USE 2x6 RAFTERS AT 16" O.C. #2 SYP. (2'-0" MAX. SPAN) OR 2x6 RAFTERS AT 16" O.C. #3 SYP. (1'-4")
- ALL ROOF BOARDS, RAFTERS AND VALLEY RAFTERS TO BE ONE SIZE LARGER THAN MEMBER SUPPORTED.
- DESIGNS BASED ON 20 P.S.F. LIVE LOAD / 10 P.S.F. DEAD LOAD / 800' SPANS MULTIPLIED BY 0.8 FOR EXPOSURE C, FOOTNOTE 2, 2008 EDITION WIND MAP 200.
- USE 2x6 @ 12" O.C. #2 SYP. AT ALL CORNER LOCATIONS.
- RAFTERS & CEILING JOISTS SHALL BE TIED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL OR BUILDING CODE (MOST STRINGENT).
- CEILING JOISTS AND RAFTERS SHALL BE NAILED TO EACH OTHER WHERE POSSIBLE AND THE ASSEMBLY SHALL BE NAILED TO THE TOP PLATE IN AN APPROPRIATE MANNER TO SECURE THE ROOF FRAMING TO THE WALLS.
- WHERE CEILING JOISTS ARE NOT PARALLEL TO RAFTERS, SUB FLOORS OR METAL STRAPS ATTACHED TO THE ENDS OF THE RAFTERS SHALL BE INSTALLED IN A MANNER TO PROVIDE A CONTINUOUS TIE ACROSS THE BUILDING.
- PROVIDE CHAIN BRACKETS TO LOAD BEARING WALLS OR BEAMS TO SUPPORT RAFTERS AS SHOWN ON ROOF PLAN.
- PROVIDE CHAIN BRACKETS @ 10' ON FROM RIDGE @ MAXIMUM SPACING OF 40' O.C.
- IN EACH SECTION TO INSTALLATION, VERIFY WITH THE EVALUATION REPORT FOR TESTED ASSEMBLY MIN. SHEATHING REQUIREMENTS. OPTIONS INCLUDE BUT ARE NOT LIMITED TO:
 - MINIMUM THICKNESS SHALL BE 1/2" THICK CDX PLYWOOD.
 - #18 ORIENTED STRAND BOARD (OSB) MAY BE USED IN LIEU OF PLYWOOD.
 - MINIMUM NAILING SHALL BE AS REQUIRED BY THE BUILDING CODE OR PER MANUFACTURER.
 - PLYWOOD CLIPS SHALL BE INSTALLED @ ROOF DECKING TO RESULT IN A 1/8" GAP BETWEEN ALL PANEL EDGES. PROVIDE 1 CLIP PER SPAN (RAFTER SPACING). CLIPS SHALL BE SIMPSON PCLG, OR APPROVED EQUAL, TO MATCH CORRESPONDING PLYWOOD THICKNESS. SHEATHING FASTENING.

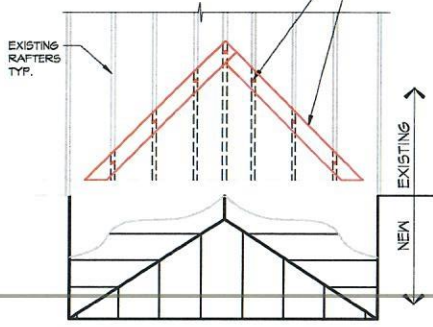
- 16" O.C. ALONG PANEL EDGES AND 12" O.C. ALONG INTERMEDIATE FRAMING. 8d x 2 1/2" (D.31) COMMON NAILS.
- 4" O.C. ALONG PANEL EDGES AND 4" O.C. ALONG INTERMEDIATE FRAMING. 8d x 2 1/2" (D.31) COMMON NAILS.
- 4" O.C. ALONG PANEL EDGES AND 4" O.C. ALONG INTERMEDIATE FRAMING. 8d x 2 1/2" (D.31) COMMON NAILS.



NOTE: FOR ROOF PITCHES LESS THAN 4/12, A DOUBLE LAYER OF UNDERLAYMENT WITH A MINIMUM 1\"/>

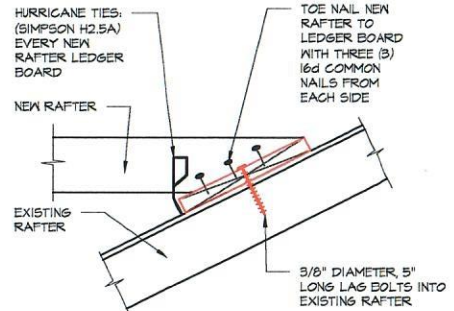
NOTE: ASPHALT SHINGLES MUST CONFORM TO AT LEAST ONE (1) OF THE FOLLOWING CLASSIFICATIONS: ASTM D 3161 (CLASS F), ASTM D 6901/UL 2340 OR ASTM D 1188 (CLASS G OR CLASS H).

LEDGER TO BE ONE SIZE LARGER THAN RAFTERS AND ATTACHED WITH 3/8\"/>



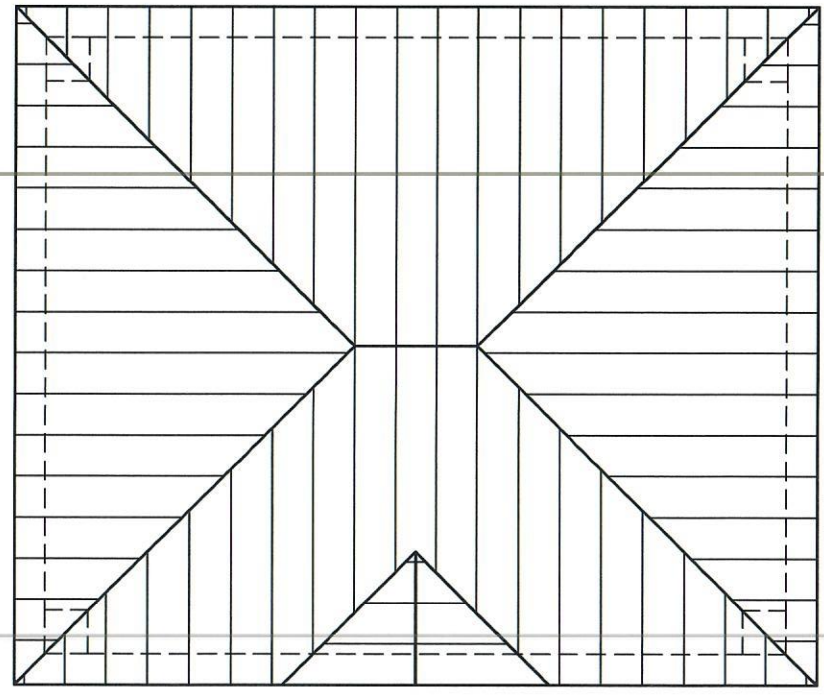
LEDGER BOARD DETAIL

SCALE: NTS



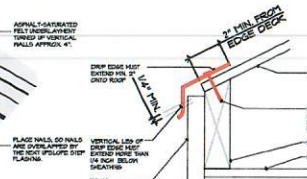
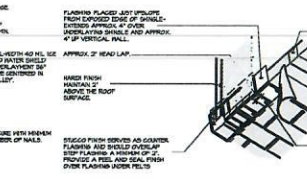
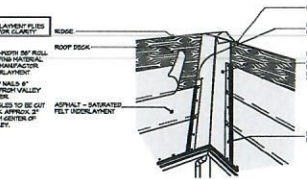
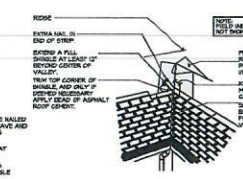
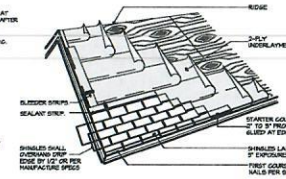
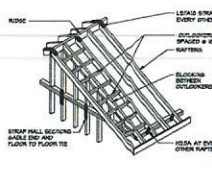
LEDGER BOARD DETAIL

SCALE: NTS



ROOF FRAMING PLAN

SCALE: 1/4" = 1' - 0"



A SUGGESTED ROOF FRAMING
NOT TO SCALE

B HIP RIDGE UNDERLAYMENT
NOT TO SCALE

C CLOSED CUT VALLEY
NOT TO SCALE

D TILT UNDERLAYMENT VALLEY
NOT TO SCALE

E METAL STEP FLASHING

F CODE REQUIREMENT FOR DRIP EDGE

PKS ENGINEERING CONSULTANTS, LLC



PKS ENGINEERING CONSULTANTS, LLC
TYPE VIII REGISTRATION NUMBER 4046
107 SOUTH HENRIKWOOD DRIVE, SUITE 201,
FRIEDSWOOD, TEXAS 77544
P. 281.648.7911 - F. 281.648.7664
ISSUED FOR CONSTRUCTION

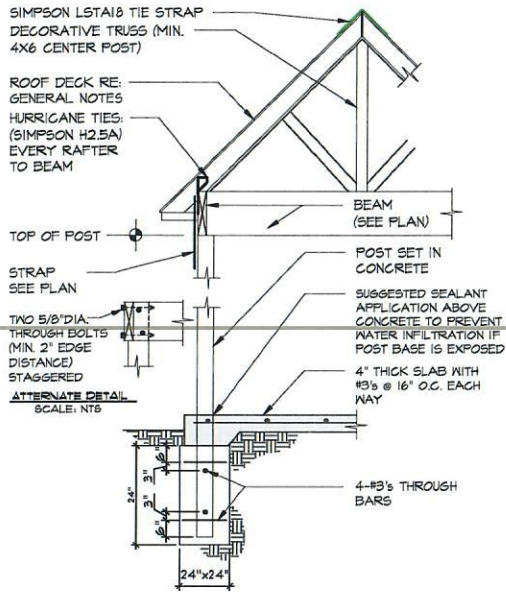
APEX PATIOS & POOLS
A PROJECT @
904 LONGLEAF COURT
FRIENDSWOOD, TEXAS 77546



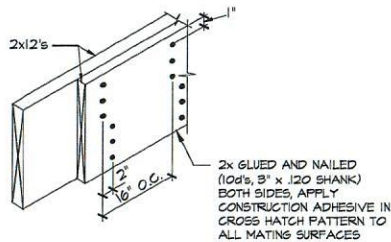
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ROOF FRAMING PLAN

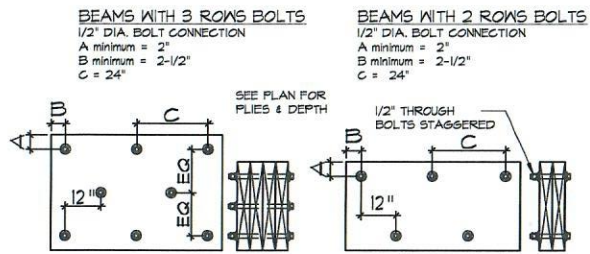
S3 OF 5



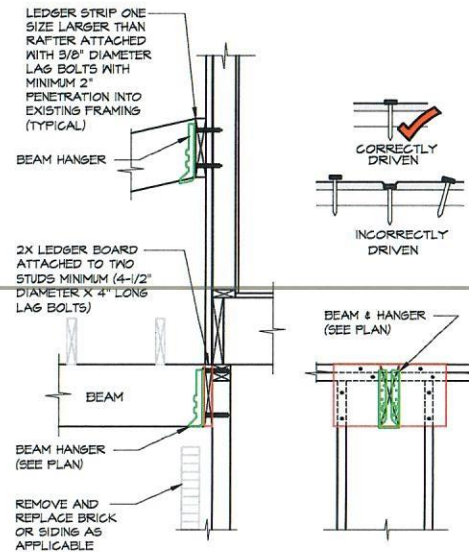
1 FOUNDATION DETAIL
SCALE: NTS



2.1 2x BUILT-UP BEAM
SCALE: NTS



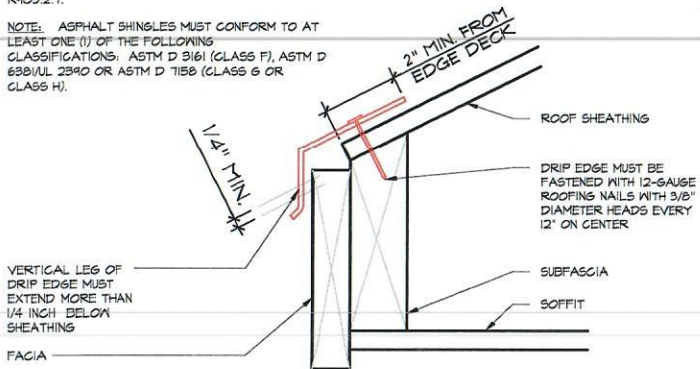
2 LVL BOLT PATTERN
SCALE: NTS



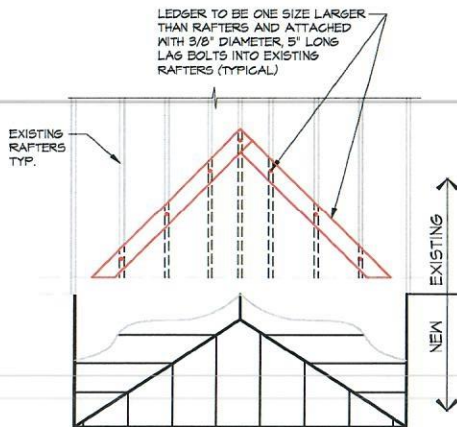
3 BEAM TO WALL CONNECTION
SCALE: NTS

NOTE: FOR ROOF PITCHES LESS THAN 4/12, A DOUBLE LAYER OF UNDERLAYMENT WITH A MINIMUM 1" OVERLAP IS REQUIRED PER IRC SECTION R409.2.1.

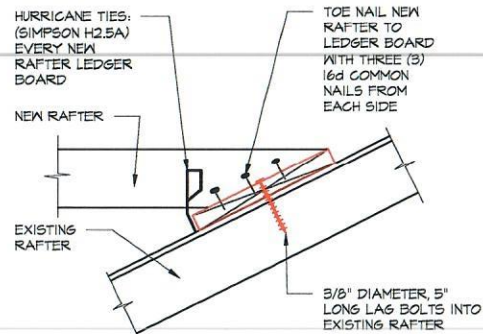
NOTE: ASPHALT SHINGLES MUST CONFORM TO AT LEAST ONE (1) OF THE FOLLOWING CLASSIFICATIONS: ASTM D 3161 (CLASS F), ASTM D 6391/UL 2390 OR ASTM D 7198 (CLASS 6 OR CLASS H).



4 CODE REQUIREMENT FOR DRIP EDGE
SCALE: NTS



5 LEDGER BOARD DETAIL
SCALE: NTS



6 LEDGER BOARD DETAIL
SCALE: NTS



APEX PATIOS & POOLS
A PROJECT @
904 LONGLEAF COURT
FRIENDSWOOD, TEXAS 77546

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FRAMING DETAILS

84 OF 85





4F
48
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3F11
3F10
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Friendswood, Texas

910 S Friendswood Drive
Friendswood, TX 77546



Final Report - Corrections Required
Application No. RES2024-2845
Address : LONGLEAF 77546

Submission Documents:

Document Name	Document ID
Updated Engineering.pdf	61561

Reviewer Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone No.:
Brian Rouane	brouane@friendswood.com	1
Mark Vail	mvail@friendswood.com	1

General Comments

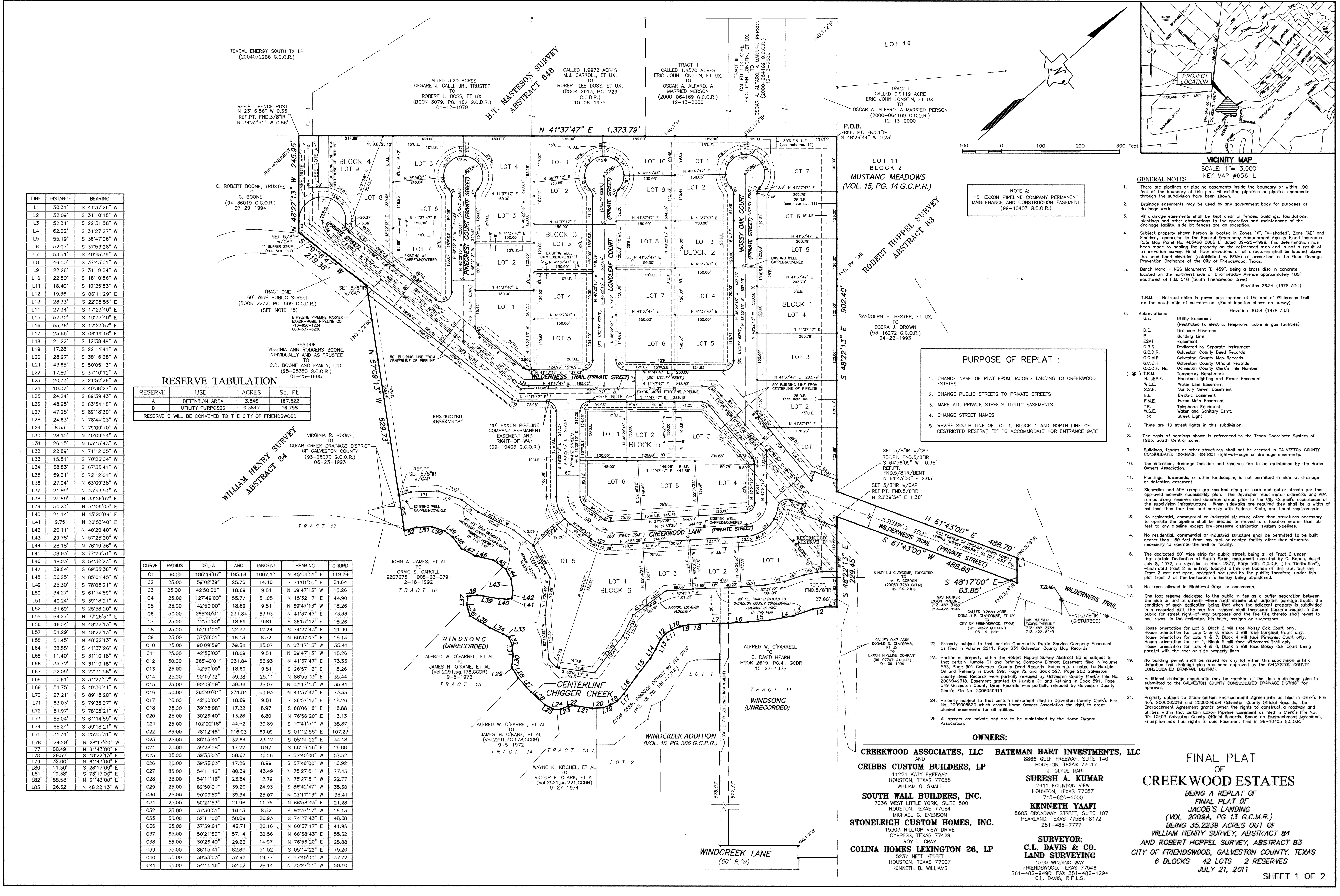
Comment ID	Reviewer : Department	Status	Review Comments	Applicant Response Comments
4	Mark Vail : Building	Open	Windstorm letter due prior to Cover Inspection	
5	Mark Vail : Building	Open	No Electrical or Plumbing in Utility Easements.	

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Annotation Type	Reviewer : Department	Status	Review Comments	Applicant Response Comments
6	4.02	Free Text	Brian Rouane : Building	Open	Does not meet setbacks from structure	

Notes:

- * Comments by each department should be addressed. Refer to the marked up plans and the written comments to ensure that all issues are addressed. In addition to the revised plans, a memo with written responses is recommended.
- * Once all comments have been addressed, return the pages that required change and any additional documents to the City of Friendswood Community Development Department
- * The review period for resubmitted plans is 7 to 10 business days. The applicant will be notified at the end of that period whether the plans are approved or if further explanation is needed.



LINE	DISTANCE	BEARING
L1	30.31'	S 41°37'26" W
L2	32.09'	S 31°10'18" W
L3	52.31'	S 22°31'58" W
L4	62.02'	S 31°27'27" W
L5	55.19'	S 36°47'06" W
L6	52.07'	S 37°53'28" W
L7	53.51'	S 40°45'39" W
L8	46.50'	S 37°45'01" W
L9	22.28'	S 31°19'04" W
L10	22.50'	S 18°10'56" W
L11	18.40'	S 10°25'53" W
L12	19.36'	S 08°11'29" E
L13	28.33'	S 22°05'55" E
L14	27.34'	S 17°23'40" E
L15	57.32'	S 10°37'49" E
L16	55.36'	S 12°23'57" E
L17	25.66'	S 06°19'16" E
L18	21.22'	S 12°38'48" W
L19	17.28'	S 22°14'41" W
L20	28.97'	S 38°16'28" W
L21	43.65'	S 50°05'13" W
L22	17.89'	S 37°10'12" W
L23	20.33'	S 21°52'29" W
L24	19.07'	S 40°38'27" W
L25	24.24'	S 69°39'43" W
L26	48.95'	S 83°54'18" W
L27	47.25'	S 89°18'20" W
L28	24.63'	S 78°44'03" W
L29	8.53'	N 79°09'10" W
L30	28.15'	N 40°09'54" W
L31	26.15'	N 53°15'43" W
L32	22.89'	N 71°12'05" W
L33	15.81'	S 70°26'04" W
L34	38.83'	S 67°35'41" W
L35	59.21'	S 72°12'01" W
L36	27.94'	N 63°09'38" W
L37	21.89'	N 43°43'54" W
L38	24.89'	N 33°26'02" E
L39	55.23'	N 51°09'05" E
L40	24.14'	N 45°20'09" E
L41	9.75'	N 26°53'40" E
L42	20.11'	N 40°20'40" E
L43	29.78'	N 57°25'20" W
L44	28.18'	N 76°19'36" W
L45	38.93'	S 77°26'31" W
L46	48.03'	S 54°32'23" W
L47	39.84'	S 69°35'38" W
L48	36.25'	N 85°01'45" W
L49	25.30'	S 78°05'21" W
L50	34.27'	S 61°14'59" W
L51	40.24'	S 39°18'21" W
L52	31.69'	S 25°58'20" W
L53	64.27'	N 77°26'31" E
L54	46.04'	N 48°22'13" W
L55	51.29'	N 48°22'13" W
L56	51.45'	N 48°22'13" W
L57	38.55'	S 41°37'26" W
L58	11.40'	S 31°10'18" W
L59	35.72'	S 31°10'18" W
L60	52.09'	S 22°31'58" W
L61	50.81'	S 31°27'27" W
L62	51.75'	S 40°37'41" W
L63	27.21'	S 89°18'20" W
L64	72.11'	S 79°35'27" W
L65	51.97'	S 78°05'21" W
L66	65.04'	S 61°14'59" W
L67	68.24'	S 39°18'21" W
L68	31.31'	S 25°58'20" W
L69	24.28'	N 28°17'00" W
L70	60.49'	N 61°43'00" E
L71	29.52'	S 48°22'13" E
L72	32.00'	N 61°43'00" E
L73	11.30'	S 28°17'00" E
L74	19.38'	S 73°17'00" E
L75	88.58'	N 61°43'00" E
L76	26.62'	N 48°22'13" W

RESERVE TABULATION

RESERVE	USE	ACRES	Sq. Ft.
A	DETENTION AREA	3.846	167,522
B	UTILITY PURPOSES	0.3847	16,758

RESERVE B WILL BE CONVEYED TO THE CITY OF FRIENDSWOOD

CURVE	RADIUS	DELTA	ARC	TANGENT	BEARING	CHORD
C1	60.00	186°49'07"	195.64	1007.13	N 45°04'51" E	119.79
C2	25.00	59°02'39"	25.76	14.16	S 71°01'55" E	24.64
C3	25.00	42°50'00"	18.69	9.81	N 69°47'13" W	18.26
C4	25.00	127°49'00"	55.77	51.05	N 15°32'17" E	44.90
C5	25.00	42°50'00"	18.69	9.81	N 69°47'13" W	18.26
C6	50.00	265°40'01"	231.84	53.93	N 41°37'47" E	73.33
C7	25.00	42°50'00"	18.69	9.81	S 26°57'12" E	18.26
C8	25.00	52°11'00"	22.77	12.24	S 74°27'43" E	21.98
C9	25.00	37°39'01"	16.43	8.52	N 60°37'17" E	16.13
C10	25.00	90°09'59"	39.34	25.07	N 03°17'13" W	35.41
C11	25.00	42°50'00"	18.69	9.81	N 69°47'13" W	18.26
C12	50.00	265°40'01"	231.84	53.93	N 41°37'47" E	73.33
C13	25.00	42°50'00"	18.69	9.81	S 26°57'12" E	18.26
C14	25.00	90°15'32"	39.38	25.11	N 86°55'33" E	35.44
C15	25.00	90°09'59"	39.34	25.07	N 03°17'13" W	35.41
C16	50.00	265°40'01"	231.84	53.93	N 41°37'47" E	73.33
C17	25.00	42°50'00"	18.69	9.81	S 26°57'12" E	18.26
C18	25.00	39°28'08"	17.22	8.97	S 68°06'16" E	16.88
C19	25.00	30°26'40"	13.28	6.80	N 76°56'20" E	13.13
C20	25.00	102°02'18"	44.52	30.89	S 10°41'51" W	38.87
C21	25.00	78°12'46"	116.03	69.09	S 01°12'55" E	107.23
C22	25.00	86°15'41"	37.64	23.42	S 05°14'22" E	34.18
C23	25.00	39°28'08"	17.22	8.97	S 68°06'16" E	16.88
C24	25.00	39°33'03"	17.26	8.99	S 57°40'00" W	16.92
C25	25.00	39°33'03"	17.26	8.99	S 57°40'00" W	16.92
C26	25.00	54°11'16"	80.39	43.49	N 75°27'51" W	77.43
C27	25.00	54°11'16"	23.64	12.79	N 75°27'51" W	22.77
C28	25.00	89°50'01"	39.20	24.93	S 86°42'47" W	35.30
C29	25.00	90°09'59"	39.34	25.07	N 03°17'13" W	35.41
C30	25.00	50°21'53"	21.98	11.75	N 66°58'43" E	21.28
C31	25.00	37°39'01"	16.43	8.52	S 60°37'17" W	16.13
C32	25.00	52°11'00"	22.77	12.24	S 74°27'43" E	21.98
C33	25.00	37°39'01"	16.43	8.52	S 60°37'17" W	16.13
C34	25.00	90°09'59"	39.34	25.07	N 03°17'13" W	35.41
C35	25.00	37°39'01"	16.43	8.52	S 60°37'17" W	16.13
C36	25.00	50°21'53"	21.98	11.75	N 66°58'43" E	21.28
C37	25.00	30°26'40"	13.28	6.80	N 76°56'20" E	13.13
C38	25.00	86°15'41"	37.64	23.42	S 05°14'22" E	34.18
C39	25.00	39°33'03"	17.22	8.97	S 68°06'16" E	16.88
C40	25.00	54°11'16"	80.39	43.49	N 75°27'51" W	77.43

PURPOSE OF REPLAT :

- CHANGE NAME OF PLAT FROM JACOB'S LANDING TO CREEKWOOD ESTATES.
- CHANGE PUBLIC STREETS TO PRIVATE STREETS
- MAKE ALL PRIVATE STREETS UTILITY EASEMENTS
- CHANGE STREET NAMES
- REVISE SOUTH LINE OF LOT 1, BLOCK 1 AND NORTH LINE OF RESTRICTED RESERVE "B" TO ACCOMMODATE FOR ENTRANCE GATE

GENERAL NOTES:

- There are pipelines or pipeline easements inside the boundary or within 100 feet of the boundary of this plat. All existing pipelines or pipeline easements through the subdivision have been shown.
- Drainage easements may be used by any government body for purposes of drainage work.
- All drainage easements shall be kept clear of fences, buildings, foundations, plantings and other obstructions to the operation and maintenance of the drainage facility, side lot fences are an exception.
- Subject property shown herein is located in Zones "X", "Y", "Z", "AA", "AB" and "AC", according to the Federal Emergency Management Agency Flood Insurance Rate Map Panel No. 485468 0005 E, dated 09-22-1999. This determination has been made by scaling the property on the referenced map and is not a result of an elevation survey. Finish floor elevations of all structures shall be located above the base flood elevation (established by FEMA) as prescribed in the Flood Damage Prevention Ordinance of the City of Friendswood, Texas.
- Block Mark - NGS Monument "E-459", being a brass disc in concrete located on the northwest side of Briarwood Avenue approximately 185' southwest of F.M. 518 (South Friendswood Drive) Elevation 26.34 (1978 ADJ.)
- Block Mark - Railroad spike in power pole located at the end of Wilderness Trail on the south side of cul-de-sac. (Exact location shown on survey) Elevation 30.54 (1978 ADJ.)

ABBREVIATIONS:

U.E. Utility Easement (Restricted to electric, telephone, cable & gas facilities)

D.E. Drainage Easement

B.L. Building Line

ESMT Easement

D.B.S.I. Dedicated by Separate Instrument Galveston County Deed Records

G.C.D.R. Galveston County Deed Records

G.C.M.R. Galveston County Map Records

G.C.O.R. Galveston County Official Records

G.C.C.F. No. Galveston County Clerk's File Number

T.B.M. Temporary Benchmarks

H.L.&P.E. Houston Lighting and Power Easement

W.L.E. Water Line Easement

S.S.E. Sanitary Sewer Easement

E.E. Electric Easement

F.M.E. Force Main Easement

T.E. Telephone Easement

W.S.E. Water and Sanitary Easmt. Street Light

*

- The basis of bearings shown is referenced to the Texas Coordinate System of 1983, South Central Zone.
- Buildings, fences or other structures shall not be erected in GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT right-of-way or drainage easements.
- The detention, drainage facilities and reserves are to be maintained by the Home Owners Association.
- Plantings, flowerbeds, or other landscaping is not permitted in side lot drainage or detention easement.
- Sidewalks and ADA ramps are required along all curb and gutter streets per the approved sidewalk accessibility plan. The Developer must install sidewalks and ADA ramps along reserves and common areas to the satisfaction of the City Council's acceptance of the subdivision infrastructure. When sidewalks are required they shall be a width of not less than four feet and comply with Federal, State, and Local requirements.
- No residential, commercial or industrial structure other than structures necessary to operate the pipeline shall be erected or moved to a location nearer than 50 feet to any pipeline except low-pressure distribution system pipelines.
- No residential, commercial or industrial structure shall be permitted to be built nearer than 150 feet from any well or related facility other than structure necessary to operate the well or facility.
- The dedicated 60' wide strip for public street, being all of Tract 2 under the condition of Public Street Dedication executed by C. Boone, dated July 8, 1972, as recorded in Book 2277, Page 509, G.C.D.R. (the "Dedication"), which said Tract 2 is entirely located within the bounds of this plat, but the Tract 2 was not open, accepted or used by the public; therefore, under the plat Tract 2 of the Dedication is hereby being abandoned.
- No trees allowed in Rights-of-Ways or easements.
- One foot reserve dedicated to the public in fee as an buffer separation between the side or end of streets where such streets abut adjacent acreage tracts, the condition of such dedication being that when the adjacent property is subdivided in a recorded plat, the one foot reserve shall thereupon become vested in the public for street right-of-way purposes and the fee title thereto shall revert to and remain in the donor, his heirs, assigns or successors.
- House orientation for Lot 5, Block 2 will face Mosley Oak Court only. House orientation for Lots 5 & 6, Block 3 will face Longleaf Court only. House orientation for Lots 1, 7, Block 4 will face Pinercrest Court only. House orientation for Lot 1, Block 5 will face Wilderness Trail only. House orientation for Lots 4 & 6, Block 5 will face Mosley Oak Court being parallel with the rear or side property lines.
- No building permit shall be issued for any lot within this subdivision until a detention and drainage plan has been approved by the GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT.
- Additional drainage easements may be required at the time a drainage plan is submitted to the GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT for approval.
- Property subject to those certain Encroachment Agreements as filed in Clerk's File No's 2008065018 and 2008064554 Galveston County Official Records. The Encroachment Agreement grants the owner the rights to construct a roadway and utilities within that certain Exxon Pipeline Easement as filed in Clerk's File No. 99-10403 Galveston County Official Records. Based on Encroachment Agreement, Enterprise now has rights to said Easement filed in 99-10403 G.C.D.R.

OWNERS:

CREEKWOOD ASSOCIATES, LLC
AND
CRIBBS CUSTOM BUILDERS, LP
11221 KATY FREWAY
HOUSTON, TEXAS 77055
WILLIAM G. SMALL

SOUTH WALL BUILDERS, INC.
17036 WEST LITTLE YORK, SUITE 500
HOUSTON, TEXAS 77084
MICHAEL G. EVENSON

STONELEIGH CUSTOM HOMES, INC.
15303 HILLTOP VIEW DRIVE
CYPRESS, TEXAS 77429
ROY L. GRAY

COLINA HOMES LEXINGTON 26, LP
5237 NETT STREET
HOUSTON, TEXAS 77007
KENNETH B. WILLIAMS

BATEMAN HART INVESTMENTS, LLC
8866 GULF FREEWAY, SUITE 140
HOUSTON, TEXAS 77017
J. CLYDE HART

SURESH K. KUMAR
2411 FOUNTAIN VIEW
HOUSTON, TEXAS 77057
713-620-4000

KENNETH YAIFI
8603 BROADWAY STREET, SUITE 107
PEARLAND, TEXAS 77584-8172
281-485-7777

SURVEYOR:
C.L. DAVIS & CO. LAND SURVEYING
1500 WINDING WAY
FRIENDSWOOD, TEXAS 77546
281-482-9490; FAX 281-482-1294
C.L. DAVIS, R.P.L.S.

FINAL PLAT OF CREEKWOOD ESTATES
BEING A REPLAT OF FINAL PLAT OF JACOB'S LANDING (VOL. 2009A, PG. 13 G.C.M.R.) BEING 35,223.9 ACRES OUT OF WILLIAM HENRY SURVEY, ABSTRACT 84 AND ROBERT HOPPEL SURVEY, ABSTRACT 83 CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS
6 BLOCKS 42 LOTS 2 RESERVES
JULY 21, 2011
SHEET 1 OF 2

STATE OF TEXAS
COUNTY OF GALVESTON

WE, CREEKWOOD ASSOCIATES, LLC ACTING BY AND THROUGH WILLIAM G. SMALL, MANAGER OF CREEKWOOD ASSOCIATES L.L.C., BEING OWNERS OF LOTS 1, 2 AND 7, BLOCK 1, LOTS 1, 2, 3, 6, 9 AND 10, BLOCK 2, LOTS 1-5, BLOCK 3, LOTS 2, 5, 6, 7, 8 AND 9, BLOCK 4, LOTS 1-6, BLOCK 5, LOTS 2-5, BLOCK 6 AND ALL OF RESERVES "A" AND "B" OF FINAL PLAT OF JACOBS LANDING, CRIBBS CUSTOM BUILDERS, LP ACTING BY AND THROUGH WILLIAM G. SMALL, VICE PRESIDENT OF ITS GENERAL PARTNER SABLE DEVELOPMENT INC. BEING OWNERS OF LOT 7 AND 8, BLOCK 2 OF FINAL PLAT OF JACOBS LANDING; SOUTH WALL BUILDERS, INC., A TEXAS CORPORATION DOING BUSINESS AS COLINA HOMES ACTING BY AND THROUGH MICHAEL G. EVENSON, PRESIDENT SOUTH WALL BUILDERS, INC. BEING OWNERS OF LOT 3 AND 5, BLOCK 1 FINAL PLAT OF JACOBS LANDING; STONELEIGH CUSTOM HOMES, INC. ACTING BY AND THROUGH ROY L. GRAY, PRESIDENT STONELEIGH CUSTOM HOMES, INC. OWNERS OF LOT 4, BLOCK 1 AND LOT 5, BLOCK 2 OF FINAL PLAT OF JACOBS LANDING; LEXINGTON 26, L.P., A TEXAS LIMITED PARTNERSHIP DOING BUSINESS AS COLINA HOMES ACTING BY AND THROUGH KENNETH B. WILLIAMS, MANAGER OWNERS OF LOT 6, BLOCK 1 AND LOT 4, BLOCK 2 FINAL PLAT OF JACOBS LANDING; BATEMAN HART INVESTMENTS, LLC ACTING BY AND THROUGH J. CLYDE HART, MANAGER BATEMAN HART INVESTMENTS OWNERS OF LOTS 3 AND 4, BLOCK 4 FINAL PLAT OF JACOBS LANDING; SURESH A. KUMAR OWNER OF LOT 1, BLOCK 4 FINAL PLAT OF JACOBS LANDING; KENNETH YAIFI OWNER OF LOT 1, BLOCK 6 FINAL PLAT OF JACOBS LANDING; BEING THE OWNERS OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF CREEKWOOD ESTATES, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREIN SHOWN AND DESIGNATE SAID SUBDIVISION AS CREEKWOOD ESTATES, BEING 35.2239 ACRES OUT OF WILLIAM HENRY SURVEY, ABSTRACT No. 84 AND R. HOPPEL SURVEY, ABSTRACT No. 83, FRIENDSWOOD, GALVESTON COUNTY, TEXAS AND DEDICATE TO PUBLIC USE, AS SUCH THE STREETS, ALLEYS, PARKS AND EASEMENTS SHOWN THEREON FOREVER AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS, AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS DO HEREBY COVENANT AND AGREE THAT THOSE STREETS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT SPECIFICALLY NOTED AS PRIVATE STREETS OR PERMANENT ACCESS EASEMENTS, SHALL BE HEREBY ESTABLISHED AND MAINTAINED AS PRIVATE STREETS OR PERMANENT ACCESS EASEMENTS BY THE OWNERS, HEIRS, SUCCESSORS, ASSIGNS AND HOME OWNERS ASSOCIATION TO PROPERTY LOCATED WITHIN THE BOUNDARIES OF THIS PLAT AND ALWAYS AVAILABLE FOR THE GENERAL USE OF SAID OWNERS AND TO THE PUBLIC FOR FIREFIGHTERS, FIRE FIGHTING EQUIPMENT, POLICE AND EMERGENCY VEHICLES OF WHATEVER NATURE AT ALL TIMES AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ESTABLISHED AS PRIVATE STREETS OR PERMANENT ACCESS EASEMENTS.

CREEKWOOD ASSOCIATES, LLC
LEXINGTON 26, L.P. A TEXAS LIMITED PARTNERSHIP D/B/A/ COLINA HOMES
WILLIAM G. SMALL, MANAGER
KENNETH B. WILLIAMS, MANAGER
CRIBBS CUSTOM BUILDERS, LP
BATEMAN HART INVESTMENTS, LLC
WILLIAM G. SMALL VICE PRESIDENT OF ITS GENERAL PARTNER SABLE DEVELOPMENT INC.
J. CLYDE HART, MANAGER
SOUTH WALL BUILDERS, INC. D/B/A/ ROCKWELL BUILDERS
MICHAEL G. EVENSON, PRESIDENT
STONELEIGH CUSTOM HOMES, INC.
ROY L. GRAY, PRESIDENT
SURESH A. KUMAR BY R. JUDD CRIBBS ATTORNEY IN FACT
KENNETH YAIFI

STATE OF TEXAS
COUNTY OF GALVESTON
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM G. SMALL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 25th DAY OF July, 2011.
Signature: [Signature]
Printed Name: Carolyn Ann Wright-Kieschnick
CAROLYN ANN WRIGHT-KIESCHNICK
Notary Public, State of Texas
My Commission Expires December 09, 2012

STATE OF TEXAS
COUNTY OF GALVESTON
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL G. EVENSON, PRESIDENT OF SOUTH WALL BUILDERS, INC. D/B/A/ ROCKWELL BUILDERS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 25th DAY OF July, 2011.
Signature: [Signature]
Printed Name: Carolyn Ann Wright-Kieschnick
CAROLYN ANN WRIGHT-KIESCHNICK
Notary Public, State of Texas
My Commission Expires December 09, 2012

STATE OF TEXAS
COUNTY OF GALVESTON
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROY L. GRAY, PRESIDENT OF STONELEIGH CUSTOM HOMES, INC., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 26th DAY OF July, 2011.
Signature: [Signature]
Printed Name: Carolyn Ann Wright-Kieschnick
CAROLYN ANN WRIGHT-KIESCHNICK
Notary Public, State of Texas
My Commission Expires December 09, 2012

STATE OF TEXAS
COUNTY OF GALVESTON
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KENNETH B. WILLIAMS, MANAGER OF LEXINGTON 26, L.P. A TEXAS LIMITED PARTNERSHIP D/B/A/ COLINA HOMES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN SET FORTH.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 26th DAY OF July, 2011.
Signature: [Signature]
Printed Name: Carolyn Ann Wright-Kieschnick
CAROLYN ANN WRIGHT-KIESCHNICK
Notary Public, State of Texas
My Commission Expires December 09, 2012

STATE OF TEXAS
COUNTY OF GALVESTON
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J. CLYDE HART, MANAGER OF BATEMAN HART INVESTMENTS, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN SET FORTH.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 26th DAY OF July, 2011.
Signature: [Signature]
Printed Name: Carolyn Ann Wright-Kieschnick
CAROLYN ANN WRIGHT-KIESCHNICK
Notary Public, State of Texas
My Commission Expires December 09, 2012

STATE OF TEXAS
COUNTY OF GALVESTON
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED R. JUDD CRIBBS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN SET FORTH.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 1st DAY OF August, 2011.
Signature: [Signature]
Printed Name: Peggy Toler Eernisse
PEGGY TOLER EERNISSE
Notary Public, State of Texas
My Commission Expires August 19, 2013

STATE OF TEXAS
COUNTY OF GALVESTON
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KENNETH YAIFI, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN SET FORTH.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 1st DAY OF August, 2011.
Signature: [Signature]
Printed Name: Sadie Benitez
SADIE BENITEZ
Notary Public
STATE OF TEXAS
My Comm. Exp. 10-15-11

NOTE:
LIEN HOLDERS ACKNOWLEDGMENT ARE ON SEPARATE AFFIDAVITS AND ARE RECORDED WITH THIS PLAT.

APPROVED BY THE CITY OF FRIENDSWOOD, TEXAS, PLANNING AND ZONING COMMISSION OR CITY MANAGER OR HIS/HER DESIGNEE ON THIS 2nd DAY OF August, 2011.
AUBREY HARBIN, LEAD DEVELOPMENT SPECIALIST
KEVIN HOLLAND, CHAIRMAN PLANNING AND ZONING COMMISSION

I, MORAD KABIRI, P.E. AICP, CITY ENGINEER OF THE CITY OF FRIENDSWOOD, TEXAS DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE CITY OF FRIENDSWOOD, TEXAS AND FURTHER IT COMPLIES WITH ALL OF THE ORDINANCES AS CURRENTLY ADOPTED BY THE CITY.
MORAD KABIRI, P.E., AICP
CITY ENGINEER

I, DWIGHT D. SULLIVAN, COUNTY CLERK, GALVESTON COUNTY, TEXAS DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE ON _____ AT _____ O'CLOCK, _____ M., AND DULY RECORDED ON _____ AT _____ O'CLOCK, _____ M., IN PLAT RECORD _____ MAP NUMBER, GALVESTON COUNTY PLAT RECORDS.

WITNESS MY HAND AND SEAL OF OFFICE, AT GALVESTON, TEXAS THE DAY LAST ABOVE WRITTEN:

DWIGHT D. SULLIVAN
COUNTY CLERK GALVESTON COUNTY, TEXAS
BY _____ DEPUTY

All that certain 35.2239 acres out of William Henry Survey, Abstract Number - 84 and R. Hoppel Survey, Abstract Number - 83, Friendswood, Galveston County, Texas and being more particularly described by metes and bounds as follows (bearings based on Texas Coordinate System of 1983, South Central Zone);

Beginning at a point marking the east corner of that certain tract described in a deed dated 12-13-2000 from Eric John Longtin, et ux to Oscar A. Alfaro, as filed in Galveston County Official Records, Clerk's File Number 2000-064169 and marking the north corner of that certain tract described in a deed dated 01-20-2006 from Palms Properties, L.L.C. to Friendswood Cypress, L.P., as filed in Galveston County Official Records, Clerk's File Number 2006-004677 from which a found 1" iron pipe bears N 48° 26' 44" W - 0.23' for reference;

- 1. Thence S 48° 22' 13" E - 902.40' with the northeast of said Friendswood Cypress, L.P. tract to a set 5/8" iron rod with cap (stamped C.L. DAVIS-RPLS 4464) for corner;
- 2. Thence N 61° 43' 00" E - 488.79' with the southeasterly line of that certain tract described in a deed dated 04-22-1993 from Randolph H. Hester, et ux to Debra J. Brown as filed in Galveston County Official Records, Clerk's File Number 93-16272 to a found 5/8" iron rod for corner;
- 3. Thence S 48° 17' 00" E - 63.85' with the southwesterly line of that certain tract described in a deed dated 08-19-1991 from Donald E. Claycombe, et ux to City of Friendswood, Texas as filed in Galveston County Official Records, Clerk's File Number 91-30322 to a found 3/8" iron rod for corner;
- 4. Thence S 61° 43' 00" W - 488.68' with the northeasterly line of that certain tract described in a deed dated 05-04-1983 from Richard L. Proctor, et ux to Donald E. Claycombe, et ux as filed in Galveston County Official Records, Clerk's File Number 83-16189 to a set 5/8" iron rod with cap (stamped C.L. DAVIS - RPLS 4464) for corner;
- 5. Thence S 48° 22' 13" E passing at 201.85' a found 5/8" iron rod for reference point and continuing a total distance of 229.45' to a point for corner;
- 6. Thence the following 52 courses with the centerline of Chigger Creek.
- 7. Thence S 41° 37' 26" W - 30.31' to a point;
- 8. Thence S 31° 10' 18" W - 32.09' to a point;
- 9. Thence S 22° 31' 58" W - 52.31' to a point;
- 10. Thence S 31° 27' 27" W - 62.02' to a point;
- 11. Thence S 36° 47' 06" W - 55.19' to a point;
- 12. Thence S 37° 53' 28" W - 52.07' to a point;
- 13. Thence S 40° 45' 39" W - 53.51' to a point;
- 14. Thence S 37° 45' 01" W - 46.50' to a point;
- 15. Thence S 31° 19' 04" W - 22.26' to a point;
- 16. Thence S 18° 10' 56" W - 22.50' to a point;
- 17. Thence S 10° 25' 53" W - 18.40' to a point;
- 18. Thence S 06° 11' 29" E - 19.36' to a point;
- 19. Thence S 22° 05' 55" E - 28.33' to a point;
- 20. Thence S 17° 23' 40" E - 27.34' to a point;
- 21. Thence S 10° 37' 49" E - 57.32' to a point;
- 22. Thence S 12° 23' 57" E - 55.36' to a point;
- 23. Thence S 06° 19' 16" E - 25.66' to a point;
- 24. Thence S 12° 38' 48" W - 21.22' to a point;
- 25. Thence S 22° 14' 41" W - 17.28' to a point;
- 26. Thence S 38° 16' 28" W - 28.97' to a point;
- 27. Thence S 50° 05' 13" W - 43.65' to a point;
- 28. Thence S 37° 10' 12" W - 17.89' to a point;
- 29. Thence S 21° 52' 29" W - 20.33' to a point;
- 30. Thence S 40° 38' 27" W - 19.07' to a point;
- 31. Thence S 69° 39' 43" W - 24.24' to a point;

- 32. Thence S 83° 54' 18" W - 48.95' to a point;
- 33. Thence S 89° 18' 20" W - 47.25' to a point;
- 34. Thence N 78° 44' 03" W - 24.63' to a point;
- 35. Thence N 79° 09' 10" W - 8.53' to a point;
- 36. Thence N 40° 09' 54" W - 28.15' to a point;
- 37. Thence N 53° 15' 43" W - 26.15' to a point;
- 38. Thence N 71° 12' 05" W - 22.89' to a point;
- 39. Thence S 70° 26' 04" W - 15.81' to a point;
- 40. Thence S 67° 35' 41" W - 38.83' to a point;
- 41. Thence S 72° 12' 01" W - 59.21' to a point;
- 42. Thence N 63° 09' 38" W - 27.94' to a point;
- 43. Thence N 43° 43' 54" W - 21.89' to a point;
- 44. Thence N 33° 26' 02" E - 24.89' to a point;
- 45. Thence N 51° 09' 05" E - 55.23' to a point;
- 46. Thence N 45° 20' 09" E - 24.14' to a point;
- 47. Thence N 26° 53' 40" E - 9.75' to a point;
- 48. Thence N 40° 20' 40" W - 20.11' to a point;
- 49. Thence N 57° 25' 20" W - 29.78' to a point;
- 50. Thence N 76° 19' 36" W - 28.18' to a point;
- 51. Thence S 77° 26' 31" W - 38.93' to a point;
- 52. Thence S 54° 32' 23" W - 48.03' to a point;
- 53. Thence S 69° 35' 38" W - 39.84' to a point;
- 54. Thence N 85° 01' 45" W - 36.25' to a point;
- 55. Thence S 78° 05' 21" W - 25.30' to a point;
- 56. Thence S 61° 14' 59" W - 34.27' to a point;
- 57. Thence S 39° 18' 21" W - 40.24' to a point;
- 58. Thence S 25° 58' 20" W - 31.69' to a point;
- 59. Thence N 57° 09' 13" W - 629.73' with the northeasterly line of that certain tract described in a deed dated 07-29-1994 from Robert Boone, Trustee to C. R. Boone and Family, LLP, as filed in Galveston County Official Records, Clerk's File Number 95-05350 to a set 5/8" iron rod with cap (stamped C.L. DAVIS - RPLS 4464) for corner;
- 60. Thence S 79° 26' 47" W - 219.36' to a set 5/8" iron rod with cap (stamped C.L. DAVIS - RPLS 4464) for corner;
- 61. Thence N 48° 22' 13" W - 245.95' with the northeasterly line of that certain tract described in a deed dated 07-29-1994 from Robert Boone, Trustee to C. R. Boone as filed in Galveston County Official Records, Clerk's File Number 94-36019 to a point for corner from which a found 3/8" iron rod bears N 34° 32' 51" W - 0.86' for reference;
- 62. Thence N 41° 37' 47" E - 1,373.79' with the westerly line of said Friendswood Cypress, L. P. tract to the POINT OF BEGINNING and containing 35.2239 acres (1,534,352 square feet) of land, more or less.

CERTIFICATE OF SURVEYOR
THIS IS TO CERTIFY THAT I, C.L. DAVIS, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HAVE PLOTTED THE ABOVE SUBDIVISION SHOWN HEREON FROM AN ACTUAL SURVEY ON THE GROUND; THAT ALL EXTERIOR BOUNDARY CORNERS ARE SET AND BLOCK CORNERS, LOT CORNERS AND PERMANENT CONTROL POINTS ARE SET, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME. ALL CORNERS ARE MARKED BY CAPPED IRON RODS 5/8 INCH IN DIAMETER AND 30 INCHES LONG, UNLESS OTHERWISE NOTED AND THAT UTILITY COMPANIES HAVE BEEN CONTACTED AND THAT THE EASEMENTS SHOWN ON THE PLAT CONSTITUTE THE EASEMENTS REQUESTED BY THE UTILITY COMPANIES. THE BOUNDARY CLOSURE IS WITHIN 1:10,000. THIS TRACT IS WITHIN THE CITY OF FRIENDSWOOD.

C.L. DAVIS
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4464



PURPOSE OF REPLAT :
1. CHANGE NAME OF PLAT FROM JACOBS LANDING TO CREEKWOOD ESTATES.
2. CHANGE PUBLIC STREETS TO PRIVATE STREETS
3. MAKE ALL PRIVATE STREETS UTILITY EASEMENTS
4. CHANGE STREET NAMES
5. REVISE SOUTH LINE OF LOT 1, BLOCK 1 AND NORTH LINE OF RESTRICTED RESERVE "B" TO ACCOMMODATE FOR ENTRANCE GATE

OWNERS:
CREEKWOOD ASSOCIATES, LLC AND CRIBBS CUSTOM BUILDERS, LP
SOUTH WALL BUILDERS, INC.
STONELEIGH CUSTOM HOMES, INC.
COLINA HOMES LEXINGTON 26, LP
BATEMAN HART INVESTMENTS, LLC
SURESH A. KUMAR
KENNETH YAIFI
SURVEYOR:
C.L. DAVIS & CO. LAND SURVEYING

FINAL PLAT OF CREEKWOOD ESTATES
BEING A REPLAT OF FINAL PLAT OF JACOBS LANDING (VOL. 2009A, PG 13 G.C.M.R.) BEING 35.2239 ACRES OUT OF WILLIAM HENRY SURVEY, ABSTRACT 84 AND ROBERT HOPPEL SURVEY, ABSTRACT 83 CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS 6 BLOCKS 42 LOTS 2 RESERVES JULY 21, 2011



City of Friendswood

Community Development Department
910 S. Friendswood Drive
Friendswood, Texas 77546-4856

December 5, 2024

TO WHOM IT MAY CONCERN:

In accordance with State and Local Zoning Law, all owners of land within two hundred feet of any property being considered for an appeal, variance, or a special exception must be afforded an opportunity to address the subject at a public meeting held for this purpose.

You are hereby notified that the **Friendswood Zoning Board of Adjustment** will hold a Public Hearing to consider a request for a variance that may be of interest to you.

PROPERTY OWNER: Michael Wayne & Jennifer Marie Parker

LOCATION OF PROPERTY: 904 Longleaf Ct
Creekwood Estates (2011), Abstract 84, Lot 3, Block 3,
Galveston County, Friendswood, Texas

REQUEST: To grant a variance to allow an accessory structure to be erected closer than 5-feet next to the main structure being a variance to Appendix C, Zoning Ordinance, Section 8. Supplementary district regulations.

The Public Hearing will be held at
Friendswood City Hall, Council Chambers, 910 S. Friendswood Drive
Friendswood, Texas

PUBLIC HEARING DATE: December 17, 2024

PUBLIC HEARING TIME: 6:00 PM

Documentation will be available online 72 hours prior to the meeting.

www.ci.friendswood.tx.us

Government Information > Meeting Agendas & Minutes

Staff contact: Becky Bennett, Assistant Planner
281-996-3290 or Email: bbennett@friendswood.com



AGENDA ITEM FORM

Date requested for City Council consideration: December 17, 2024

Date submitted: 12/10/2024

Prepared by: Karen Horner, City Attorney

Subject: Consider granting a variance to Appendix C "Zoning Ordinance," Section 8 "Supplementary district regulations" of the Friendswood City Code for the property located at 904 Longleaf Court, Friendswood, Galveston County, Texas, to allow an accessory structure to be erected closer than 5 feet next to the main structure.

Originating Department: City Attorney

Degree of importance:

SUMMARY / ORIGINATING CAUSE

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS



AGENDA ITEM FORM

Date requested for City Council consideration: December 17, 2024

Date submitted: 12/12/2024

Prepared by: Becky Bennett, Assistant Planner

Subject: Receive Staff updates or reports, Council Liaison updates concerning action taken by the City Council on Zoning Board of Adjustment related items, and Board Member comments concerning items of community interest and/or requesting future agenda items.

Originating Department: Community Development

Degree of importance:

SUMMARY / ORIGINATING CAUSE

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS