



**PLANNING AND ZONING COMMISSION, REGULAR MEETING
THURSDAY, OCTOBER 9, 2025 - 6:00 PM
COMMUNITY ROOM, FRIENDSWOOD PUBLIC LIBRARY
416 S. FRIENDSWOOD DR, FRIENDSWOOD, TX 77546**

AGENDA

1. CALL TO ORDER

2. COMMUNICATIONS FROM THE PUBLIC

In order to comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects to be placed on a later regular Commission agenda for discussion and/or possible action.

3. CONSENT AGENDA

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner so requests in which case the item would be removed from the consent agenda and considered separately.

- A. Consider approving the minutes of the Planning and Zoning Commission regular meeting held Thursday, August 28, 2025.

4. ACTION ITEMS

A. PUBLIC HEARING FOR FUTURE LAND USE MAP (FLUM) AMENDMENT: 401 W EDGEWOOD DR

Conduct a public hearing regarding a request for an amendment to the Future Land Use Map (FLUM) for the property located at 401 W Edgewood Drive, also known as McReaken Manor Final Plat, a subdivision containing a 3.9187-acre tract of land out of Lot 2, Block 1, Friendswood Volume 238, Page 14 Sarah McKissick Survey Abstract 151, Galveston County, Friendswood, Texas, to change the FLUM from "Low Density" residential to "Retail."

B. RECOMMENDATION TO COUNCIL FOR FUTURE LAND USE MAP (FLUM) AMENDMENT: 401 W EDGEWOOD DR

Consider making a recommendation to City Council regarding a request to amend the Future Land Use Map (FLUM) for the property located at 401 W Edgewood Drive, also known as McReaken Manor Final Plat, a subdivision containing a 3.9187-acre tract of land out of Lot 2, Block 1, Friendswood Volume 238, Page 14 Sarah McKissick Survey Abstract 151, Galveston County, Friendswood, Texas, to change the FLUM from "Low Density" residential to "Retail."

C. PUBLIC HEARING FOR ZONE CHANGE REQUEST: 401 W EDGEWOOD DR

Conduct a public hearing regarding a request for a zone classification change for the property located at 401 W Edgewood Drive, also known as McReaken Manor Final Plat, a subdivision containing a 3.9187-acre tract of land out of Lot 2, Block 1, Friendswood Volume 238, Page 14 Sarah McKissick Survey Abstract 151, Galveston County, Friendswood, Texas to change the zoning from Single Family Residential (SFR) to Community Shopping Center (CSC).

D. RECOMMENDATION TO COUNCIL FOR ZONE CHANGE REQUEST: 401 W EDGEWOOD DR

Consider making a recommendation to City Council regarding a request to change the zoning classification for the property located at 401 W Edgewood Drive, also known as McReaken Manor Final Plat, a subdivision containing a 3.9187-acre tract of land out of Lot 2, Block 1, Friendswood Volume 238, Page 14 Sarah McKissick Survey Abstract 151, Galveston County, Friendswood, Texas to change the zoning from Single Family Residential (SFR) to Community Shopping Center (CSC).

E. PRELIMINARY PLAT: STERLING ESTATES (OLD CLINE ELEMENTARY SCHOOL SITE)

Consider approval of the Preliminary Plat of Sterling Estates, also known as 505 Briarmeadow Ave and the former Cline Elementary School site, a subdivision of 11.392 acres being lots 7 and 8 in Block 5 and Lots 3 and 4 in Block 7 of Friendswood Subdivision in the Sarah McKissick or J.R. Williams League, Abstract 151, recorded in Volume 7, Page 21 of the Galveston County Map Records, City of Friendswood, Galveston County, Texas.

F. SITE PLAN AMENDMENT: 109 E SHADOWBEND AVE

Consider approval of a site plan amendment for a proposed building renovation and site improvements at 109 E Shadowbend Ave.

G. SITE PLAN AMENDMENT: 4500 AND 4552 FM 2351

Consider approval of a site plan amendment for Industry Park Friendswood Phase Two located at 4500 and 4552 FM 2351.

5. DISCUSSION

- A. Discuss lot coverage requirements in the Single Family Residential (SFR) zoning district as contained in the "Residential Regulation Matrix" contained in Section 7.P and/or Section 20 "Definitions" of Appendix C "Zoning" of the City Code.

6. COMMUNICATIONS

- A. Receive an update regarding the Comprehensive Plan and Zoning Ordinance Updates (GLO RCP Grant).
- B. Announcement of the next Planning and Zoning Commission regular meetings for the remainder of the year (i) Thursday, November 13, 2025, and (ii) Thursday, December 11, 2025, in the Community Room at the Friendswood Public Library. The annual retreat will be held on Wednesday, December 3, 2025, at 6:00 pm in the Second Floor Conference Room at the City Hall.
- C. Receive the (i) August 2025 DRC Report, (ii) August 2025 Business Report, (iii) Council Liaison updates concerning action taken by the City Council on Planning and Zoning related items, and (iv) Commissioner comments concerning items of community interest and/or requesting future agenda items.

7. ADJOURNMENT

PUBLIC NOTICE IS GIVEN THAT IN ADDITION TO ANY EXECUTIVE SESSION LISTED ABOVE, THE PLANNING AND ZONING COMMISSION RESERVES THE RIGHT TO ADJOURN INTO EXECUTIVE SESSION AT ANY TIME AS AUTHORIZED BY THE TEXAS GOVERNMENT CODE SECTIONS 551.071 - 551.090 TO DISCUSS ANY MATTERS LISTED ABOVE.

THE CITY OF FRIENDSWOOD IS COMMITTED TO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. REASONABLE ACCOMMODATIONS AND EQUAL ACCESS TO COMMUNICATIONS WILL BE PROVIDED UPON REQUEST. PLEASE CONTACT THE CITY SECRETARY'S OFFICE BY PHONE AT (281) 996-3270, FAX (281) 482-1634, OR CONTACT (281) 996-3270 VIA RELAY TEXAS AT 711 OR 1-

800-735-2988 FOR TTY SERVICES. FOR MORE INFORMATION CONCERNING RELAY TEXAS, PLEASE VISIT: [HTTP://RELAYTEXAS.COM](http://RELAYTEXAS.COM).



Approved for posting by:
Aubrey Harbin, LEED AP
Director of Community Development/City Planning



Posted by: Raquel Martinez, TRMC, City Secretary
Posted in compliance with the Texas Open Meetings Act this
2nd day of October 2025, at 5:00 P.M.



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: Consider approving the minutes of the Planning and Zoning Commission regular meeting held Thursday, August 28, 2025.

Action:

SUMMARY / ORIGINATING CAUSE

This items allows the Commissioners to review and approve the minutes of the Planning and Zoning Commission regular meeting held on Thursday, August 28, 2025. The draft minutes are attached for review and consideration.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. P&Z Minutes 2025-08-28 Regular



**CITY OF FRIENDSWOOD
PLANNING AND ZONING COMMISSION
THURSDAY, AUGUST 28, 2025 - 6:00 PM**

Minutes

MINUTES OF A FRIENDSWOOD REGULAR MEETING HELD AT 910 S. FRIENDSWOOD DR., FRIENDSWOOD, TX 77546, COUNCIL CHAMBERS, CITY HALL

DRAFT

STATE OF TEXAS
CITY OF FRIENDSWOOD
COUNTIES OF GALVESTON/HARRIS
AUGUST 28, 2025

1. CALL TO ORDER

MINUTES OF A REGULAR MEETING OF THE FRIENDSWOOD PLANNING AND ZONING COMMISSION THAT WAS HELD ON THURSDAY, AUGUST 28, 2025, AT 06:00 PM **910 S. FRIENDSWOOD DR., FRIENDSWOOD, TX 77546**

CHAIRMAN TOM HINCKLEY
COMMISSIONER TRAVIS MANN
COMMISSIONER MARCUS RIVES
COMMISSIONER BRIAN BOUNDS
COMMISSIONER MARSHA CONRAD
COMMISSIONER WILLIE C ANDERSON
COMMISSIONER STACEY PHILLIPS
COUNCIL LIAISON JOE MATRANGA
CITY ATTORNEY KAREN HORNER
DIRECTOR OF CDD/PLANNER AUBREY HARBIN
ASSISTANT PLANNER BECKY BENNETT

2. OATHS OF OFFICE

- A. Administer the oath of office to Commissioner Thomas Hinckley and Commissioner Brian Bounds.

3. COMMUNICATIONS FROM THE PUBLIC

In order to comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects to be placed on a later regular Commission agenda for discussion and/or possible action.

Davis Townsend spoke on behalf of Sunpark Subdivision, expressing concern over drainage impacts that may be caused by the re-development of the former Cline Primary School into residential lots. He asked the Commission not to increase allowable lot coverage (related to item 6.A.)

Adam Hill/Sterling Builders stated re-development of the former Cline Primary School would result in less impervious coverage. He said compliant, engineered drainage plans will be submitted to the city and the drainage district.

4. CONSENT AGENDA

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner so requests in which case the item would be removed from the consent agenda and considered separately.

- A. Consider approving the minutes of the Planning and Zoning Commission regular meeting held Thursday, July 24, 2025.

**Commissioner Travis Mann moved to approve the minutes of the Planning and Zoning Commission regular meeting held Thursday, July 24, 2025. Seconded by Commissioner Marsha Conrad. The motion was approved unanimously.

5. ACTION ITEMS

- A. Consider election of a chairperson and vice chairperson.

**Commissioner Brian Bounds moved to re-elect Tom Hinckley as Chairman and Marcus Rives as Vice-Chairman. Seconded by Commissioner Stacey Phillips. The motion was approved unanimously.

- B. Consider approving a site plan amendment for the location of 405 W Parkwood for the addition of a detached, covered patio.

Harbin said the retail center near HEB (which includes Menchie's Yogurt and Cato Fashions) is building out a coffee shop on the left-hand lease space and would also like to add a shade structure outside. She said the structure would be located in a grassy area at the end of the parking lot and would not impact the existing trees.

Aiman Albsharat/owner said the property has capacity in the existing detention pond for the addition of the structure.

**Commissioner Marcus Rives moved to approve a site plan amendment for the location of 405 W Parkwood for the addition of a detached, covered patio. Seconded by Commissioner Marsha Conrad. The motion was approved unanimously.

6. DISCUSSION

- A. Discuss lot coverage requirements in the Single Family Residential (SFR) zoning district as contained in the "Residential Regulation Matrix" contained in Section 7.P and/or Section 20 "Definitions" of Appendix C "Zoning" of the City Code.

Harbin explained that Adam Hill/Sterling Builders had requested the commission consider increasing allowable lot coverage from 35% to 40%. She said the city's current requirement was adopted in 1997 and is based on aesthetic, not drainage, concerns. She provided a comparison of other city's allowances, of which some include only under roof area and some include all coverage (under roof, swimming pools, concrete.)

Commissioner Phillips said she understands the builder's comment that homeowners are looking for large, one-story homes so that they may age in place. She said she did not understand the assertion that aging homeowners want smaller yards for less maintenance while at the same time opting for larger homes. Phillips commented that increasing lot coverage seemed to be moving further away from the character of large homes on large lots in Friendswood.

Commissioner Conrad commented that the neighbor's drainage comments were something to consider. She said she did not feel that a 5% increase was a drastic change.

Commissioner Mann said he also understands the desire for large homes as well as the neighbor's flooding concerns. Mann said the city and the drainage district have completed a lot of work to improve drainage. He said the subdivision's existing drainage concerns need to be addressed separately from the proposed ordinance change or future subdivision. Mann suggested developing larger lots to accommodate larger homes.

Commissioner Anderson agreed that significant drainage improvements had been made over the years. He felt the neighbor's photographs of flooding from 1997 and 2001 were a misrepresentation of current conditions. He referenced that the area did not flood during Hurricane Harvey. Commissioner Bounds provided similar input as the previous commissioners.

Vice-Chairman Rives commented that the current ordinance requires larger homes to be placed on larger lots. He said the purpose of lot coverage requirements is to avoid areas appearing bulky or overly dense. Rives said if the commission chooses to pursue an increase, he suggested limiting structures to one-story with a decreased allowable height. Rives proposed defining that one-story homes may not include stairs or walk-in attics in an effort to avoid future expansion. He said limiting the overall impervious coverage could be helpful, as well. Commissioner Mann said that the downside would be a homeowner who purchases such a lot, with the intent of expanding, and who is not aware of the restrictions.

Chairman Hinckley reminded the commission that any change made would impact the entire city, not just the proposed Sterling Estates subdivision. He suggested receiving feedback from other cities with higher lot coverage percentages. He said he would also like to hear from the City Engineer regarding drainage. Harbin said she had some notes from the City Engineer who commented that 55% is the standard used for drainage purposes. Commissioner Anderson questioned the amount of coverage at Cline Primary School. Adam Hill said they had removed more than 76,000 sq ft of impervious cover during the demolition of the school. He said the new subdivision would result in less impervious coverage than the school.

Chairman Hinckley stated that researching an increase in lot coverage was warranted. Commissioner Mann asked that a subcommittee be established.

- B. Discuss the requirements and definitions of accessory buildings and primary structures as required by the Zoning Ordinance.

Harbin stated that researching the requirements and definitions of accessory buildings and primary structures had been on the commission's "to do list." She said staff examined the need for changes and ultimately is proposing no action be taken. Harbin explained that the city's current ordinances were sufficient.

7. COMMUNICATIONS

- A. Receive an update on changes in state laws as they pertain to the Planning and Zoning Commission and land use generally.

City Attorney Karen Horner provided an overview of land use changes that may affect the commission. She mentioned items such as the size of zone change signs, regulating home-based businesses, and providing for areas zoned mobile home district.

- B. Discuss and set a date for the annual Planning and Zoning Commission retreat in December.

The commission discussed dates for the annual retreat and tentatively decided on Wednesday, December 3rd.

- C. Announcement of the next Planning and Zoning Commission regular meetings for (i) Thursday, September 11, 2025, and (ii) Thursday, September 25, 2025.
- D. Receive the July 2025 DRC Report, July 2025 Business Report, Council Liaison updates concerning action taken by the City Council on Planning and Zoning related items, and Commissioner comments concerning items of community interest and/or requesting future agenda items.

Councilman Matranga announced the annual Ice Cream Social coming up on Labor Day. He said the city will also have a tent for Winter Weather Preparedness present. Other items of interest from City Council's recent meetings included an intent to partner with the Friendswood ISD's development of an agricultural facility, awarding a proposal to Ardurra Group for consulting services to update the city's comprehensive plan, and first reading of land annexation near Lake Friendswood.

All the commissioners thanked staff and the public for participating and providing feedback. Chairman Hinkley mentioned that his daughter is a two-time cancer survivor and announced December as being Childhood Cancer Awareness Month.

8. ADJOURNMENT

This meeting was adjourned at 06:59 PM.



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: **PUBLIC HEARING FOR FUTURE LAND USE MAP (FLUM) AMENDMENT: 401 W EDGEWOOD DR**

Conduct a public hearing regarding a request for an amendment to the Future Land Use Map (FLUM) for the property located at 401 W Edgewood Drive, also known as McReaken Manor Final Plat, a subdivision containing a 3.9187-acre tract of land out of Lot 2, Block 1, Friendswood Volume 238, Page 14 Sarah McKissick Survey Abstract 151, Galveston County, Friendswood, Texas, to change the FLUM from "Low Density" residential to "Retail."

Action:

SUMMARY / ORIGINATING CAUSE

This item allows for a public hearing to give all interested parties the right to appear and express their views on the following item:

This request is to amend the Future Land Use Map (FLUM) to change the designation of the subject property from "low density residential" to "retail." The location of the property is unique as it is situated between residential and commercial property and could be classified either way. When the property is developed, screening and additional setbacks may be required.

All required notices of the public hearing were executed. The newspaper ad was published, the public hearing notices were added to the City's website, property owner notices were mailed, and a sign was posted on the property.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Changing the FLUM classification of the property will allow the zone change request to also be approved.

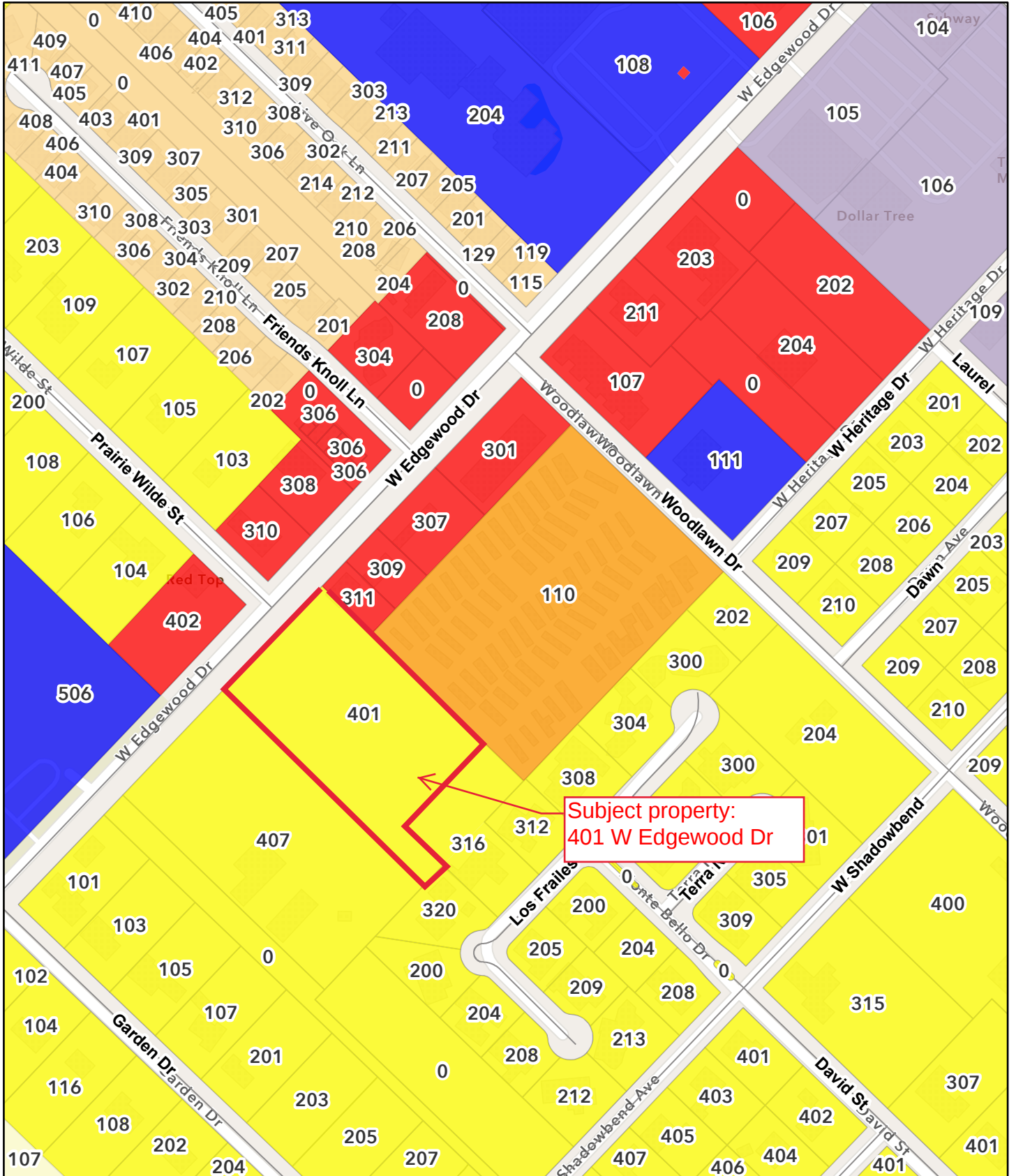
RECOMMENDATIONS

n/a

ATTACHMENTS

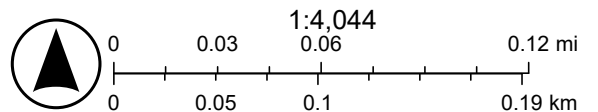
1. FLUMap_401 W Edgewood Dr

City of Friendswood



9/2/2025, 12:05:29 PM

- City Limit
- Future Land Use Adopted 2021
- SFR- Estate
- Low Density
- Garden Homes
- High Density Residential
- Mixed Use
- Retail
- Public and Semi-Public
- Parcels
- Streets



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: **RECOMMENDATION TO COUNCIL FOR FUTURE LAND USE MAP (FLUM) AMENDMENT:
401 W EDGEWOOD DR**

Consider making a recommendation to City Council regarding a request to amend the Future Land Use Map (FLUM) for the property located at 401 W Edgewood Drive, also known as McReaken Manor Final Plat, a subdivision containing a 3.9187-acre tract of land out of Lot 2, Block 1, Friendswood Volume 238, Page 14 Sarah McKissick Survey Abstract 151, Galveston County, Friendswood, Texas, to change the FLUM from "Low Density" residential to "Retail."

Action:

SUMMARY / ORIGINATING CAUSE

This item allows for the Planning and Zoning Commission to vote on a recommendation to forward to City Council regarding the request to amend the Future Land Use Map (FLUM) to change the designation of the subject property from "low density residential" to "retail." The location of the property is unique as it is situated between residential and commercial property and could be classified either way. When the property is developed, screening and additional setbacks may be required.

SEE ATTACHMENTS ON PUBLIC HEARING ITEM.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Changing the FLUM classification of the property will allow the zone change request to also be approved.

RECOMMENDATIONS

n/a

ATTACHMENTS



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: **PUBLIC HEARING FOR ZONE CHANGE REQUEST: 401 W EDGEWOOD DR**

Conduct a public hearing regarding a request for a zone classification change for the property located at 401 W Edgewood Drive, also known as McReaken Manor Final Plat, a subdivision containing a 3.9187-acre tract of land out of Lot 2, Block 1, Friendswood Volume 238, Page 14 Sarah McKissick Survey Abstract 151, Galveston County, Friendswood, Texas to change the zoning from Single Family Residential (SFR) to Community Shopping Center (CSC).

Action:

SUMMARY / ORIGINATING CAUSE

This item allows for a public hearing to give all interested parties the right to appear and express their views on the following item:

The property owner is requesting to change the zoning classification of the subject property from Single Family Residential (SFR) to Community Shopping Center (CSC). When developed, the property will be subject to the zoning regulations of the CSC zoning district, including screening on sides adjacent to residential zoning. The property will also be subject to the Community Overlay District (COD) that requires additional landscaping and screening, requires that utility services be provided underground, prohibits garage bay doors from fronting the thoroughfare, among other things. The full rezoning report is attached.

All required notices of the public hearing were executed. The newspaper ad was published, the public hearing notices were added to the City's website, property owner notices were mailed, and a sign was posted on the property.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

We do still need additional commercially zoned land to count towards the 70% residential/30% commercial zoning ratio established in Vision 2020. Commercial development results in sales tax and or business personal property revenue for the City of Friendswood's tax base.

RECOMMENDATIONS

n/a

ATTACHMENTS

1. Rezoning Report 401 W Edgewood Dr
2. Aerial Map_401 W Edgewood Dr
3. Location Map_401 W Edgewood Dr
4. Zoning Map_401 W Edgewood Dr

Rezoning Report

September 2025

Project: 401 W Edgewood Drive

Address: 3.9187 acres on West Edgewood Drive (between Garden Dr. and Woodlawn Dr.)

Legal: McReaken Manor Final Plat, a subdivision containing a 3.9187 acre tract of land out of Lot 2, Block 1, Friendswood Volume 238, Page 14 Sarah McKissick Survey Abstract 151, Galveston County, Friendswood, Texas

Requests: 1) Amend the Future Land Use Map from “Low Density” residential to “Retail”

2) Zone classification change to change from Single Family Residential (SFR) to Community Shopping Center (CSC).

Zoning Ordinance, Appendix C

F. *(C-1) CSC, Community Shopping Center District, general purpose and description.* The CSC, Community Shopping Center District, is intended for a unified grouping, in one or more buildings of several, typically between five and 20, retail and service shops or stores that provide for the regular needs and are for the convenience of the people residing in adjacent residential neighborhoods. Gross floor area in a community shopping center typically ranges from 30,000 to 100,000 square feet, and land area consists of two to ten acres in size. It is intended that the community shopping center be developed as a unit, with adequate off-street parking for customers and employees, and with appropriate landscaping and screening to ensure compatibility with surrounding residential environment. This district is ideally located at the intersection of two or more arterial or major streets with a service area of up to 1½ miles. Development of a community shopping center requires approval of a development site plan by the planning and zoning commission.

1. Area and height regulations. Area and height regulations in a CSC district are set forth in subsection Q.2 of this section, regulation matrix.

2. See section 8 for supplementary district regulations.

3. See section 9 for temporary certificate of zoning compliance that may be granted by the administrative official and specific use permits that may be recommended by the planning and zoning commission within the CSC district under certain circumstances and conditions.

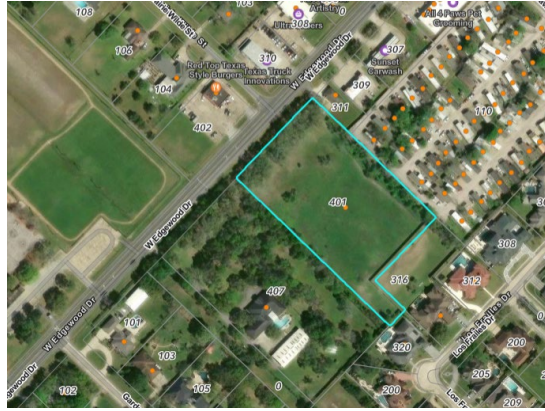
4. Permitted uses. Uses permitted in a CSC district are set forth in subsection P of this section, permitted use table. A specific use permit for a shopping center as a particular use is required before any building permit or certificate of occupancy may be issued in this district.

5. No CSC district shall be created which includes less than two acres.

6. Buildings in the CSC zoning district are encouraged to have exterior cladding of brick, masonry, stone, stucco or glass. Fiber cement boards/siding are discouraged, except as trim for eaves and overhangs, while all building products and materials approved for use by a national model code published within the last three code cycles (2018, 2015 and 2012) are allowed by V.T.C.A., Government Code ch. 3000.

Existing Use/Site Attributes:

The site is currently undeveloped land.



City of Friendswood Aerial Map

Zoning History:

The current zoning of the property is Single Family Residential (SFR). Over the years, there have been multiple zone changes on this tract, including the following:

1970	Single Family Residential	
1983	Multi-Family Residential	83-24
1999	Single Family Residential	99-20
2008	Business Park	2008-40
2014	Business Park and Single Family Residential	2014-32
2017	Planned Unit Development	2017-12
2022	Single Family Residential	2023-01



City of Friendswood Zoning Map

Adjacent Zoning/Land Use:

The property is situated between a variety of zoning districts. To the south and west are Single-Family Residential (SFR) properties. To the northeast is Mobile Home-Residential (MHR) district and a small tract zoned Community Shopping Center (CSC) to the north.

Platting Analysis:

The property has been platted and may require a replat in the future. The current owner purchased the property and replatted 316 Los Frailies to incorporate a portion of the property and then platted the remainder as McReaken Manor, which is one lot.

Planning Analysis:

All required notices have been published or posted.

Comprehensive Planning Analysis:

The Future Land Use Map identifies the site as a “Low Density” residential as a result of the last zone change in 2022. The Future Land Use Map (FLUM) amendment must be approved in order to approve the zone change. The 2021 FLUM identified this property as “Retail.”

Infrastructure/Service Delivery Impacts**Storm Water Management and Floodplain Issues:**

Storm water detention requirements will be subject to the City of Friendswood Design Criteria Manual, as well as the Galveston County Consolidated Drainage District (GCCDD) and Texas Department of Transportation (TxDOT) design criteria. This property has been difficult to develop because of the drainage. The property is very flat, and the roadside ditches are shallow.

Utilities:

City of Friendswood water and sewer services are available.

Access:

The property has existing direct access from West Edgewood Drive (FM 2351), which is a Texas Department of Transportation (TxDOT) right-of-way. Any type of improvements within the right-of-way will require TxDOT approval.

Park/Open Space:

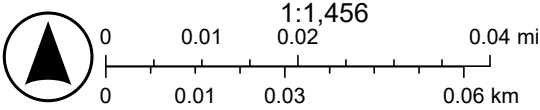
Parkland Dedication will not apply for commercial development.

City of Friendswood



9/2/2025, 12:08:48 PM

-  City Limit
-  Parcels
-  Streets



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

City of Friendswood

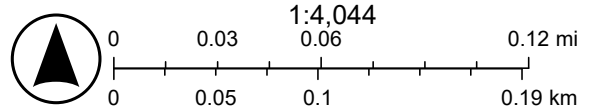


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 City Limit

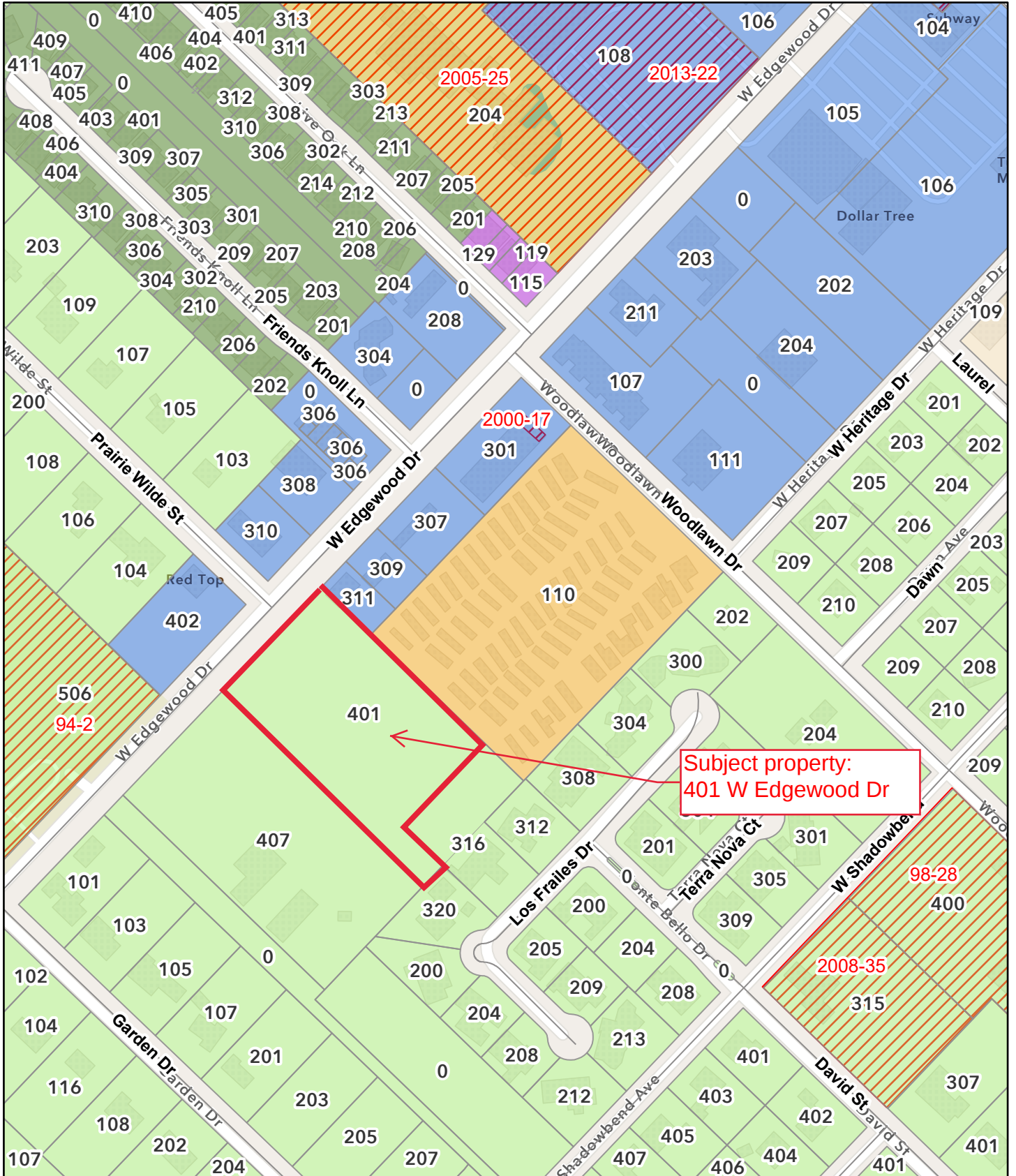
 Parcels

 Streets

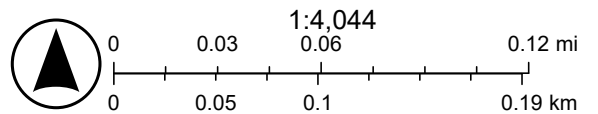
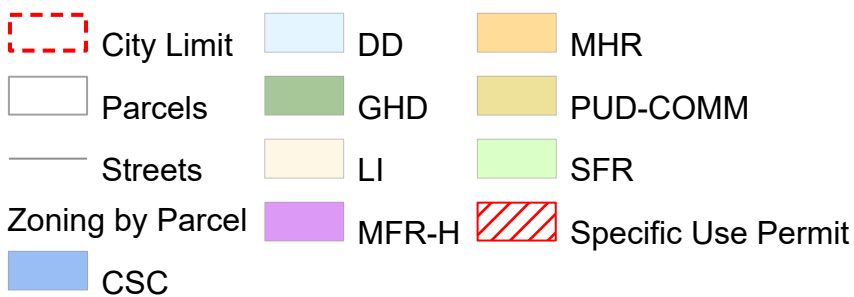


Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

City of Friendswood



9/2/2025, 12:03:20 PM



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: **RECOMMENDATION TO COUNCIL FOR ZONE CHANGE REQUEST: 401 W EDGEWOOD DR**

Consider making a recommendation to City Council regarding a request to change the zoning classification for the property located at 401 W Edgewood Drive, also known as McReaken Manor Final Plat, a subdivision containing a 3.9187-acre tract of land out of Lot 2, Block 1, Friendswood Volume 238, Page 14 Sarah McKissick Survey Abstract 151, Galveston County, Friendswood, Texas to change the zoning from Single Family Residential (SFR) to Community Shopping Center (CSC).

Action:

SUMMARY / ORIGINATING CAUSE

This item allows for the Planning and Zoning Commission to vote on a recommendation to forward to City Council regarding the request to change the zoning classification of the subject property from Single Family Residential (SFR) to Community Shopping Center (CSC). When developed, the property will be subject to the zoning regulations of the CSC zoning district, including screening on sides adjacent to residential zoning. The property will also be subject to the Community Overlay District (COD) that requires additional landscaping and screening, requires that utility services be provided underground, prohibits garage bay doors from fronting the thoroughfare, among other things.

SEE DOCUMENTS ATTACHED TO THE PUBLIC HEARING ITEM.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

We do still need additional commercially zoned land to count towards the 70% residential/30% commercial zoning ratio established in Vision 2020. Commercial development results in sales tax and or business personal property revenue for the City of Friendswood's tax base.

RECOMMENDATIONS

N/A

ATTACHMENTS



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: **PRELIMINARY PLAT: STERLING ESTATES (OLD CLINE ELEMENTARY SCHOOL SITE)**
Consider approval of the Preliminary Plat of Sterling Estates, also known as 505 Briarmeadow Ave and the former Cline Elementary School site, a subdivision of 11.392 acres being lots 7 and 8 in Block 5 and Lots 3 and 4 in Block 7 of Friendswood Subdivision in the Sarah McKissick or J.R. Williams League, Abstract 151, recorded in Volume 7, Page 21 of the Galveston County Map Records, City of Friendswood, Galveston County, Texas.

Action:

SUMMARY / ORIGINATING CAUSE

Zoning: Single Family Residential (SFR)

Location: Briarmeadow Ave.

The preliminary plat is the first step in the redevelopment of the Cline Elementary property to create a residential subdivision containing 24 Lots, 2 blocks and 3 reserves. The property is zoned SFR and the proposed subdivision will include both 90-foot and 120-foot wide lots, but both cul-de-sac streets will be curb and gutter. The 10-foot drainage easements along the rear of the property will account for the drainage from the adjacent resident lots. The storm water will be captured in an underground detention system and directed to Briarmeadow Ave. The newly formed lots will drain to new storm sewer inlets installed in the new streets.

The plat was reviewed by staff in the following departments: Planning, Engineering, Public Works, Fire Marshal's Office, Police Department and Parks & Recreation. There are few minor comments that can be addressed on the final plat.

Staff recommends Approval with staff comments. See attached Corrections Report.

Standards for approval. The Commission shall approve a plat if:

- (1) It conforms to the general plan of the City of Friendswood and the current and future streets, alleys, parks, playgrounds, and public utility facilities;
- (2) It conforms to the general plans for extension of roads, streets, and public highways, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities; and
- (3) It conforms to the Subdivision Ordinance and Local Government Code Chapter 212.

P&Z Action Options:

1) Approve - If approved, the plat shall be endorsed with a certificate of approval by the planning and zoning commission chairman and attested by the commission's secretary. This can include minor staff comments.

2) Approve with Conditions - conditions included on attached corrections report; requires resubmittal and Commission action

3) Disapprove with Reasons - reasons included on attached corrections report; requires resubmittal and Commission action

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

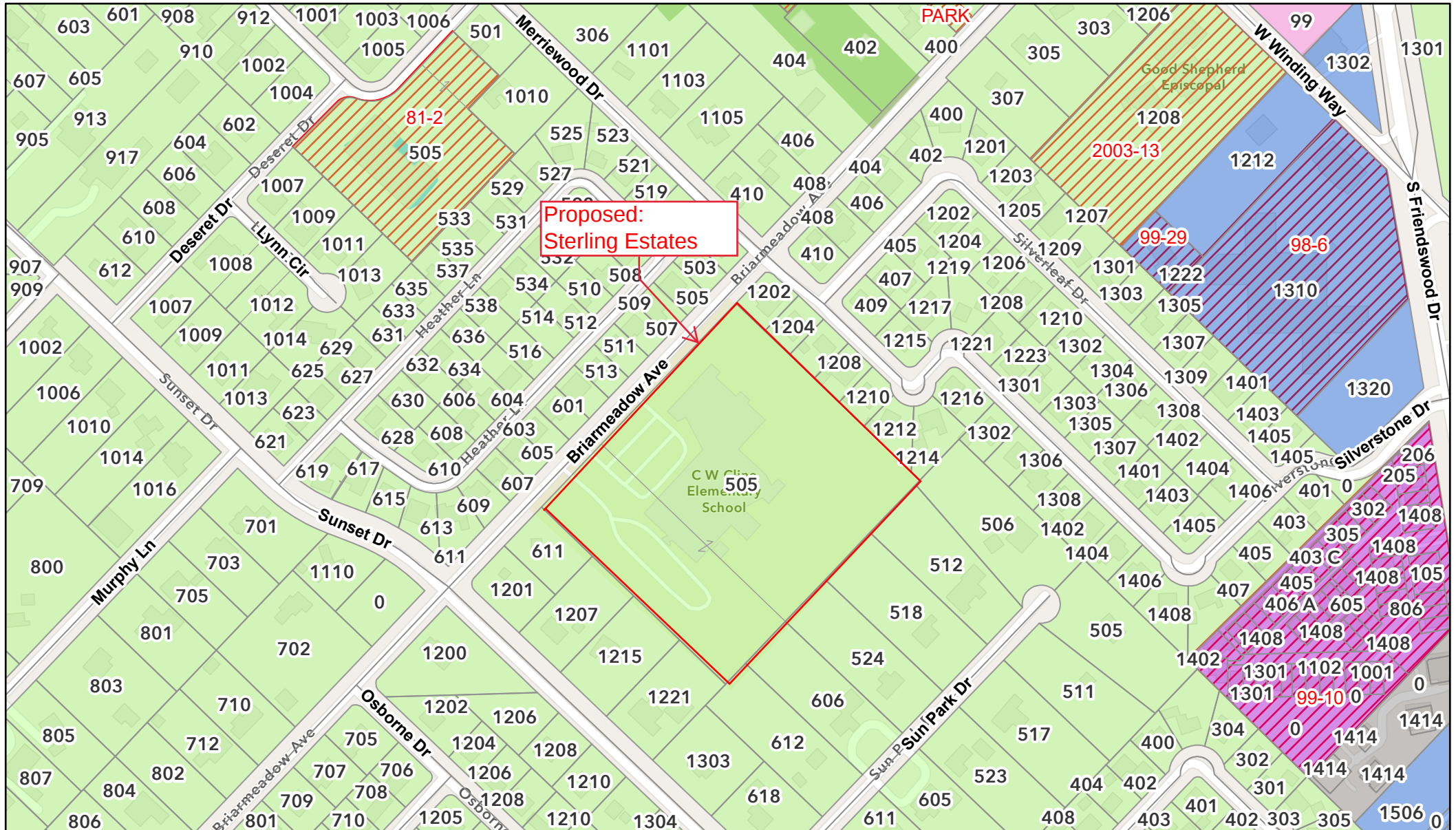
RECOMMENDATIONS

Staff recommends Approval with staff comments. See attached Corrections Report.

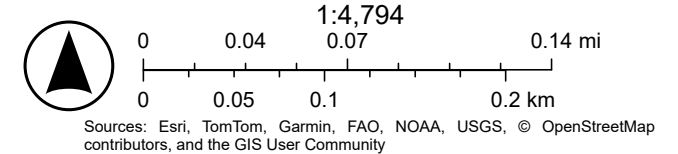
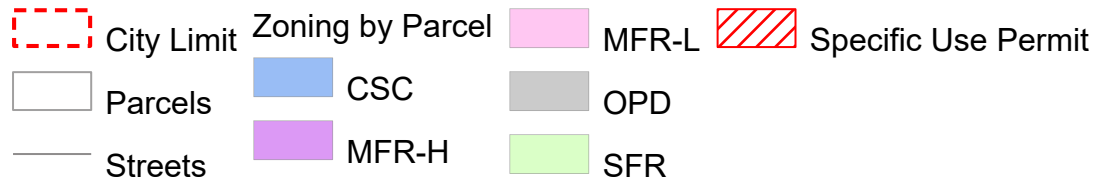
ATTACHMENTS

1. Sterling Estates Location and Zoning Map
2. Sterling Estates Preliminary Plat Corrections Report 10-01-2025
3. STERLING ESTATES PRELIMINARY PLAT Page 1 of 2
4. STERLING ESTATES PRELIMINARY PLAT Page 2 of 2

City of Friendswood



10/1/2025, 3:33:03 PM



City of Friendswood

910 S Friendswood Drive
Friendswood, TX 77546



Corrections Required - 10-01-2025 13:47:04

Application No. PLT2025-3582

Address : 505 BRIARMEADOW AVE

Corrections Required Instructions:

- * Comments by each department should be addressed. Refer to the marked up plans and the written comments to ensure that all issues are addressed. In addition to the revised plans, a memo with written responses is recommended.
- * Once all comments have been addressed, return the pages that required change and any additional documents to the City of Friendswood Community Development Department
- * The review period for resubmitted plans is 7 to 10 business days. The applicant will be notified at the end of that period whether the plans are approved or if further explanation is needed.

Corrections Required:

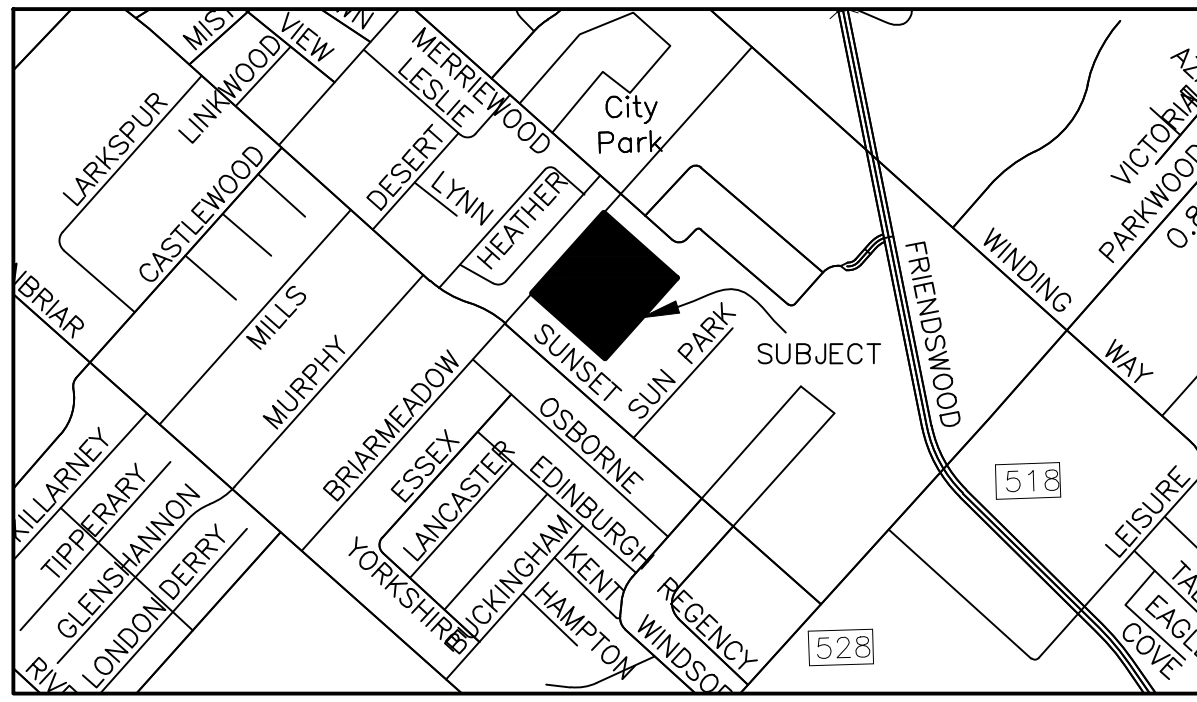
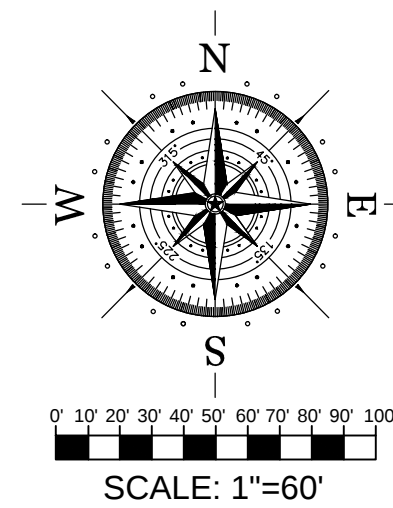
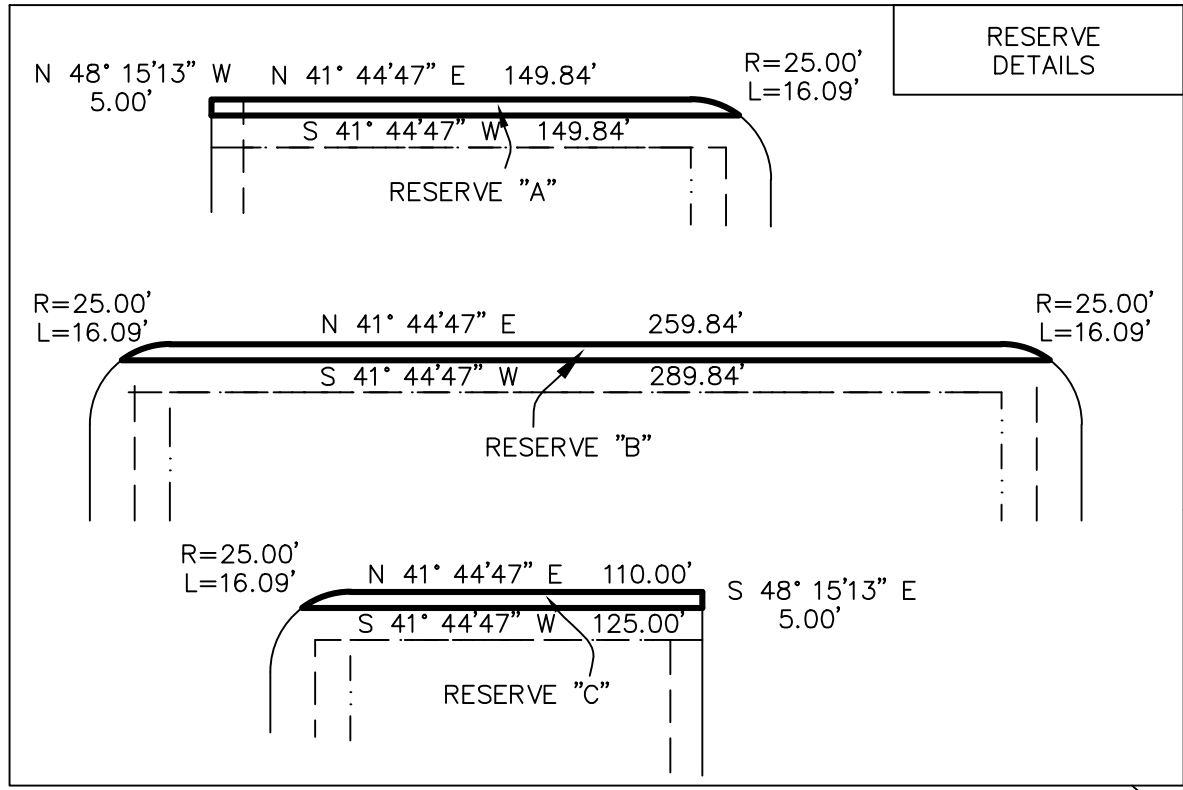
Comment ID	Page Reference	Reviewer : Department	Review Comments	Applicant Response Comments
31	PLAT1	Aubrey Harbin : Planning	What type of landscaping? Trees cannot be located over the 10' SSE in regards to Reserves A, B and C. Flowers and shrubs removed during any repairs will not be replaced by the City.	
32	PLAT1	Becky Bennett : Planning	Label radius of the cul-de-sac.	
34	PLAT1	Becky Bennett : Planning	Overlapping the reserves with a SSE makes the reserves unusable for signage and some landscaping. Suggest drawing the SSE only over the necessary portion of reserves.	
35	PLAT1	Becky Bennett : Planning	Residential regulation matrix needs to include data for the 90-foot lots. You may use only the 90' data or both the 90' and 120' columns.	

General Comments (informational and do not require corrections):**Reviewer Contact Information:**

Reviewer Name	Reviewer Email	Reviewer Phone No.:
Aubrey Harbin	aharbin@friendswood.com	281-996-3280
Becky Bennett	bbennett@friendswood.com	281-996-3290

Submission Documents:

Document Name	Document ID
STERLING ESTATES PRELIMINARY PLAT REVISED PER CITY COMMENTS 9.22.2025-PLAT LAYOUT.pdf	81743



VICINITY MAP SCALE 1"=1/4 MILE
KEY MAP 656H

FLOOD STATEMENT
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 48167C0014G, WITH AN EFFECTIVE DATE OF AUGUST 15, 2019, THIS TRACT IS LOCATED IN FLOOD ZONE 'X'.

BENCHMARK: NGS_HGCS054 (AW5596) - EL 29.50 NAVD 88
THE STATION IS A PUNCH MARK IN THE TOP OF A 1/2" DIAMETER STEEL ROD DRIVEN INTO THE GROUND AND INSIDE A 1/2" DIAMETER PVC PIPE THAT IS 20 FEET LONG FILLED WITH GREASE THAT IS ENCASED IN A 5/8" DIAMETER PVC PIPE WITH A LOGO CAP STAMPED - HGCS054 1986 - THE ROD IS RECESSED 8 CM BELOW THE GROUND SURFACE, LOCATED 26.0 METERS (85.3 FT) SOUTH-EAST OF THE CENTERLINE OF FM 528 AND 0.6 METER (2.0 FT) SOUTH-WEST OF THE EDGE OF A CURB.

TEMPORARY BENCHMARK:
TEMPORARY BENCHMARK IS A SET MAG NAIL (ELEVATION 26.21') LOCATED NORTH 30°25'00" EAST, 157.74' FROM THE WEST CORNER OF SUBJECT PLAT.

ZONING DISTRICT	SFR
UNITS PER ACRE	2.7
LOT AREA (MIN. SQ. FT.)	11,600
LOT WIDTH MINIMUM FEET	90 A
YARD MINIMUM FEET FRONT	25 B
YARD MINIMUM FEET REAR	25
YARD MINIMUM FEET SIDE INTERIOR	10
HEIGHT MAXIMUM FEET	40
MAXIMUM LOT COVERAGE	35%

- A. LOTS OF LESS THAN 120 FEET WIDE REQUIRE CURBS. LOTS 120 FEET WIDE OR GREATER MAY USE OPEN DITCHES.
- B. 35 FEET ON MAJOR THOROUGHFARES
- K. PARKING IS REQUIRED IN ACCORDANCE WITH THE PARKING GROUP TABLE IN THE DESIGN CRITERIA MANUAL.

LINE	BEARING	DISTANCE
L1	S 48°15'13" E	25.00'
L2	S 48°15'13" E	25.00'
L3	N 41°44'47" E	55.00'
L4	S 41°44'47" W	55.00'
L5	N 41°44'47" E	55.00'
L6	S 41°44'47" W	55.00'

Residential regulation matrix needs to include data for the 90-foot lots. You may use only the 90' data or both the 90' and 120' columns.

What type of landscaping? Trees cannot be located over the 10' SSE in regards to Reserves A, B and C. Flowers and shrubs removed during any repairs will not be replaced by the City.

RESERVE	PURPOSE	SQ. FT.	ACRES
A	SIGNAGE AND LANDSCAPE	800.29	0.0184
B	SIGNAGE AND LANDSCAPE	1,401.39	0.0322
C	SIGNAGE AND LANDSCAPE	601.09	0.0138

BLK	LOT	SQ. FT.	ACRES
1	1	21,834.99	0.5013
1	2	22,767.66	0.5227
1	3	22,767.66	0.5227
1	4	22,801.34	0.5234
1	5	24,787.14	0.5690
1	6	24,787.14	0.5690
1	7	22,801.34	0.5234
1	8	22,767.66	0.5227
1	9	22,767.66	0.5227
1	10	21,834.99	0.5013

BLK	LOT	SQ. FT.	ACRES
2	1	13,439.78	0.3085
2	2	12,150.00	0.2789
2	3	12,150.00	0.2789
2	4	12,150.00	0.2789
2	5	12,150.00	0.2789
2	6	11,863.46	0.2723
2	7	14,526.50	0.3335
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PRELIMINARY PLAT STERLING ESTATES

A SUBDIVISION OF 11.392 ACRES BEING LOTS 7 AND 8 IN BLOCK 5 AND LOTS 3 AND 4 IN BLOCK 7 OF FRIENDSWOOD SUBDIVISION IN THE SARAH MCKISSICK OR J.R. WILLIAMS LEAGUE, ABSTRACT 151, RECORDED IN VOLUME 7, PAGE 21 OF THE GALVESTON COUNTY

MAP RECORDS
GALVESTON COUNTY, TEXAS.
CITY OF FRIENDSWOOD

24 LOTS 2 BLOCKS 3 RESERVES

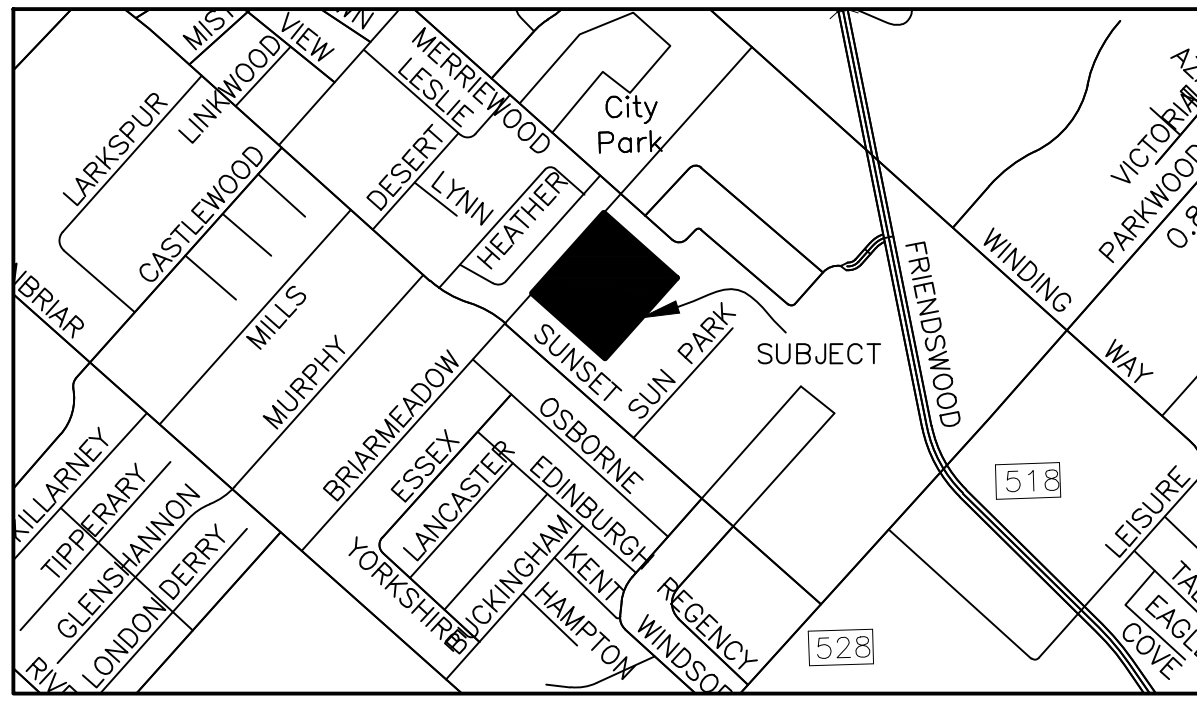
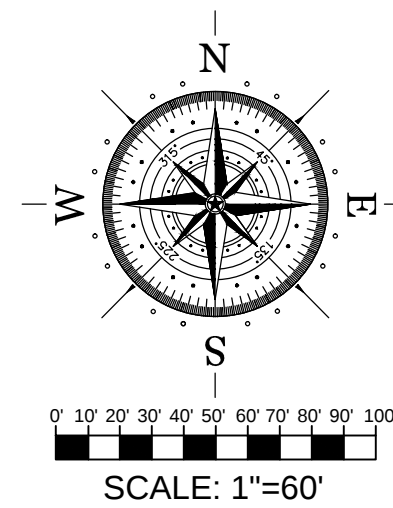
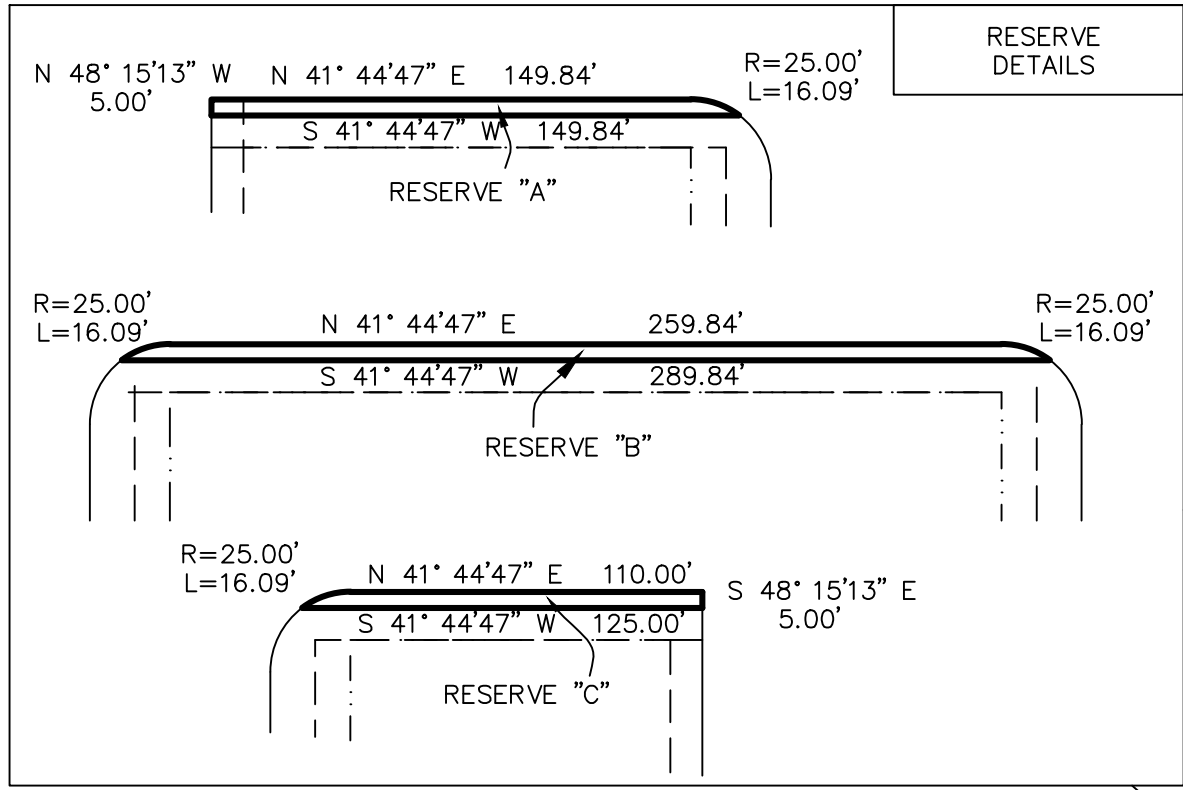
DATE: SEPTEMBER 22 2025

OWNER
STERLING ESTATES LLC
JOHN ADAM HILL, PRESIDENT
1506 E. WINDING WAY BLDG. 106
FRIENDSWOOD, TEXAS 77456
PHONE: 281-482-3034

ENGINEER
DANIEL SCOTT ENGINEERING
SCOTT SHERIDAN
P.O. BOX 1549
PHONE: 281-519-8530
TBPELS F-8827

STERLING ESTATES

PRO-SURV
SURVEYING & MAPPING SERVICES
P.O. BOX 1366
FRIENDSWOOD, TX 77549
PHONE: 281-996-1113
EMAIL: orders@prosurv.net
T.B.P.E.L.S. FIRM #10119300
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VICINITY MAP SCALE 1"=1/4 MILE KEY MAP 656H

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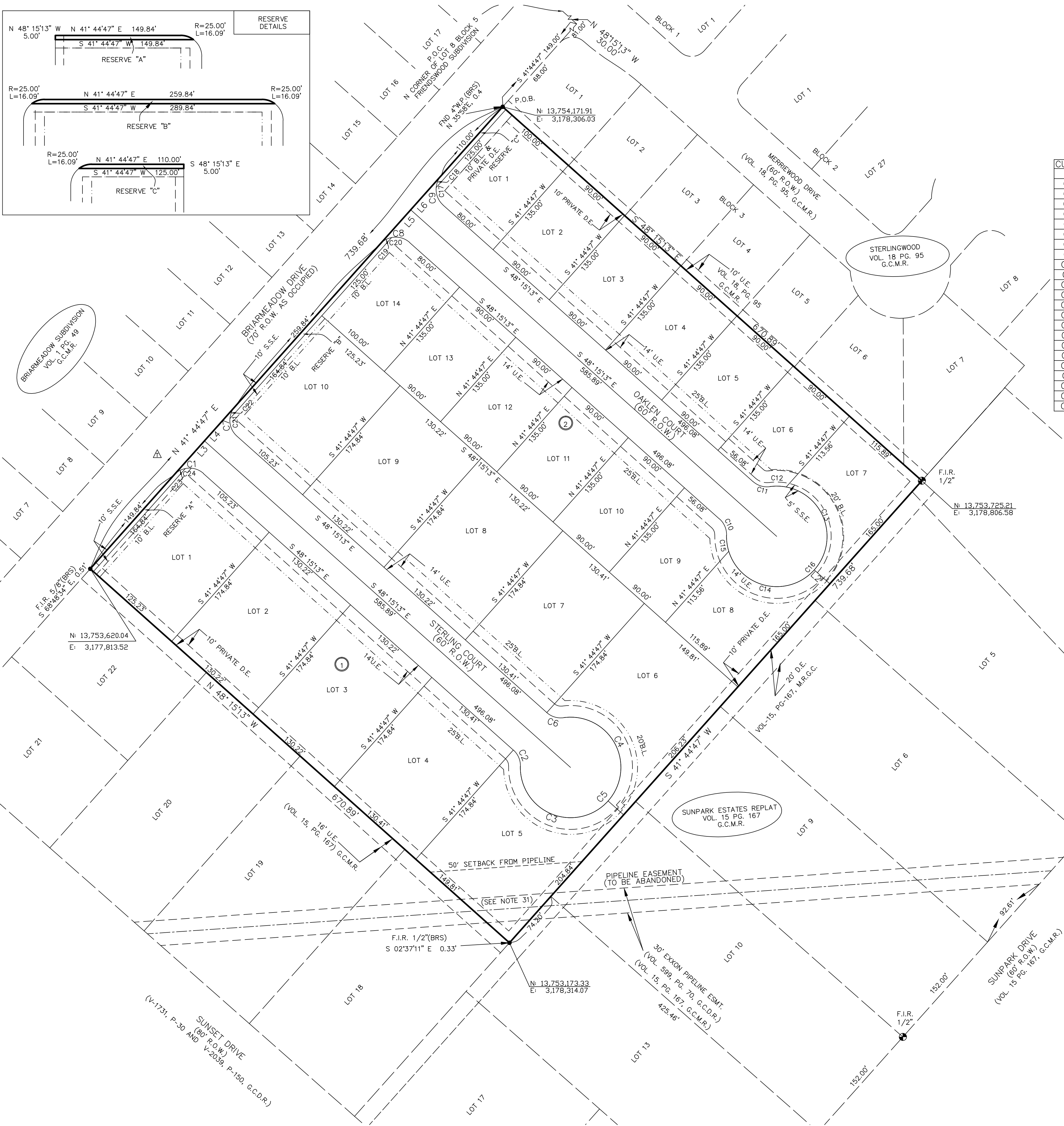
GALVESTON COUNTY, TEXAS.
CITY OF FRIENDSWOOD

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DATE: SEPTEMBER 22 2025

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STERLING ESTATES LLC
JOHN ADAM HILL, PRESIDENT
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FRIENDSWOOD, TEXAS 77456
PHONE: 281-482-3034

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T.B.P.E.L.S. FIRM #10119300
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STATE OF TEXAS
COUNTY OF GALVESTON

WE, STERLING ESTATES, LLC, A TEXAS LIMITED LIABILITY COMPANY , ACTING BY AND THROUGH JOHN ADAM HILL, PRESIDENT, HEREINAFTER REFERRED TO AS THE OWNER OF THE 11.392 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING PLAT OF STERLING ESTATES DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS AND NOTATIONS ON SAID PLAT AND HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS (EXCEPT THOSE STREETS DESIGNATED AS PRIVATE STREETS, OR PERMANENT ACCESS EASEMENTS), ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER AN UNOBSTRUCTED AERIAL EASEMENT ABOVE THE GROUND LEVEL UPWARD, TO ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON.

IN TESTIMONY WHEREOF, STERLING ESTATES, LLC, A TEXAS LIMITED LIABILITY COMPANY , HAS CAUSED THESE PRESENTS TO BE SIGNED BY JOHN ADAM HILL , ITS PRESIDENT, THIS ____DAY OF _____,2025.

STERLING ESTATES, LLC,
A TEXAS LIMITED LIABILITY COMPANY

BY: _____
JOHN ADAM HILL , PRESIDENT

STATE OF TEXAS
COUNTY OF GALVESTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ADAM HILL, PRESIDENT, ACTING & SIGNING ON BEHALF OF STERLING ESTATES LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____OF _____, 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES ON: _____

STATE OF TEXAS
COUNTY OF GALVESTON

WE, JOHN ADAM HILL, INDIVIDUAL, HOLDING A LIEN UPON THE PLAT OF STERLING ESTATES , ACTING BY AND THROUGH JOHN ADAM HILL, INDIVIDUAL, BEING THE HOLDER OF A LIEN AGAINST THE ABOVE DESCRIBED PROPERTY, DOES HEREBY IN ALL THINGS SUBORDINATE TO SAID LIEN AND DOES HEREBY CONFIRM THAT JOHN ADAM HILL, IS THE PRESENT OWNER OF SAID LIEN AS RECORDED IN GALVESTON COUNTY CLERK'S FILE NO. 2025030549 AND HAS NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

By: _____
JOHN ADAM HILL, INDIVIDUAL

STATE OF TEXAS
COUNTY OF GALVESTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN ADAM HILL, INDIVIDUAL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____OF _____, 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES ON: _____

CITY OF FRIENDSWOOD

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF FRIENDSWOOD, TEXAS, HAS APPROVED THIS PLAT AND SUBDIVISION OF STERLING ESTATES IN CONFORMANCE WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THE CITY AS ADOPTED BY THE CITY COUNCIL AND AUTHORIZED THE RECORDING OF THIS PLAT THIS ____DAY OF _____, 2025.

BECKY BENNETT, ASSISTANT PLANNER TOM HINCKLEY, CHAIRMAN

I, JILDARDO ARIAS, P.E., CFM, CITY ENGINEER/DIRECTOR OF ENGINEERING TO THE CITY OF FRIENDSWOOD, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE CITY OF FRIENDSWOOD, TEXAS AND FURTHER IT COMPLIES WITH ALL OF THE ORDINANCES AS CURRENTLY ADOPTED BY CITY COUNCIL.

BY: _____
JILDARDO ARIAS, P.E., CFM, CITY ENGINEER/DIRECTOR OF ENGINEERING

SURVEYOR:

THIS IS TO CERTIFY THAT I, TOBY PAUL COUCHMAN, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5565, OF THE STATE OF TEXAS, HAVE PLATTED THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND; AND THAT ALL BLOCK CORNERS, LOT CORNERS, AND PERMANENT REFERENCED MONUMENTS HAVE BEEN SET, THAT PERMANENT CONTROL POINTS WILL BE SET AT THE COMPLETION OF CONSTRUCTION AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME.

PURPOSE OF DOCUMENT: PLAT REVIEW
SURVEYOR OF RECORD: TOBY PAUL COUCHMAN
REGISTRATION #5565
RELEASE DATE: 09/22/2025

TOBY PAUL COUCHMAN, RPLS
TEXAS REGISTRATION NO. 5565

*PRELIMINARY. THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE AND SHALL NOT BE
USED OR VIEW OR RELIED UPON AS A FINAL SURVEY
DOCUMENT*

PROPERTY DESCRIPTION:

A TRACT OF LAND CONTAINING 11.392 ACRES, MORE OR LESS, OUT OF LOTS 7 AND 8, IN BLOCK 5 AND LOTS 3 AND 4, IN BLOCK 7, OF FRIENDSWOOD SUBDIVISION, IN THE SARAH MCKISSICK OR J. R. WILLIAMS LEAGUE, GALVESTON COUNTY, TEXAS, RECORDED IN VOLUME 7, PAGE 21 OF THE GALVESTON COUNTY MAP RECORDS, BEING THE SAME PROPERTY AS CONVEYED TO FRIENDSWOOD INDEPENDENT SCHOOL DISTRICT BY DEED AS RECORDED IN VOLUME 1817, PAGE 329, DEED RECORDS OF GALVESTON COUNTY, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS (WITH ALL BEARINGS BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE):

COMMENCING AT THE NORTH CORNER OF LOT 8, BLOCK 5 OF FRIENDSWOOD SUBDIVISION;

THENCE SOUTH 48°15'13" EAST, ALONG THE NORTHEAST LINE OF SAID LOT 8, A DISTANCE OF 30.00 FEET, TO A POINT FOR CORNER IN THE SOUTHEAST RIGHT OF WAY LINE OF BRIARMEADOW ROAD (70' R.O.W. AS OCCUPIED);

THENCE SOUTH 41°44'47" WEST, PARALLEL WITH THE NORTHWEST LINE OF SAID LOT 8 AND ALONG THE COMMON LINE OF SAID SOUTH EAST RIGHT OF WAY LINE OF BRIARMEADOW ROAD, A DISTANCE OF 149.00 FEET, TO THE POINT OF BEGINNING AND THE NORTH CORNER OF THE TRACT HEREIN DESCRIBED, SAME BEING THE WEST CORNER OF THE FINAL PLAT OF STERLINGWOOD, A SUBDIVISION RECORDED IN VOLUME 18, PAGE 95, OF THE PLAT RECORDS OF GALVESTON COUNTY, TEXAS, FROM WHICH A 4" WOODEN FENCE POST (FOUND) BEARS N 35°55' E, 0.4';

THENCE SOUTH 48°15'13" EAST, ALONG THE COMMON LINE OF SAID FINAL PLAT OF STERLINGWOOD, A DISTANCE OF 670.89 FEET, TO A 1/2" IRON ROD FOUND, MARKING THE SOUTH CORNER OF SAID FINAL PLAT OF STERLINGWOOD, ALSO BEING IN THE NORTHWEST LINE OF SUNPARK ESTATES REPLAT, A SUBDIVISION RECORDED IN VOLUME 15, PAGE 167, OF THE PLAT RECORDS OF GALVESTON COUNTY, ALSO BEING THE EAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE SOUTH 41°44'47" WEST, ALONG THE COMMON LINE OF SAID SUNPARK ESTATES REPLAT, A DISTANCE OF 739.68 FEET, TO THE SOUTH CORNER OF THE HEREIN DESCRIBED TRACT, BEING AN INTERIOR CORNER OF SAID SUNPARK ESTATES REPLAT, FROM WHICH A FOUND 1/2" IRON ROD BEARS S 02°37'11" E, 0.33';

THENCE NORTH 48°15'13" WEST, ALONG THE COMMON LINE OF SAID FINAL PLAT OF STERLINGWOOD, A DISTANCE OF 670.89 FEET, TO THE WEST CORNER OF THE HEREIN DESCRIBED TRACT, IN THE SOUTHEAST RIGHT OF WAY OF SAID BRIARMEADOW DRIVE, BEING THE NORTHERLY WEST CORNER OF SAID SUNPARK ESTATES REPLAT, FROM WHICH A 5/8" IRON ROD (FOUND) BEARS S 68°48'34" E, 0.51 FEET;

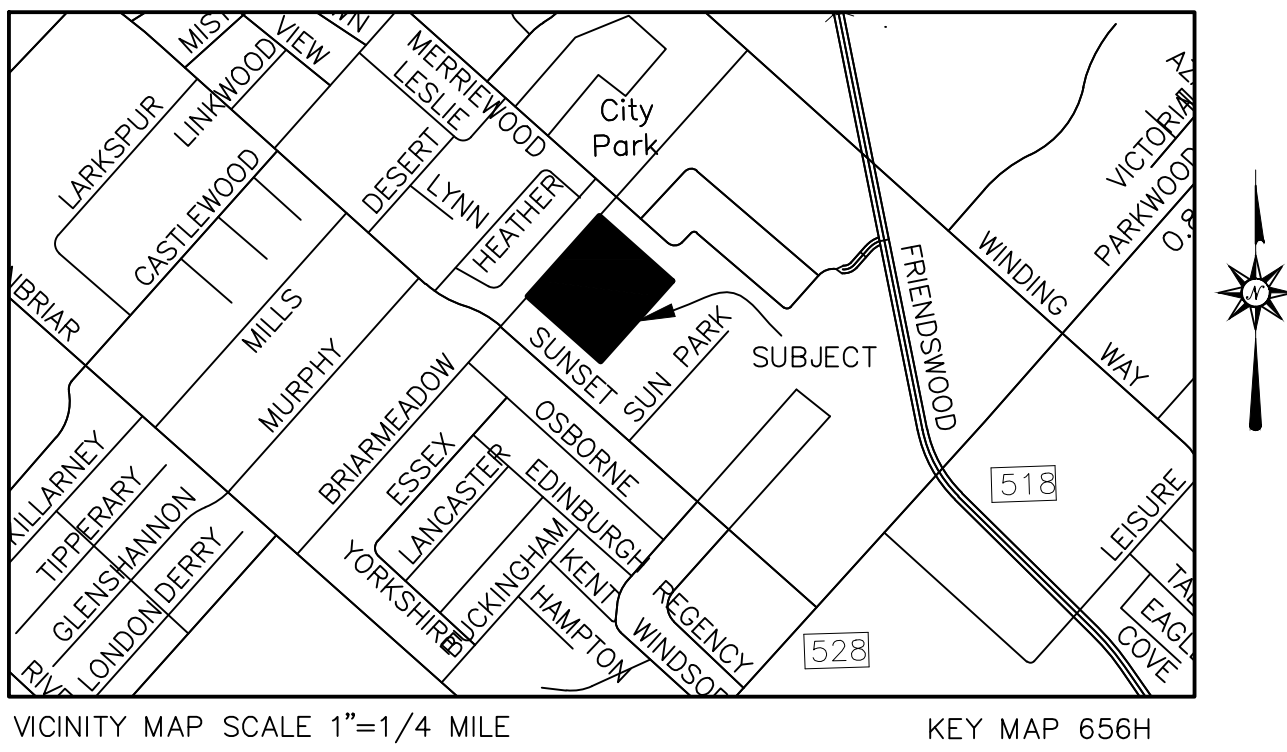
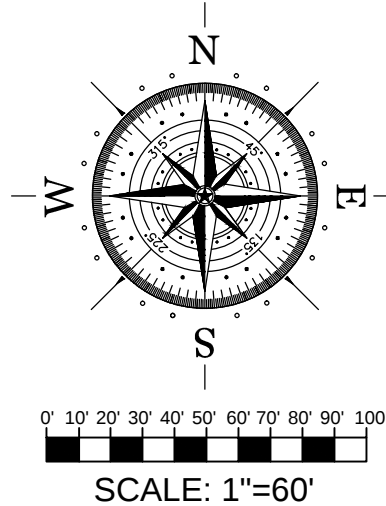
THENCE NORTH 41°44'47" EAST, ALONG THE COMMON LINE OF SAID BRIARMEADOW DRIVE, A DISTANCE OF 739.68 FEET, TO THE POINT OF BEGINNING.

CONTAINING WITHIN THESE CALLS 11.392 ACRES OF LAND, MORE OR LESS.

ZONING DISTRICT	SFR
UNITS PER ACRE	2.7
LOT AREA (MIN. SQ. FT.)	15,600
LOT WIDTH MINIMUM FEET	120 A
YARD MINIMUM FEET FRONT	25 B
YARD MINIMUM FEET REAR	25
YARD MINIMUM FEET SIDE INTERIOR	10
HEIGHT MAXIMUM FEET	40
MAXIMUM LOT COVERAGE	35%

- A. LOTS OF LESS THAN 120 FEET WIDE REQUIRE CURBS, LOTS 120 FEET WIDE OR GREATER MAY USE OPEN DITCHES.
- B. 35 FEET ON MAJOR THOROUGHFARES
- K. PARKING IS REQUIRED IN ACCORDANCE WITH THE PARKING GROUP TABLE IN THE DESIGN CRITERIA MANUAL.

- GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT'S NOTES
- BUILDINGS, FENCES, OR OTHER PERMANENT IMPROVEMENTS SHALL NOT BE ERECTED IN GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT (THE DISTRICT) RIGHT-OF-WAYS OR DRAINAGE EASEMENTS.
 - THE DETENTION AND DRAINAGE FACILITIES ARE TO BE MAINTAINED BY THE PROPERTY OWNER UNLESS ALL REQUIREMENTS MENTIONED IN NOTE # 3 HAVE BEEN SATISFIED AND THE DISTRICT HAS ACCEPTED THE FACILITY FOR MAINTENANCE.
 - THE DETENTION FACILITY IS TO BE MAINTAINED BY THE DISTRICT PROVIDED THAT THE DISTRICT HAS APPROVED THE CONSTRUCTION OF THE FACILITY, THE DEVELOPER HAS PAID THE REQUIRED FEE, THE SITE AND ACCESS HAS BEEN DEEDED TO THE DISTRICT IN FEE, AND SUBJECT TO APPROVAL BY THE BOARD.
 - NO BUILDING PERMIT SHALL BE ISSUED FOR ANY LOT WITHIN THIS SUBDIVISION UNTIL A DETENTION AND DRAINAGE PLAN HAS BEEN APPROVED BY THE DISTRICT. CONSTRUCTION OF DETENTION IMPROVEMENTS SHALL PRECEDE THE CONSTRUCTION OF IMPERVIOUS COVER ON SITE.
 - ADDITIONAL DRAINAGE EASEMENTS MAY BE REQUIRED AT THE TIME A DRAINAGE PLAN IS SUBMITTED TO THE DISTRICT FOR APPROVAL.
 - PLANTINGS, FLOWERBEDS, OR OTHER LANDSCAPING IS NOT PERMITTED WITHIN SIDE LOT DRAINAGE OR DETENTION EASEMENTS.
 - NO BUILDING PERMIT SHALL BE APPLIED FOR UNTIL ALL DRAINAGE AND DETENTION FACILITIES ARE CONSTRUCTED, INSPECTED, AND APPROVED BY THE DISTRICT.
 - NO PERMANENT IMPROVEMENTS INCLUDING LANDSCAPING, PAVING, TREES, SPRINKLERS, UTILITIES, PLAYGROUND EQUIPMENT, PARK BENCHES, TABLES, SPORT FIELDS, PIERS, OR SIDEWALKS SHALL BE CONSTRUCTED WITHIN THE DETENTION FACILITY (INCLUDING MAINTENANCE BERMS) WITHOUT SPECIFIC, PRIOR APPROVAL OF THE DISTRICT.
- GENERAL PLAT NOTES:
- PROPERTY CORNER.
 - ⦿ INDICATES CONTROL MONUMENT.
 - B.L. INDICATES BUILDING LINE.
 - △ INDICATES TEMPORARY PROJECT BENCHMARK
 - F.I.R. INDICATES FOUND IRON ROD.
 - U.E. INDICATES UTILITY EASEMENT.
 - R.O.W. INDICATES RIGHTS-OF-WAY.
 - VOL./PG. INDICATES VOLUME/PAGE.
 - P.O.B. INDICATES POINT OF BEGINNING.
 - G.C.C.F. INDICATES GALVESTON COUNTY CLERK'S FILE.
 - G.C.M.R. INDICATES GALVESTON COUNTY MAP RECORDS.
 - G.C.D.R. INDICATES GALVESTON COUNTY DEED RECORDS.
 - S.S.E. INDICATES SANITARY SEWER EASEMENT.
 - FND TX DOT MON INDICATES FOUND TEXAS DEPARTMENT OF TRANSPORTATION MONUMENT.
 - BRS INDICATES BEARS.
 - P.T. INDICATES POINT OF TANGENCY
 - FLOOD ELEVATION ESTABLISHED BY FEMA, AND AS PRESCRIBED IN THE FLOOD DAMAGE PREVENTION ORDINANCE OF THE CITY OF FRIENDSWOOD, TEXAS.
 - SIDEWALKS AND ADA RAMPS ARE REQUIRED ALONG ALL CURB AND GUTTER STREETS PER THE APPROVED SIDEWALK ACCESSIBILITY PLAN. THE DEVELOPER MUST INSTALL SIDEWALKS AND ADA RAMPS ALONG RESERVES AND COMMON AREAS PRIOR TO THE CITY COUNCIL'S ACCEPTANCE OF THE SUBDIVISION INFRASTRUCTURE. WHEN SIDEWALKS ARE REQUIRED THEY SHALL BE A WIDTH OF NO LESS THAN FOUR FEET AND COMPLY WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE PERMITTED TO BE BUILT NEARER THAN 150 FEET FROM ANY WELL OR RELATED FACILITY, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE WELL OR FACILITY.
 - EXCEPT FOR LOW-PRESSURE DISTRIBUTION SYSTEM PIPELINES AS DEFINED IN CHAPTER 26, OF THE FRIENDSWOOD CITY CODE, NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE ERECTED OR MOVED TO A LOCATION NEARER THAN 50 FEET TO ANY PIPELINE, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE PIPELINE.
 - THE CITY OF FRIENDSWOOD SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE STREETS (DRIVEWAYS, SIDEWALKS, AND EMERGENCY ACCESS EASEMENTS), WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES (DETENTION PONDS, DRAINAGE EASEMENTS, OUTFALLS AND SWALES), RECREATIONAL AREAS, RESERVES AND OTHER PRIVATE FACILITIES THAT ARE WITHIN THE PRIVATE EASEMENTS; THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THESE ITEMS. THE CITY OF FRIENDSWOOD SHALL BE RESPONSIBLE FOR MAINTENANCE OF PUBLIC STREETS, SIDEWALKS, STREET SIGNS, WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES, DRAINAGE EASEMENTS, OUTFALLS AND SWALES THAT ARE WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN PUBLIC AND/OR EXCLUSIVE EASEMENTS. THE MAINTENANCE OF STREET LIGHTS SHALL BE THE RESPONSIBILITY OF TEXAS NEW MEXICO POWER COMPANY (TNMP).
 - ALL UTILITY COMPANIES HAVE BEEN CONTACTED AND THE EASEMENTS SHOWN ON THE PLAT CONSTITUTE ALL OF THE EASEMENT REQUIRED BY THE UTILITY COMPANIES FOR THEIR OPERATIONS.
 - ANY AND ALL RIGHT OF WAY ISLANDS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT, EVEN IF NOT SHOWN ON THE FACE OF THE PLAT, SHALL BE MAINTAINED BY THE PROPERTY OWNER ASSOCIATION.
 - THIS PLAT WAS PREPARED FROM INFORMATION PROVIDED BY TEXAS AMERICAN TITLE COMPANY, GF NUMBER 2791025-02729, DATED AUGUST 5, 2025 WITH AN EFFECTIVE DATE OF JULY 27, 2025.
 - SURFACE COORDINATES SHOWN HEREON ARE BASED ON TEXAS SOUTH CENTRAL ZONE NO. 4204 STATE PLANE GRID COORDINATES (NAD83).
 - THE PLAT BOUNDARY CLOSES TO WITHIN 1:10,000.
 - PORTION OF PIPELINE EASEMENT SHOWN ON SUBJECT TRACT HAS BEEN ABANDONED BY GALVESTON COUNTY CLERKS FILE NO. 202503964.



APPROVED BY THE GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT

OPERATIONS MANAGER

DATE

DISTRICT ENGINEER

DATE

THE APPROVAL GRANTED BY THESE SIGNATURES DOES NOT CONSTITUTE THE DISTRICTS APPROVAL FOR THE GRANTING OF ANY CONSTRUCTION OR BUILDING PERMIT. THIS PRELIMINARY APPROVAL SHALL EXPIRE IN (6) MONTHS.

GCDD REF ID#-----

FLOOD STATEMENT

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 48167C0014G, WITH AN EFFECTIVE DATE OF AUGUST 15, 2019, THIS TRACT IS LOCATED IN FLOOD ZONE "X".

BENCHMARK: NGS HGCD54 (AW5596) - EL 29.50 NAVD 88

THE STATION IS A PUNCH MARK IN THE TOP OF A STAINLESS STEEL ROD DRIVEN INTO THE GROUND AND INSIDE A 1-INCH PVC PIPE THAT IS 20 FEET LONG FILLED WITH GREASE THAT IS ENCASED IN A 5-INCH PVC PIPE WITH A LOGO CAP STAMPED - HGCD54 1986-. THE ROD IS RECESSED 8 CM BELOW THE GROUND SURFACE. LOCATED 280 METERS (86.3 FT) SOUTH-EAST OF THE CENTERLINE OF FM 528 AND 0.6 METER (20 FT) SOUTH-WEST OF THE EDGE OF A CURB.

TEMPORARY BENCHMARK:

TEMPORARY BENCHMARK IS A SET MAG NAIL (ELEVATION: 26.21') LOCATED NORTH 30°25'00" EAST, 157.74' FROM THE WEST CORNER OF SUBJECT PLAT.

PRELIMINARY PLAT STERLING ESTATES

A SUBDIVISION OF 11.392 ACRES BEING LOTS 7 AND 8 IN BLOCK 5 AND LOTS 3 AND 4 IN BLOCK 7 OF FRIENDSWOOD SUBDIVISION IN THE SARAH MCKISSICK OR J.R. WILLIAMS LEAGUE, ABSTRACT 151, RECORDED IN VOLUME 7, PAGE 21 OF THE GALVESTON COUNTY MAP RECORDS
GALVESTON COUNTY, TEXAS.

CITY OF FRIENDSWOOD

24 LOTS 2 BLOCKS 3 RESERVES

DATE: SEPTEMBER 22 2025

OWNER

STERLING ESTATES LLC
JOHN ADAM HILL, PRESIDENT
1506 E. WINDING WAY BLDG. 106
FRIENDSWOOD, TEXAS 77456
PHONE: 281-482-3034

~

ENGINEER

DANIEL SCOTT ENGINEERING
SCOTT SHERIDAN
P.O. BOX 1549
PHONE: 281-519-8530
TBPELS F-4827

STERLING ESTATES

PRO-SURV

SURVEYING & MAPPING SERVICES
P.O. BOX 1366
FRIENDSWOOD, TX 77549
PHONE: 281-996-1113
EMAIL: orders@prosurv.net
T.B.P.E.L.S. FIRM #10119300
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FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: **SITE PLAN AMENDMENT: 109 E SHADOWBEND AVE**

Consider approval of a site plan amendment for a proposed building renovation and site improvements at 109 E Shadowbend Ave.

Action:

SUMMARY / ORIGINATING CAUSE

Zoning: Downtown District (DD)

Address: 109 E Shadowbend Ave

The property owner is proposing to convert the existing single family home into a business office which will house a computer software company. They are raising the roof of the current structure to provide for higher ceilings. Site improvements required to meet the Downtown District (DD) zoning regulations include a six-foot sidewalk along both street frontages. Head-in parking and shared parking are permitted in DD. Four parking spaces, two of those being handicapped accessible, are being added to the site. Existing parking spaces across E Shadowbend Ave are available for use by the public in accordance with a license agreement with First Baptist Church. Six spaces will be accounted for in those public spaces. The owner is requesting that the Commission consider an alternate landscape plan by allowing the existing trees to count towards the minimum required landscaping. The total caliper inches existing exceeds the amount that would be required for new landscaping.

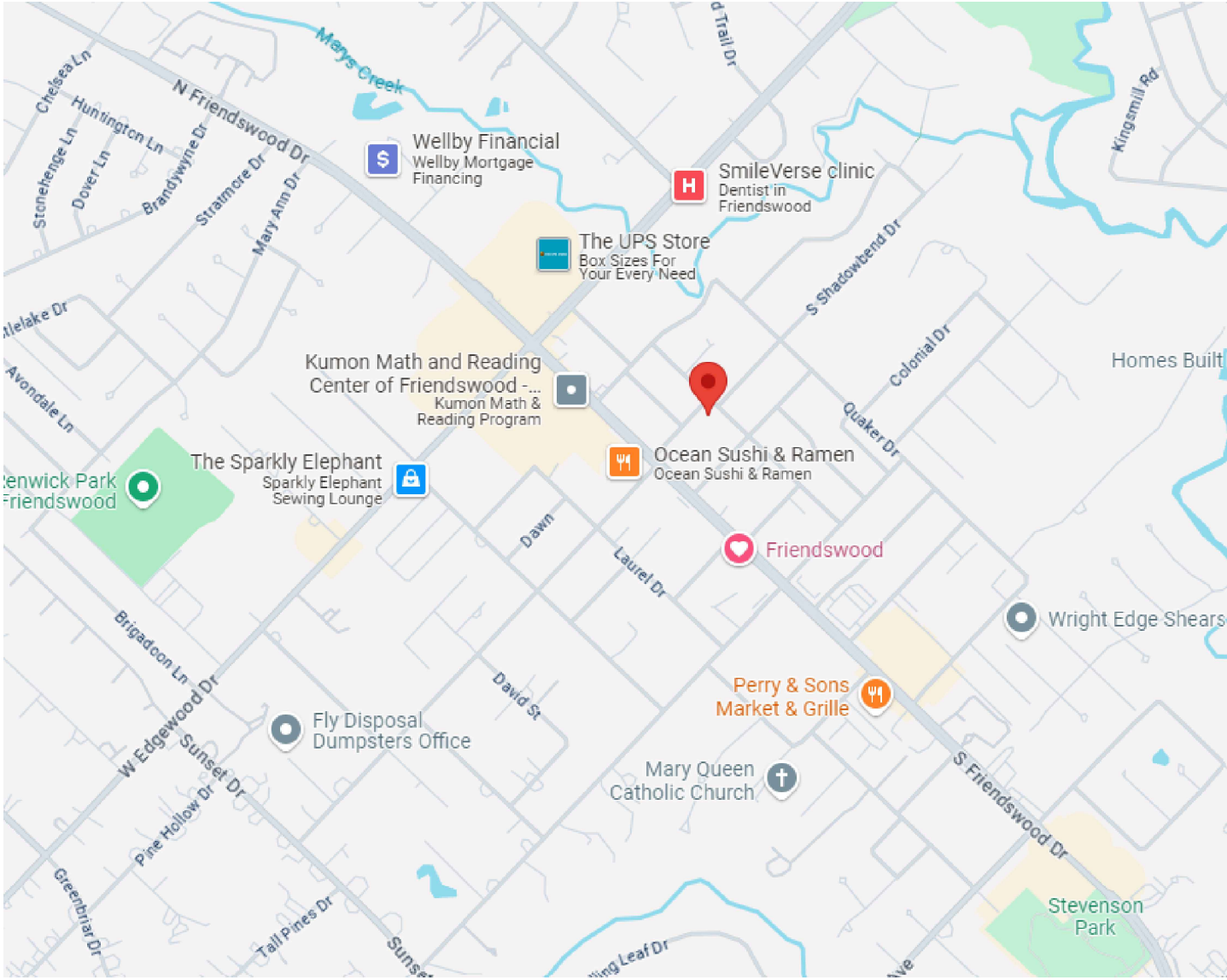
IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department. The proposed project appears to be in compliance with current city codes. This plan is subject to recommendation by the Planning and Zoning Commission and approval by City Council.

ATTACHMENTS

1. Source Solutions Cover Sheet
2. Source Solutions Site Plan
3. Source Solutions Building Elevations
4. Source Solutions Photometric Plan



SITE PLAN

SHOWN FOR REFERENCE ONLY - NOT TO SCALE

GENERAL NOTES:

- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. GC SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SET SHALL INCLUDE ALL ADDENDA, BULLETINS AND CHANGE ORDERS.
- GC SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER.
- GC TO REFER TO THESE DOCUMENTS AS WELL AS SPECIFICATIONS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED 'BY OWNER' OR 'N.I.C.' (NOT IN CONTRACT) ARE TO BE SUPPLIED BY GC. UNLESS NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GC.
- THE TERM 'WORK' AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- BEFORE SUBMITTING A BID, THE GC SHALL VISIT THE PREMISES AND FAMILIARIZE HIMSELF/HERSELF WITH THE EXISTING CONDITIONS AND THE EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT.
- BEFORE CONSTRUCTION BEGINS, THE GC SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE GC MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEERS, THE GC SHALL NOTIFY THE OWNER AND ARCHITECT.
- GC SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH LOCAL, STATE AND FEDERAL CODES. IN THE EVENT OF CONFLICT BETWEEN THE LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, GC SHALL NOTIFY OWNER AND ARCHITECT.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. JOB SITE SAFETY, PROTECTION OF THE ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL SAFETY REGULATIONS ALONG WITH COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS THE GC'S RESPONSIBILITY.
- GC SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE OF GYP BOARD UNLESS OTHERWISE NOTED.
- OWNER SHALL PAY ALL TAXES, SECURE BUILDING PERMIT AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO BUILDING PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION, CERTIFICATE OF OCCUPANCY SURVEY'S AND INSPECTIONS.
- SCOPE OF WORK. THE GC SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. GC SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO, ARCHITECTURAL, ELECTRICAL, AND MECHANICAL.
- THE BID PRICES SHALL INCLUDE EVERYTHING NECESSARY OR PROPER FOR PERFORMING AND COMPLETING THE WORK REQUIRED AS INDICATED BY THE PLANS AND SPECIFICATIONS, TO PROVIDE FINISHED WORK. ANYTHING OMITTED THEREFROM WHICH IS CLEARLY NECESSARY FOR THE COMPLETION OF THE WORK OR IT'S APPURTENANCE SHALL BE CONSIDERED A PORTION OF THE WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR SHOWN ON THE DRAWINGS.
- INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE GC.
- GUARANTEE: THE GC SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THEAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE GC SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO THEIR ATTENTION.
- PROTECTION: THE GC SHALL BE RESPONSIBLE FOR THEIR WORK AND THAT OF THEIR SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK FOR THE ACTS OF THEIR EMPLOYEES.
- GC IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES.
- THE TERM "GC" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUBCONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUBCONTRACTOR FOR ANY PART OF THE WORK.

DRAWING INDEX

TITLE SHEET

- T-1 TITLE SHEET & CODE INFORMATION
MISC-1 FRIENDSWOOD FIRE CODE DESIGN & COMPLIANCE

ADA COMPLIANCE

- ADA-1 ACCESSIBILITY ROUTE COMPLIANCE
ADA-2 TAS COMPLIANCE OVERVIEW

SITE

- TOPO & BOUNDARY SURVEY
SP-1 EXISTING /DEMO SITE PLAN
SP-2 NEW SITE PLAN

DEMOLITION

- D-1 DEMO/EXISTING FLOOR PLAN
D-2 DEMO/EXISTING ROOF PLAN
D-3 DEMO/EXISTING/NEW OVERLAY FLOOR PLAN

ARCHITECTURAL

- A-0 NEW PLUMBING/STUBB-OUT LAYOUT
A-1 NEW FLOOR PLAN
A-2 DOOR & WINDOW SCHEDULE
A-3 NEW ROOF PLAN
A-4 NEW EXTERIOR ELEVATIONS
A-5 NEW EXTERIOR ELEVATIONS
A-6 NEW LIGHTING PLAN
A-7 NEW POWER PLAN
A-8 ADA RESTROOM DETAILS
A-9 INTERIOR ELEVATIONS
A-10 NEW FINISH FLOOR PLAN

STRUCTURAL

- COVER SHEET
FDN 1-2 FOUNDATION DESIGN
FDN 2-2 FOUNDATION DESIGN
1-3 WINDSTORM WALL DETAIL
2-3 CEILING FRAMING PLAN
3-3 ROOF FRAMING PLAN
CS 1-1 WINDSTORM FRAMING & CONSTRUCTION REQS.
WS 1-2 WINDSTORM FRAMING & CONSTRUCTION REQS.
WS 2-2 WINDSTORM FRAMING & CONSTRUCTION REQS.

PHOTOMETRIC PLAN

- O-3591 SITE PHOTOMETRIC LIGHTING PLAN
O-3591 SITE PHOTOMETRIC LUMENS PLAN

BUILDING CODE ANALYSIS

CONSTRUCTION TYPE:	TYPE V--B
OCCUPANCY CLASSIFICATION:	"B" BUSINESS
SQUARE FOOTAGE:	2,544 SF
OCCUPANT LOAD:	26 OCCUPANTS



Office Remodel
109 E. Shadowbend Ave.
Friendswood, Texas 77546

SCOPE OF WORK (TO INCLUDE BUT NOT LIMITED TO):

REMODEL OF EXISTING 2,544SF ONE STORY BUILDING TO INCLUDE (BUT NOT LIMITED TO) NEW WALL PARTITIONS, MECHANICAL, ELECTRICAL, PLUMBING, NEW FINISHES, NEW ADA COMPLIANT DOORS AND HARDWARE & NEW LIGHT FIXTURES. EXTERIOR ENHANCEMENTS TO INCLUDE BUT NOT LIMITED TO NEW ROOF, NEW COVERED PORCH,PAINTING, NEW WINDOWS & DOORS. SITE IMPROVEMENTS INCLUDE NEW PARKING SPACES & NEW SIDEWALKS.

BUILDING CODE INFORMATION

INTERNATIONAL BUILDING CODE, 2018 ED. WITH CITY OF FRIENDSWOOD AMENDMENTS
INTERNATIONAL MECHANICAL CODE, 2018 ED. WITH CITY OF FRIENDSWOOD AMENDMENTS
INTERNATIONAL PLUMBING CODE, 2018 ED. WITH CITY OF FRIENDSWOOD AMENDMENTS
NATIONAL ELECTRICAL CODE, 2017 ED. WITH CITY OF FRIENDSWOOD AMENDMENTS
INTERNATIONAL FIRE CODE, 2018 ED. WITH CITY OF FRIENDSWOOD AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE, 2018 WITH CITY OF FRIENDSWOOD AMENDMENTS
TEXAS ACCESSIBILITY STANDARDS; 2012 EDITION

ADA TDLR REGISTRATION #:

TABS2025023760



NEW EXTERIOR RENDERING

** RENDERINGS ARE FOR REFERENCE ONLY,
VERIFY ALL MATERIALS AND FINISHES WITH
DESIGNER AND OWNER **



12110 VERDUN LANE
FRIENDSWOOD, TX 77546
979-505-0393
WWW.TOWNSQUAREARCHITECTURE.COM



Source Web Solutions - Office Remodel
109 E. Shadowbend Ave.
Friendswood, Texas 77546

REVISION HISTORY

	DATE	DESCRIPTION
1		
2		

PROJECT NO:

DATE BEGAN:

SCALE: SEE DRAWING

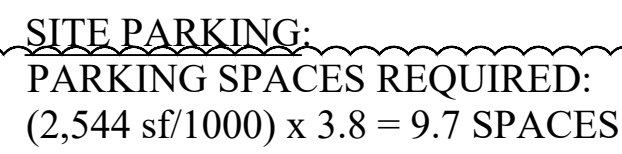
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TITLE SHEET

DRAWING

T-1

1. G.C. TO FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. SIDEWALKS TO HAVE A 5% MAXIMUM RUNNING SLOPE AND A 2% MAXIMUM CROSS SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS
4. FIELD VERIFY ADA GRADES PRIOR TO PLACING PAVEMENT. CONTRACTOR SHALL CONSTRUCT ALL ACCESSIBLE ROUTES IN ACCORDANCE WITH ADA STANDARDS AND T&S.
5. ACCESSIBLE ROUTE: NO RISE GREATER THAN 1/4 INCH ALLOWED. SLOPE SHALL BE LESS THAN 1:20 (5%) WITH A 6'-0" X 6'-0" FLAT AREA LOCATED OUTSIDE THE ENTRANCE DOOR. HANDICAPPED PARKING SHALL BE LEVEL (NO SLOPE). IF AN ACCESSIBLE ROUTE HAS A RUNNING SLOPE GREATER THAN 1:20 THEN IT IS A RAMP AND MUST COMPLY ACCORDINGLY.
6. CROSS SLOPE: NOWHERE SHALL THE CROSS SLOPE OF A PEDESTRIAN (INCLUDING ACCESSIBLE) ROUTE EXCEED 1:50 (2%). SLOPES SHALL ALWAYS DIRECT WATER AWAY FROM THE BUILDING STRUCTURE AND TOWARD THE NEAREST STORM DRAIN UNO.
7. RAMPS: THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP SHALL BE 1:12 WITH A MAXIMUM RISE FOR ANY RUN OF 30 INCHES. THE MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 44 INCHES UNO WITH A FINISH LENGTH OF 60 INCHES CLEAR AT THE TOP AND BOTTOM OF RAMP.
8. ALL SIDEWALKS TO BE LIGHT BROOM FINISH UNLESS NOTED OTHERWISE.
9. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.



SHARED PARKING IN ACCORDANCE WITH ZONING
ORDINANCE SECTION N.3

PARKING LICENSE AGREEMENT EXECUTED WITH FIRST
BAPTIST CHURCH, 111 E. HERITAGE DRIVE, DATED MAY
4, 2020

** ALL TREES ARE EXISTING TO REMAIN,
 NO TREES WILL BE REMOVED WITH THE REMODEL OF THIS
 BUILDING **

LANDSCAPE TABLE – DOWNTOWN DISTRICT

Small Parking Lot (20 cars or less)
Total Area of Parking & Driveways (area) 860 X 10% = 86 Landscape Area Required
1750 Landscape Area Provided

1 tree (Class 1 or 2) per 250sqft of landscape area required
No. of trees required: 1
No. of trees provided: 8

OR Large Parking Lot (more than 20 cars)
Total Area of Parking & Driveways (area) _____ X 10% = _____ Landscape Area Required
_____ Landscape Area Provided

Required landscaping _____ multiplied by .50 = _____ Landscape area in Islands Required
_____ Landscape area in Islands Provided
*1 tree required per island

AND Perimeter Landscaping: 1 tree per 40 linear feet for property lines not requiring a landscape buffer
Perimeter Trees Required: 5
Perimeter Trees Provided: 7 1

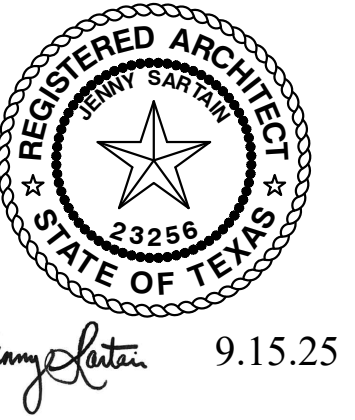
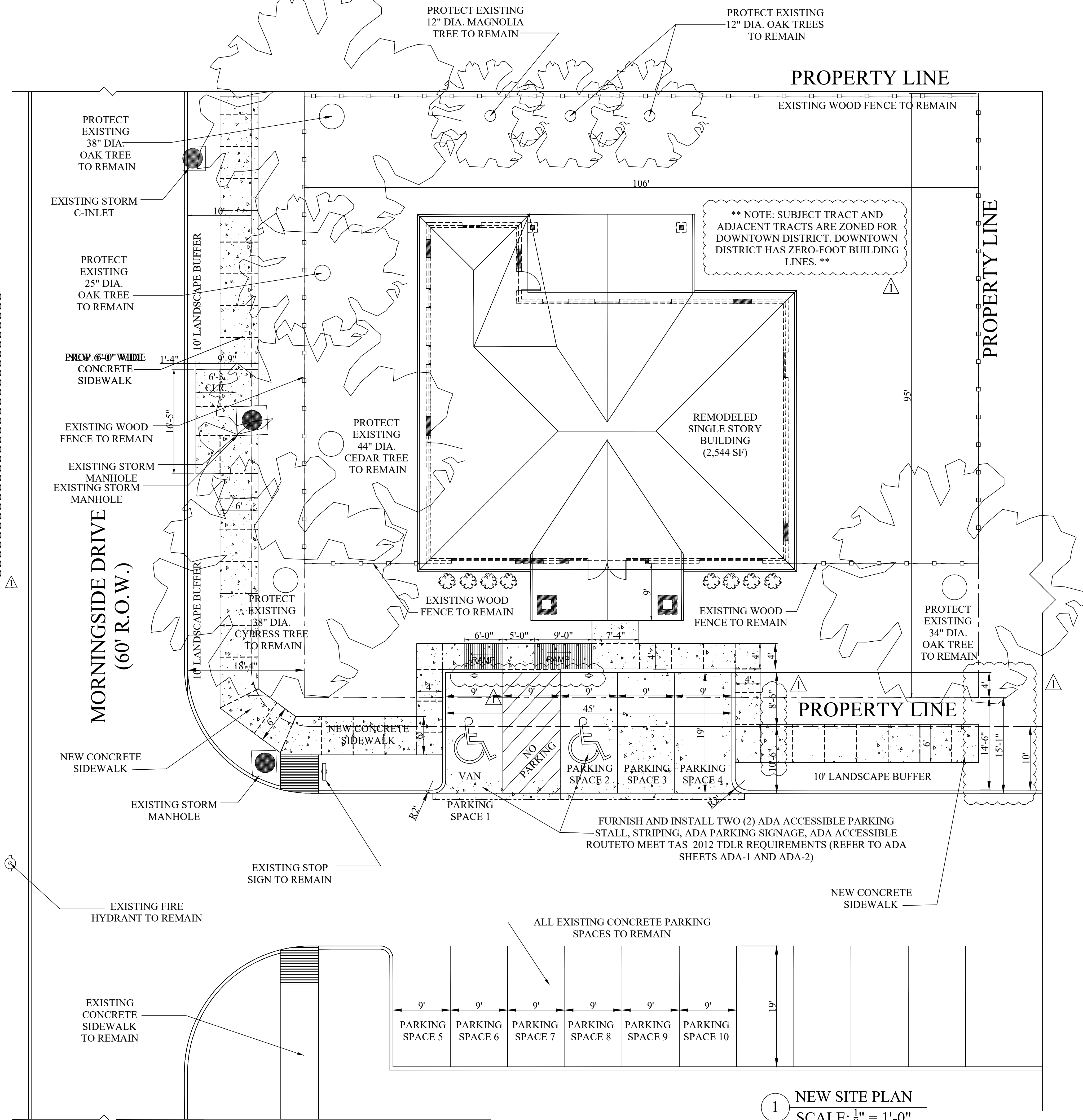
PLUS Landscape Buffers (to separate uses per Subsection 8.1)
Buffer Width separating uses: Minimum 10 feet *
Requires 1 tree planted every 25 linear feet; minimum 2" caliper tree measured 18 inches above natural ground level

PLUS Landscape Parkways: area parallel/adjacent to each street's back of curb

On FM 2351 and FM 518 – landscape parkway 15ft. (min. 8ft. brick-paved sidewalk and 7ft landscape area)
☐ Minimum 2 decorative street lights per Design Criteria Manual
☐ Minimum 2 decorative benches per Design Criteria Manual
☐ Trees required every 25 linear feet; Class 2 or 3 trees; half of the required trees shall be minimum 4-inch caliper; half of the required trees shall be minimum 2-inch caliper

On adjacent side streets – landscape parkway 10ft. (min. 6ft concrete sidewalks)
☒ Trees required every 25 linear feet; Class 2 or 3 trees; required trees shall be minimum 2-inch caliper

*200' Lane Ft. = 8 trees @ 2" = 16" minimum; Lot has 8 trees totaling 215"
existing = remaining*



TOWN
SQUARE
ARCHITECTURE

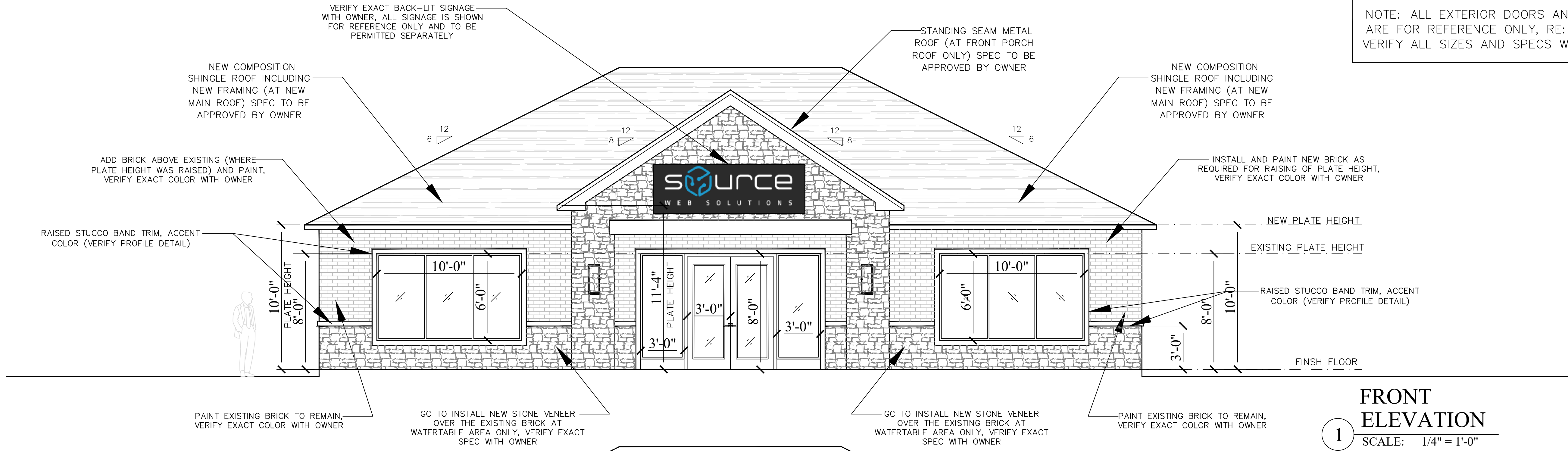
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	DATE	DESCRIPTION
1	9.10.25	CITY COMMENTS
2		

NEW SITE PLAN

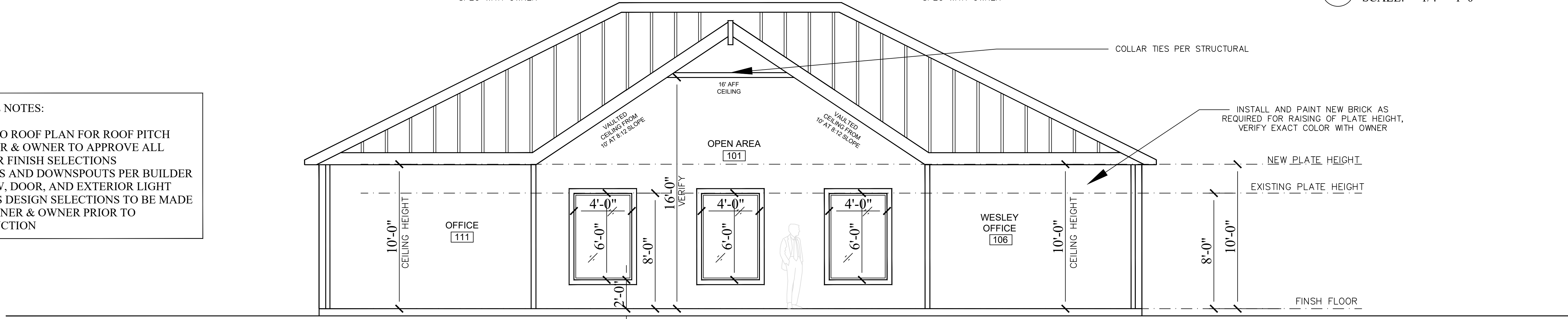
SP-2



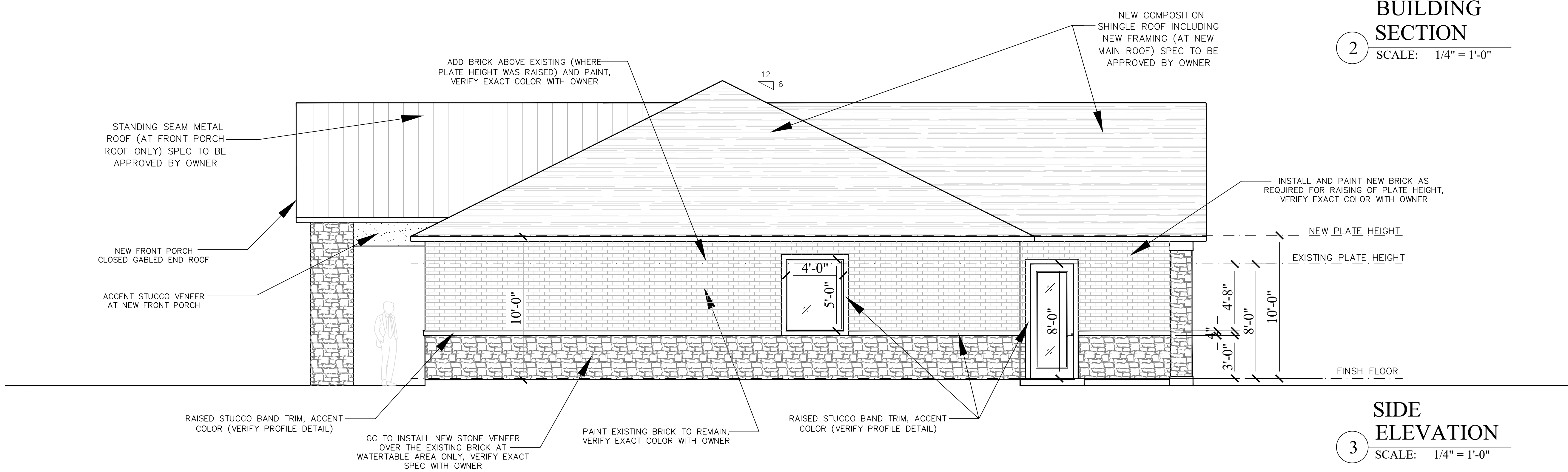
NOTE: ALL EXTERIOR DOORS AND WINDOW ARE FOR REFERENCE ONLY, RE: A-1 AND VERIFY ALL SIZES AND SPECS WITH OWNER

FRONT ELEVATION
1 SCALE: 1/4" = 1'-0"

GENERAL NOTES:
- REFER TO ROOF PLAN FOR ROOF PITCH
- DESIGNER & OWNER TO APPROVE ALL EXTERIOR FINISH SELECTIONS
- GUTTERS AND DOWNSPOUTS PER BUILDER
- WINDOW, DOOR, AND EXTERIOR LIGHT FIXTURES DESIGN SELECTIONS TO BE MADE BY DESIGNER & OWNER PRIOR TO CONSTRUCTION



BUILDING SECTION
2 SCALE: 1/4" = 1'-0"



SIDE ELEVATION
3 SCALE: 1/4" = 1'-0"

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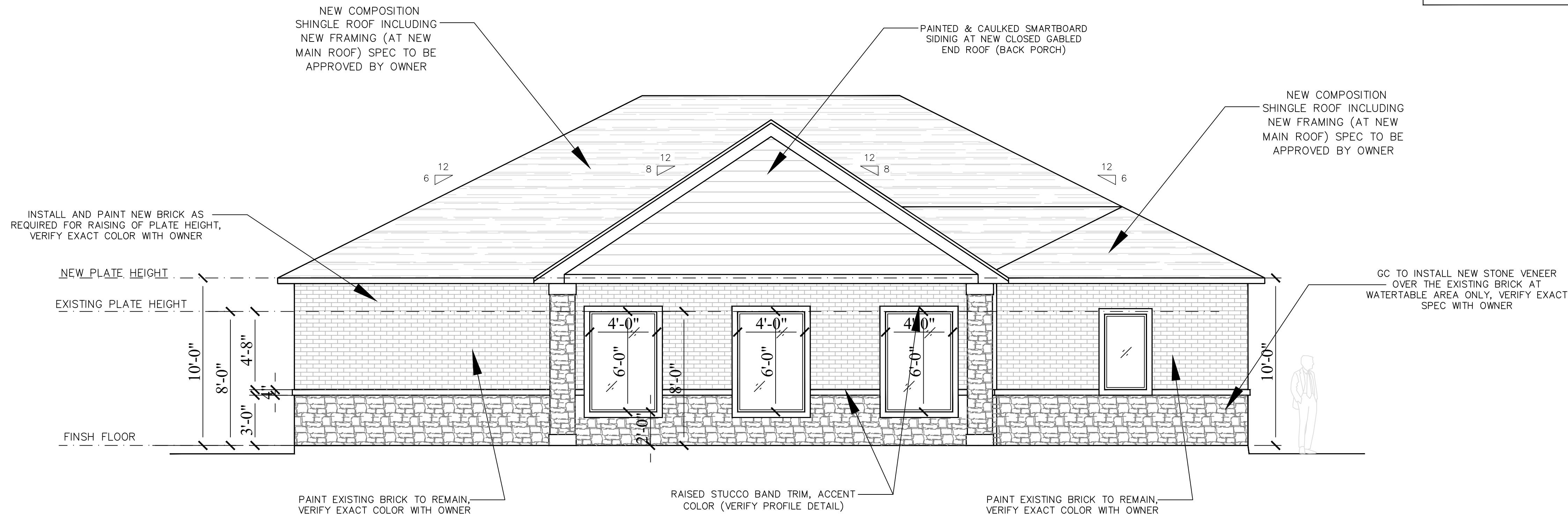
DATE	DESCRIPTION

PROJECT NO: 25109
DATE BEGAN: 7.18.25
SCALE: SEE DRAWING

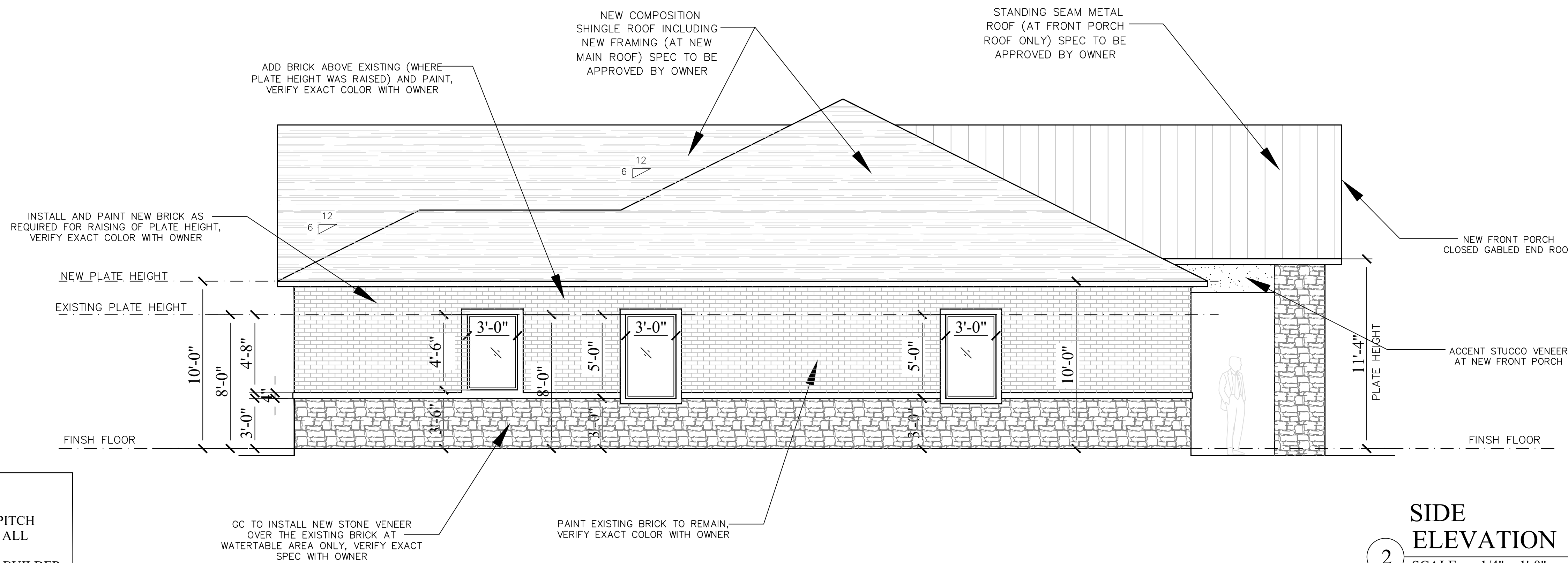
DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING
A-4

NOTE: ALL EXTERIOR DOORS AND WINDOW ARE FOR REFERENCE ONLY, RE: A-1 AND VERIFY ALL SIZES AND SPECS WITH OWNER



BACK
ELEVATION
1
SCALE: 1/4" = 1'-0"



SIDE
ELEVATION
2
SCALE: 1/4" = 1'-0"

GENERAL NOTES:
- REFER TO ROOF PLAN FOR ROOF PITCH
- DESIGNER & OWNER TO APPROVE ALL EXTERIOR FINISH SELECTIONS
- GUTTERS AND DOWNSPOUTS PER BUILDER
- WINDOW, DOOR, AND EXTERIOR LIGHT FIXTURES DESIGN SELECTIONS TO BE MADE BY DESIGNER & OWNER PRIOR TO CONSTRUCTION



7.17.25

12110 VERDUN LANE
FRIENDSWOOD, TX 77546
979-505-0393
WWW.TOWNSQUAREARCHITECTURE.COM



Source Web Solutions - Office Remodel
109 E. Shadowbend Ave.
Friendswood, Texas 77546

REVISION HISTORY

DATE	DESCRIPTION

PROJECT NO: 25109
DATE BEGAN: 7.18.25
SCALE: SEE DRAWING

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING
A-5



11325 Cash Rd.
Suite 100
Stafford, TX 77477

Call (713) 389-5680

Drawing Number:
No. O3591
Job Name
Source Web Solutions

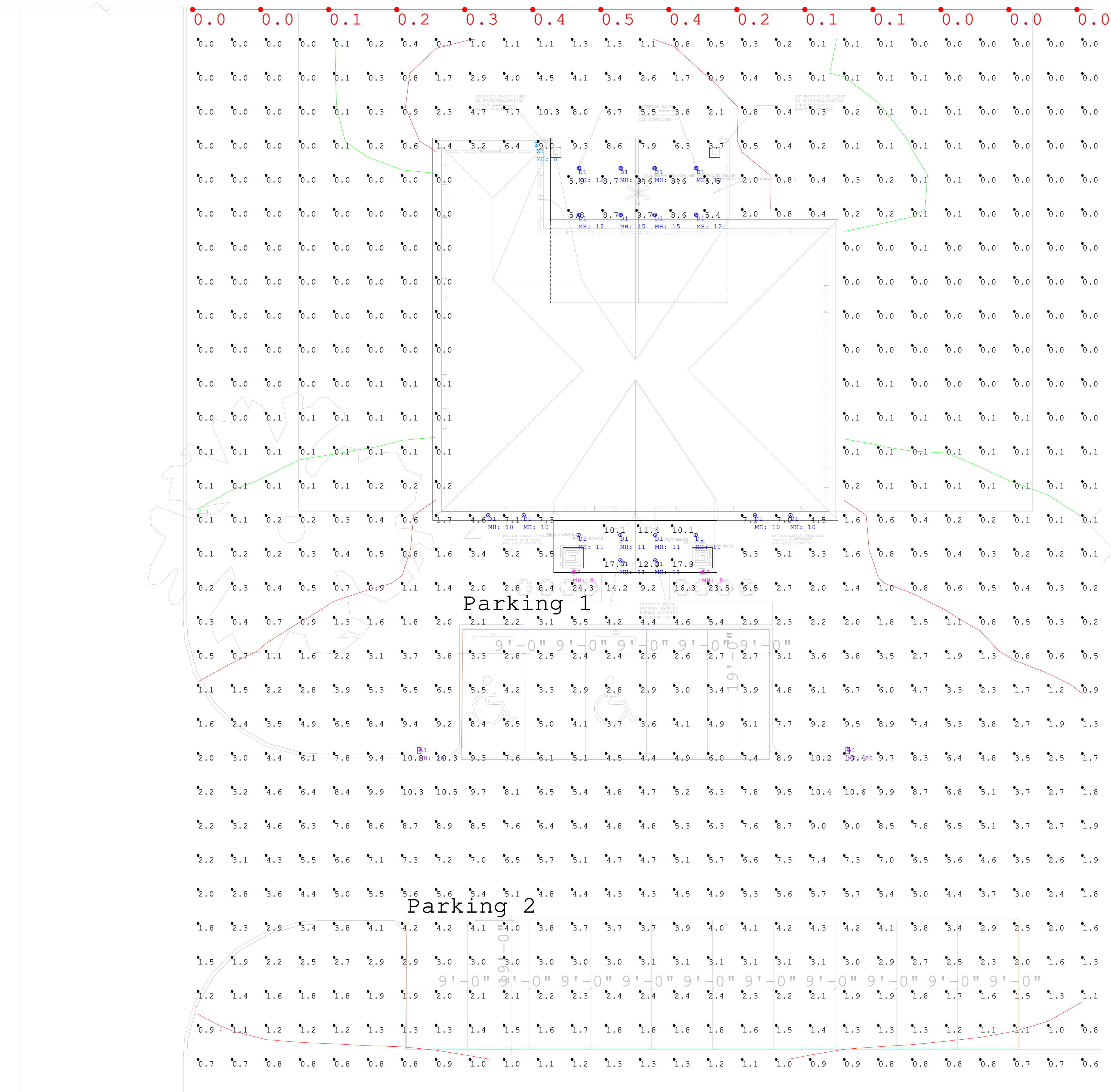
Drawn By: Edwin Liwag

Date:9/10/2025

Version Number:

Version 2

The Lighting Analysis, Energy Analysis and/or Visual Simulation represents an prediction of lighting system performance based on parameters supplied by others.The measurment may vary from the actual field conditions. SLG recommends that measrment parameters and other information be verified for variation reduction.



Scale: 1 inch= 8 Ft.

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens
	1	W1	Single	0.900	WV LS70 G2 FSK-3000Lm-40K	18	2996
	2	L1	Single	0.900	LCH 4R LS34 D70 G2 FSK-3460Lm-40K-Full	36	3484
	18	D1	Single	0.900	DRS 6R LS15 G3 FSK-750Lm-40K	7	725
	2	A1	Single	0.900	ALF LS250 T4 G2 FSK-22100Lm-40K	145.5	22831

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entry	Illuminance	Fc	13.25	17.9	10.1	1.31	1.77
Lot	Illuminance	Fc	2.50	24.3	0.0	N.A.	N.A.
Property Line	Illuminance	Fc	0.16	0.5	0.0	N.A.	N.A.
Rear Canopy	Illuminance	Fc	7.65	9.7	5.4	1.42	1.80
Parking 1	Illuminance	Fc	4.38	9.3	2.4	1.83	3.88
Parking 2	Illuminance	Fc	2.56	4.3	1.1	2.33	3.91

Isoline Legend	
Illuminance (Fc)	
Color	Value
	0.1
	1



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: **SITE PLAN AMENDMENT: 4500 AND 4552 FM 2351**

Consider approval of a site plan amendment for Industry Park Friendswood Phase Two located at 4500 and 4552 FM 2351.

Action:

SUMMARY / ORIGINATING CAUSE

Zoning: Industrial (I)

Address: 4500 and 4552 FM 2351

June 26, 2025 - P&Z Commission voted to approve an amended landscape plan to include the 9 mitigation trees and 6 additional trees throughout the site.

Current request: "Respectfully, the development would like to request that the Commission consider 6 of these 9 trees to take the place of the 6 additional trees required at the June 26, 2025 meeting. This would allow the development to satisfy the requirements of the Commission while still being attentive to the shallow utilities, drainage maintenance, and security issues that arise by placing them elsewhere." See attached email.

The original approved landscape plan is attached with a note of the waiver of the 17 buffer trees in June 2025. Also attached is the proposed landscape plan.

History of item provided in June 2025

The original site plan approval for this project took place on June 9, 2022 included 17 trees plus the 17 buffer trees for a total of 34 trees. Nine mitigation trees were the only trees required.

A site plan amendment request was partially approved June 2023....minutes of the P&Z meeting and approval letter are attached. The request to waive the buffer trees was not approved.

Construction was completed in November 2023. Since that time, the owner has obtained letters from adjacent commercial properties supporting the concept of not installing the buffer trees (letters attached). He also contacted multiple council members expressing his concerns about the requirement to install the buffer trees. A proposal to adopt an appeals process to City Council to override board and commission decisions was considered early this year and not adopted.

Staff initiated a change to the Zoning Ordinance to give the Commission more latitude in deciding landscaping requirements when considering existing conditions of adjacent properties....revised ordinance is attached.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. EMAIL REQUEST RE_ Industry Park Ph 2 Amendment Approval
2. Original Approved Landscape Plan for Industry Park Phase II June 2022
3. Proposed Landscape Modifications October 2025

From: [Stephanie Canady](#)
To: [Becky Bennett](#)
Cc: [Aubrey Harbin](#)
Subject: [EXTERNAL]RE: Industry Park Ph 2 Amendment Approval
Date: Tuesday, August 19, 2025 4:52:26 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)

Good afternoon,

The P&Z Commission approved amendments to the site plan for 4500 & 4552 FM 2351 at their regular meeting on June 26, 2025 to require 6 additional trees at suggested locations provided by the Commission. Upon further investigation as to the location of these trees, it was discovered that 3 of the proposed tree locations (west side of the property) are in direct conflict with existing gas and telecommunication lines. 2 of 3 proposed tree locations on the east side of the property appear to be located inside the overhead power easement. While there is room for some trees outside of the overhead power easement, the facility does not prefer to install trees in this area due to the clear view that is given to the security camera system to monitor FM 2351. Footage from this camera was actually given to the Friendswood police department recently as part of an investigation.

The intent of the development is to provide a secure storage facility for local residents that provides first class amenities close to home and in a way that is pleasing to the eye and affordable. The development has been attentive to the needs of its neighbors in terms of improving the quality of aesthetics, drainage, and security to the area. The initial approved landscaping plan went over and above the requirements, but pivoted when it was determined that it would affect shallow utilities, drainage maintenance, and security. Some trees were replaced by other nearby plants whose root systems would not damage these systems. Many other plants (roses, groundcover, etc.) were also installed that are not on the landscaping plan because the focus of the requirement is on trees.

For clarification, the current mitigation trees provided by this project satisfy the combined requirements for the development of this tract and the adjacent tract directly behind it.

Additionally, the development partnered with Timber Creek Golf Club to extend a landscaped median including 9 trees (Class 2 Common Crapemyrtles per Appendix D - Qualified Tree List) and various other plants at the entrance of the development near FM 2351 in concert with the expanded utilities for the development. These trees were not required and no credit was given for any of these trees.

Respectfully, the development would like to request that the Commission consider 6 of these 9 trees to take the place of the 6 additional trees required at the June 26, 2025 meeting. This would allow the development to satisfy the requirements of the Commission while still being attentive to the shallow utilities, drainage maintenance, and security issues that arise by placing them elsewhere.

Thank you for the consideration,

Stephanie Canady, P.E.
Project Manager

Coastal Bend Engineering
4558 FM 2351
Friendswood, TX 77546
Phone: 281-648-1268
Fax: 281-648-0832
Mobile: 713-884-5228
Email: scanady@cbpd.net

From: Becky Bennett <bbennett@friendswood.com>
Sent: Monday, June 30, 2025 10:24 AM
To: Stephanie Canady <scanady@cbpd.net>
Cc: Aubrey Harbin <aharbin@friendswood.com>
Subject: Industry Park Ph 2 Amendment Approval

Good morning Stephanie,
Please find attached the approval letter for landscape amendments at Industry Park Phase 2.

Thank you.



Becky Bennett

Assistant Planner

bbennett@friendswood.com

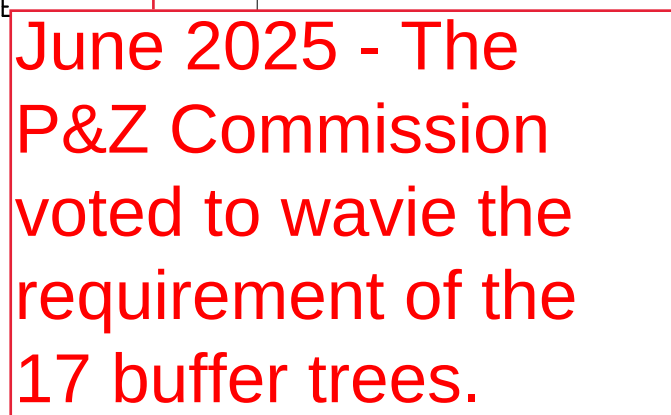
Dept: 281-996-3201

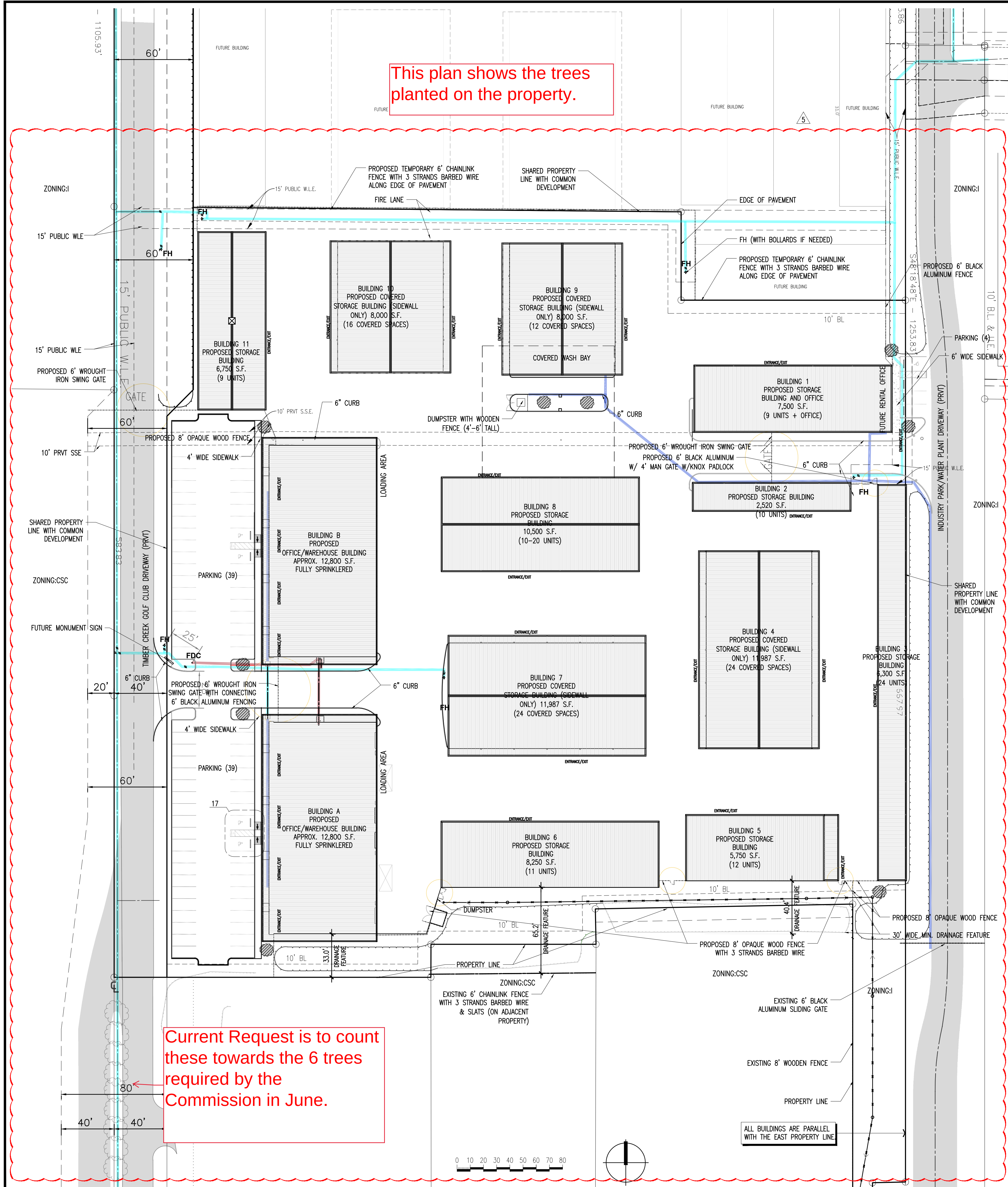
Direct: 281-996-3290

City of Friendswood

910 S. Friendswood Dr. Friendswood, Texas 77546

www.friendswood.com





NOTES:

- REQUIRED PERIMETER LANDSCAPING/SCREENING BETWEEN CSC & I ZONING FALLS UNDER SECTION 8(1)(2)(a)(3) WHERE USES ARE SEPARATED BY A FEATURE WITH A MINIMUM WIDTH OF 30 FT. THE COMMON PROPERTY LINES SHARED WITH EXISTING DEVELOPMENTS ARE LOCATED MOSTLY INSIDE EXISTING DRAINAGE FEATURES. THE WIDTH OF THE EXISTING DRAINAGE FEATURES ADDED TO THE WIDTH OF THE NEW DRAINAGE FEATURES IS GREATER THAN 30 FT FOR THE ENTIRE DISTANCE ALONG THE SHARED PROPERTY LINES.
- THE ALTERNATE LANDSCAPE PLAN PROVIDES AN 8' HIGH OPAQUE FENCE (WOOD) ON THE PROPERTY LINE AND SIDES OF DETENTION FEATURE TO EXISTING FENCING, WHERE APPLICABLE. WHERE THE BACKS OF BUILDINGS HAVE GAPS, AN 8' HIGH CHAIN LINK FENCE WITH BARBED WIRE IS PROVIDED WITH GATES AS REQUIRED BY THE FIRE MARSHALL FOR ACCESS AROUND BUILDINGS. EXISTING FENCING FROM THE EXISTING DEVELOPMENTS IS SHOWN ON THE SITE PLAN TOGETHER WITH THE PROPOSED FENCING LIMITS.
- ROOT BARRIERS WILL BE INSTALLED AS NEEDED WHERE LANDSCAPING IS INSTALLED NEAR IMPROVEMENTS.

● SOUTHERN MAGNOLIA (CLASS 1, SIZE 1 TREE)

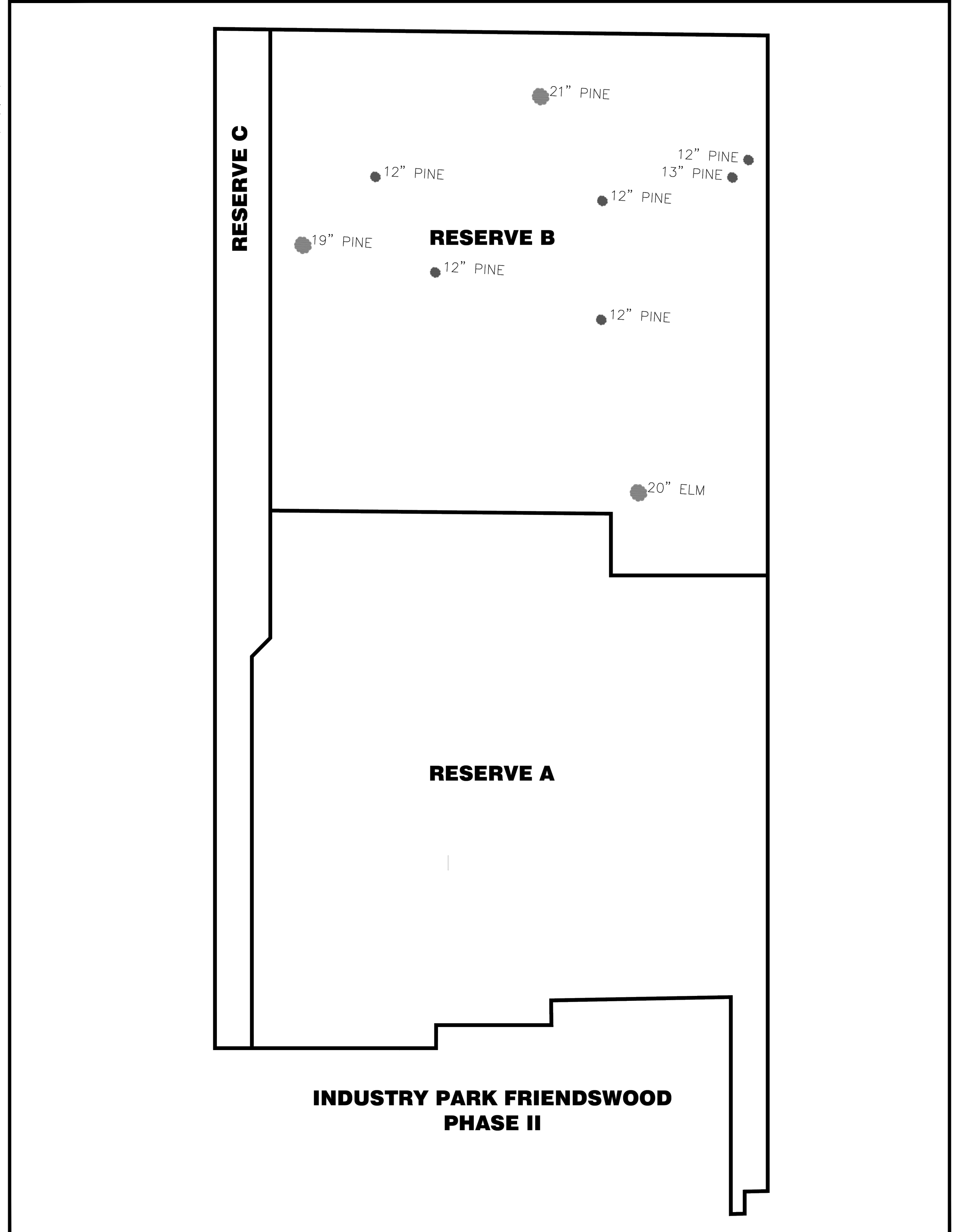
02 LANDSCAPING NOTES

BEFORE THE PROPERTY CALLED INDUSTRY PARK FRIENDSWOOD PHASE II WAS CLEARED, TREE SURVEY IDENTIFIED 9 CLASS 2 TREES WITH A DIAMETER BETWEEN 12" AND 24". ALL OF THE TREES WERE LOCATED WITHIN THE BOUNDARY OF RESERVE B.

MINIMUM NUMBER OF MITIGATION TREES REQUIRED = 9 CLASS 2 TREES FOR INDUSTRY PARK FRIENDSWOOD PHASE 2

RESERVE A OF INDUSTRY PARK FRIENDSWOOD IS CONTRIBUTING 9 CLASS 1 TREES AS REQUIRED.

04 TREE SURVEY INFORMATION



COASTAL BEND Engineering
Texas Registered Engineering Firm E-14444
4558 IM 2351, Friendswood, TX 77546
281.648.1268 Fax 281.648.0832

NORTHWINDS CONSTRUCTION
15400 Vintage Play West
Houston, Texas 77032
Phone (713) 671-5300
Fax: (713) 671-5340

INDUSTRY PARK
PHASE II
FRIENDSWOOD, TEXAS 77546

DATE:	ISSUE/REVISIONS:
04/14/2022	ISSUED FOR PERMIT AND CONSTRUCTION
05/25/2022	REVISED FOR PERMIT AND CONSTRUCTION
06/24/2022	REVISED FOR PERMIT AND CONSTRUCTION
07/22/2022	REVISED FOR PERMIT AND CONSTRUCTION
06/06/2023	REVISED FENCING, LANDSCAPING, & FIRE LINES
05/09/2025	REVISED FENCING & LANDSCAPING

TITLE:
Landscape Plan &
Tree Survey

DRAWING:
A1.2



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: Discuss lot coverage requirements in the Single Family Residential (SFR) zoning district as contained in the "Residential Regulation Matrix" contained in Section 7.P and/or Section 20 "Definitions" of Appendix C "Zoning" of the City Code.

Action:

SUMMARY / ORIGINATING CAUSE

Since the meeting on August 28, 2025, staff drafted changes to the ordinance and included suggestions made by Commissioner Rives to limit the additional 40% lot coverage allowance to one-story homes only. The Ordinance Subcommittee met and discussed the proposed changes, which are attached.

If the Commission would like to move forward with these changes, we can proceed with an ordinance change. However, if the Commission does not wish to change the regulation, no action is required and the requestor will be required to comply with the current regulations.

Information provided previously

The Commission received a request from Adam Hill, Sterling Builders, requesting that the lot coverage requirement for Single Family Residential (SFR) zoning district be increased from 35% to 40% or more. His request was provided to Commissioners at the July 24, 2025, regular meeting (see attached).

The current lot coverage regulations were adopted in 1997. The Residential Regulation Matrix is attached for reference.

Lot coverage is commonly defined as the percentage of property that can be covered by structures. Each city interprets this number differently. Some city regulations include all impervious surfaces such as driveways and swimming pools and include this in their calculations. Additionally, in some cities, the lot coverage is directly related to the drainage calculations.

In the City of Friendswood, the lot coverage requirement only applies to the structures on the property. The 35% lot coverage maximum is used to control bulk and building scale, which influences the character of neighborhoods. Drainage calculations are not dependent on the lot coverage calculation.

Staff compiled a short list of city comparisons, including Pearland and League City and a few other cities of similar size and demographics (attached).

If the Commission would like to change the regulation, an amendment to the Zoning Ordinance is required. Staff can draft an amendment for Commission review, then we would publish the required notices for the P&Z public hearing, P&Z recommendation, City Council public hearing, and City Council's consideration of the ordinance to change the regulation.

If the Commission does not wish to change the regulation, no action is required and the requestor will be required to comply with the current regulations.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. Redline Sec 7.Q.2. Residential Regulation Matrix re Lot Coverage

Section 7. - Schedule of district regulations.

Q. *District area and height regulations.*

1. No lot, parcel, premises or tract of land shall be created and no building permit shall be issued for any request that does not meet the appropriate minimum lot area, width, depth, yard and height regulations as set forth in the following tables.
2. See regulation matrix.

...

REGULATION MATRIX—RESIDENTIAL DISTRICTS

Refer to paragraphs in section 7-Q.3. for area and height exceptions.

	Units per Acre	Lot Area Minimum Square Feet	Lot Width	Yards—Minimum Feet					Height Maximum Feet	Zero Lot Lines Y or N	Maximum Lot Coverage
				Front	Rear	Side					
						Interior	Exterior (Corner Lot)				
							Backing Up to an Abutting Side Yard	Backing Up to an Abutting Rear Yard			
SFR Single-Family Residential	2.7	11,600	90 A	25 B	25	10 F	25 A	20 C	40	No	35% ⬇️
SFR Single-Family Residential	2.7	15,600	120 A	25 B	25	10	25 B	20 C	40	No	35% ⬇️
SFR-E Single-Family— Residential Estate	0.5	87,120	150 A	75	25	25	35	35	40	No	20%
MFR-L Multifamily— Low	6 G	7,260 G	45 G	25 B	25	10 E, I	25 B	20 C	40	No	50%
MFR-M Multifamily— Medium	9	—	—	25 B	0	10 E, I	25 B	20 C	40	No	50%

MFR-H Multifamily— Highest	12	—	—	25 B	0	10 E, I	25 B	20 C	40	No	50%
MHR Mobile Home	10	—	—	25 B	25	10 I	30	25	20	No	50%
A-1	—	—	—	25 B	25	10 I	25 B	20 C	40	No	10%
GHD Garden Home District	6	6,000	60	20 B, H	20	0 D, E	5 B, H	4 C, H	40	Yes D	50%

- A. Lots of less than 120 feet wide require curbs. Lots 120 feet wide or greater may use open ditches.
- B. 35 feet on thoroughfares.
- C. 25 feet on thoroughfares.
- D. Zero-foot lot line on one side only.
- E. Ten-foot minimum separation between buildings.
- F. Lots currently in existence with less than 90 feet of width may continue with the same existing setback provided they are not less than a minimum of five feet.
- G. Developer must elect either units per acre or lot area. Two-family residential units on two lots are required when lot area is elected. Example: a duplex requires two 45-foot-wide lots.
- H. Setbacks shall be measured from the edge of the street ROW. If streets or drives are private, setbacks shall be measured from the edge of the drainage, utility, or access easement, whichever is greater.
- I. 25 feet when abutting land zoned single-family residential (SFR) district.
- J. Reserved.
- K. Parking is required in accordance with the parking group table in the design criteria manual.
- L. 40% lot coverage is allowed for a single-story house. A single-story house shall comply with the following criteria:
 - 1) Height limitation. The maximum building height shall not exceed 30 feet; and
 - 2) Single Floor Level. The structure shall be limited to one story. No stairs, elevators, ladders or other means shall be permitted that provide access to a second floor, mezzanine, or other upper-level space intended for occupancy; and
 - 3) Prohibition of Additional Habitable Space. The construction or future conversion of attic space, bonus rooms, lofts, or any other enclosed area above the main floor into habitable or occupiable space is prohibited. All roof and ceiling designs shall preclude such conversions, and no framing, access, or structural accommodation for such spaces shall be permitted.

3. *Area and height exceptions.*

- a. Height maximum in community shopping center (CSC), neighborhood commercial (NC), office park district (OPD), light industrial (LI), industrial (I), and business park (BP) districts may exceed 40 feet in height, but in no event greater than 70 feet in height, when the building setback from the nearest property line is equal to or greater than the building height. Buildings or structures that exceed 40 feet in height shall have a minimum distance to the nearest single family residential (SFR) zoning of at least two and a half (2.5) times the overall building height. Distance shall be measured from the nearest point of the building to the single family residential (SFR) property line.
- b. Exceptions for community shopping center (CSC), neighborhood commercial (NC), office park district (OPD), light industrial (LI), industrial (I), and business park (BP) districts:
 1. On buildings or structures located in these districts, finials, crosses, and other religious symbols shall not extend more than ten feet above the building or extend more than ten feet above the allowable building height; and
 2. Finials, crosses and other religious symbols shall not be accessible and shall not be illuminated above the roofline.
- c. Exceptions for the downtown district (DD):
 1. On buildings or structures located in the downtown district (DD), finials, crosses and other religious symbols shall not extend more than 18 feet above the building or extend more than 18 feet above the allowable building height; and
 2. Finials, crosses, and other religious symbols shall not be accessible and shall not be illuminated above the roofline.
- d. Communications towers height criteria:
 1. Height limitations of communication towers. The maximum communication tower height, including antennae, lightning rods and accessories, in residential districts shall not exceed 40 feet and in non-residential districts shall not exceed 200 feet, unless otherwise approved by city council.
 2. Height limitations for communication towers placed on existing buildings. Communication towers and antennae, which are located on top of buildings or structures shall not be more than 30 percent of the structure height above the structure.
 3. This section applies to telecommunication towers, ham radio and television antennas, microwave relay, radio and television transmission towers.
- e. Buildings or structures located in a planned unit development (PUD): Buildings and structures located in a planned unit development (PUD) shall be exempt from the height limitations contained herein. Height limitations for buildings or structures located within a PUD application will be as established in the ordinance authorizing and approving the PUD.
- f. Accessory buildings or structures in residential districts: Unattached accessory buildings or structures less than 25 feet in height, as measured from the adjacent grade to the highest point of any portion of such building or structure, may be located in required rear or side yards within residential districts, provided they are set back not less than five feet from any interior side lot line, 20 feet from any side lot line adjacent to a side street, and ten feet from any rear lot line.
- g. Interior side yards shall not be required for abutting properties in the same zoning district if both properties are developed as a unit under a common development plan.
- h. When individual attached townhouses or condominiums are to be sold separately, there shall be no minimum lot area requirements, provided that the total land area of the project, including the land on which the units are located and the land held in common ownership by the unit owners, is equal to the total minimum land area required per dwelling unit or lot in the district in which the project is located.

- i. Minimum front yard setbacks for lots with predominant frontage on the curved radius of a cul-de-sac shall be 15 feet.
- j. Stairs in certain situations. In residential zoning districts that have minimum front yard requirements, uncovered stairways associated with a residential use may project into the required front yard but shall remain a minimum of ten feet from the front property line, if:
 - 1. A building is being elevated or reconstructed on an existing foundation to meet or exceed current city floodplain standards; and
 - 2. The stairway projection into the required front yard is limited to the minimum area required to meet elevation standards; and the stairway, at its widest point, shall not exceed ten feet.
- k. Elementary and secondary schools shall be exempt from the height limitations contained herein. Height limitations for elementary and secondary schools will be established in the ordinance authorizing and approving a specific use permit (SUP).



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: Receive an update regarding the Comprehensive Plan and Zoning Ordinance Updates (GLO RCP Grant).

Action:

SUMMARY / ORIGINATING CAUSE

The City was awarded a grant by the General Land Office under the Resilient Communities Program to update the Comprehensive Plan and Zoning Ordinance to incorporate hazard mitigation initiatives. The firm that was selected for this project is Ardurra Group. The Planning Subcommittee, Marcus Rives, Travis Mann, and Brian Bounds, will be working on this project. We will provide monthly updates to the Commission.

Completed Actions

- Tuesday, September 23, 2025 - City staff kick off/focus group meeting (notes attached)
- Monday, October 6, 2025 - Ardurra introduction to City Council

Planned Actions

- Sunday, October 26, 2025 - host a public outreach event at the Chamber of Commerce Halloween in the Park at Stevenson Park from 5 to 7pm\
- Monday, November 3, 2025 - agenda item for City Council to consider appointing the Comprehensive Plan Advisory Committee (CPAC)
- Thursday, November 13, 2025 - Ardurra introduction to the Planning and Zoning Commission

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. Friendswood Staff Focus Group Meeting Summary 09-23-2025

City of Friendswood Focus Group Meeting - City Staff September 16, 2025 Summary of Input

Description

On September 16, 2025, City staff participated in a virtual meeting to provide input on the major concerns, needs, and opportunities facing the City. The session featured an interactive, real-time polling activity, followed by a guided discussion to capture staff perspectives.

Summary of Results

The results from the polling activity and discussion are summarized below. For clarity, reported percentages have been rounded to the nearest whole number.

From your experience in Friendswood and other cities, what aspects of Friendswood make it unique, set it apart - character, location, community?



The City's greatest perceived strengths are Community and City services, each cited by 17% of respondents. Location followed closely at 14%, while Parks, Small town feel, and Safety each accounted for 11%. Finally, Schools and the City's Beautiful setting were noted by 9% of participants.

What do you see as the areas for improvement in Friendswood's services, infrastructure, or long-term planning efforts?

Infrastructure improvements
Facilities
Restaurants
Bike/ped infrastructure
Street improvements
Communication
Community cohesion
Housing affordability

Top Priorities

- Street Improvements -The most emphasized need is investment in roadways—ensuring proper maintenance, reducing congestion, and expanding routes to support growth.
- Facilities - Recreation centers, libraries, event venues, and other public facilities are consistently highlighted as critical for community well-being.
- Infrastructure improvements - A strong emphasis is placed on strengthening aging infrastructure and ensuring long-term reliability as the city grows.

Additional Priorities

- Bike/Pedestrian Infrastructure – Expanding sidewalks, bike lanes, and trails to improve walkability and neighborhood connectivity.
- Communication – Enhancing outreach and communication with residents about services, expectations, and improvement efforts.
- Community Cohesion – Using gathering spaces like City Center to bring people together and avoid geographic or social divides.
- Restaurants – Expanding restaurant choices to provide more variety and support quality of life.
- Housing Affordability – Ensuring affordable housing options are available to meet diverse community needs.

Looking into the future, what opportunities should the City focus on? (community facilities, walkability, transit, housing, econ. dev., etc.)

Streetscape improvements
Transit Parks
Commercial development
Community facilities
Walkability
Housing affordability

1. **Community Facilities**

A major emphasis is placed on expanding and improving community facilities, including recreation centers, libraries, meeting spaces, and other public amenities.

2. **Walkability & Transit**

Walkability is strongly highlighted, with calls to reduce car dependence, improve pedestrian access, and create more walkable spaces. Transit is also paired with facilities as part of mobility improvements.

3. **Commercial Development**

Supporting small business development and encouraging responsible business growth are identified as ways to strengthen the local economy.

4. **Streetscape Improvements**

Enhancing thoroughfares and streetscapes points to a desire for improved visual character and more attractive public spaces.

5. **Parks**

More parks, especially in Harris County, are seen as important opportunities to expand recreational access.

6. **Housing Affordability**

Affordable housing options are identified as a key need to support long-term community growth.

What concerns do you have about Friendswood's future that you believe should be addressed to ensure the city's long-term success and well-being?



1. **Traffic Congestion**
Traffic congestion is identified as the most pressing issues for Friendswood's future.
2. **Infrastructure Maintenance**
Aging infrastructure and the need for preventive maintenance highlight concerns about keeping essential systems in good condition.
3. **Leadership & Vision**
Leadership stability and ensuring elected officials remain community-focused are viewed as critical to long-term success.
4. **Commercial & Retail Development**
Supporting businesses and expanding retail opportunities are seen as important for sustaining economic vitality.
5. **Staff Retention**
Retaining staff and ensuring appropriate funding for city services point to challenges in maintaining strong operational capacity.
6. **Resiliency & Safety**
Flood resilience and overall safety remain central to ensuring a secure and well-prepared community.

If you were to leave Friendswood today and return a decade from now, what changes or developments would you hope to see in the community? (Vision)

More facilities
More diversity
Better restaurants
Commercial development
Downtown improvements
Beautification
Mobility improvements
More mixed-use developments
Improved walkability

1. **Beautification**
Clean, attractive, thoroughfares, revitalized older buildings, and an overall appealing community character are heavily emphasized.
2. **Facilities**
New and updated public facilities, amenities that attract younger demographics, and spaces that enhance livability contribute to a stronger sense of place.
3. **Mobility & Walkability**
Improved traffic management, expanded roadway infrastructure, and a complete trail/sidewalk system are priorities for better mobility and access. Specific attention is given to FM 528 corridor development as a future growth area.
4. **Commercial development**
Expanding local businesses, developing vacant commercial properties, and adding great restaurants highlight the desire for a thriving local economy.
5. **Diversity**
Calls for higher diversity and opportunities to attract younger residents show a focus on building a more balanced and dynamic community profile.
6. **Downtown Improvements & Mixed-Use Developments**
A stronger, more established downtown with mixed-use spaces is seen as essential for encouraging walkability, vibrancy, and community gathering.

Considering existing land uses, re/development potential, and highway access, what changes should the City consider for the future?

Commercial growth Mixed use development

Air mobility
High-quality development
Develop FM 518 frontage

1. **Commercial Growth**
Strong interest in expanding commercial opportunities, both generally and in targeted corridors, including along FM 518.
2. **Mixed-Use Development**
Calls for denser development in the Downtown District (low-rise buildings, townhomes, mixed-use projects), as well as broader encouragement of mixed-use development throughout the city.
3. **High-quality Development**
The city is encouraged to promote and incentivize creative development that adds character and distinctiveness to the community.
4. **Air Mobility**
A forward-looking concept in air mobility infrastructure, such as a drone airport for commuters, introduces advanced air mobility as a potential long-term infrastructure investment.

Mobility/Transportation - Challenges or gaps you have observed; Improvements that City should prioritize.

1. **Friendswood Parkway Improvements**
Completing and improving Friendswood Parkway is identified as a major priority to enhance mobility.
2. **Walkability**
Expanding walkable routes is important to reduce car dependence and create safer, more connected options for pedestrians.
3. **Intersection & Traffic Flow**
Significant concern about the **528 and 518 intersection**, described as a “nightmare,” along with the need to improve traffic flow at major intersections before congestion levels (LOS) worsen.
4. **Alternative Transportation Options**
A rideshare program is suggested as an option to expand mobility choices beyond private options.

Resiliency - What are your concerns? What measures need to be taken to prepare the City for the future? (flooding, storm surge, heat, drought etc.)

1. **Flooding & Floodplain Management**
Flooding stands out as the most pressing resiliency challenge. Priorities include

stronger floodplain management practices, discouraging development in flood-prone areas, and continued investment in flood mitigation measures.

2. **Infrastructure & Traffic Resilience**

Infrastructure improvements are emphasized as part of resiliency, particularly traffic flow enhancements and ensuring road systems remain reliable under stress.

3. **Creative Use of Natural Systems**

Inspiration is drawn from San Antonio's use of creeks (e.g., San Pedro Creek) as dual-purpose systems for flood control and public amenities such as walkways and park space.

4. **Affordability Concerns**

Rising housing costs are mentioned alongside flooding, suggesting that resiliency planning should consider not only physical risks but also economic stability for residents.

What types of natural or cultural resources/facilities should the City invest in or expand?

1. **Community Facilities**

Strong emphasis on community-oriented spaces such as event centers, libraries, and recreation centers that support gatherings, cultural activities, and learning opportunities.

2. **Green Infrastructure, Parks & Trails**

Expanding parks with green infrastructure underscores the importance of integrating natural systems for both recreation and environmental benefits. Investment in trails, particularly along Friendswood Parkway, is highlighted as a way to strengthen mobility, recreation, and connections across the city. Planting and preserving trees is a key investment for beautification, shade, and long-term ecological health.

Are there cities or communities whose approaches, innovations, or qualities you believe Friendswood could look to as models for growth or improvement?

1. **Fredericksburg**

Admired for its growth, business support, strong location, and historic character.

2. **The Woodlands**

Frequently referenced for its integration of nature with development, nature trails, and balance between suburban and urban housing opportunities.

3. **McKinney**

Valued for its town square and sense of place, though noted as not directly replicable in Friendswood, it serves as inspiration for creating gathering spaces.

4. **Sugar Land**

Highlighted for its mixed-use development, especially around civic and cultural anchors like City Hall.

5. **Cinco Ranch**

Recognized as a planned community model, admired for its attractiveness and well-maintained character.

6. **Pearland**

A nearby community offering a point of comparison in terms of growth and development.

Other input:

Governance Observations

- Experienced Staff: City staff tenure spans up to 25 years, bringing institutional knowledge and expertise.

Geographic & Social Dynamics

- Community Engagement: Local events are highly celebrated, with tickets often selling out quickly, reflecting a strong sense of community pride and participation.
- School District Divide: Being split between Friendswood ISD and Clear Creek ISD, as well as between two counties, creates a sense of division within the community.
- Demographic Trends: Higher housing prices often mean families move to Friendswood once financially stable. Population peaks at the third-grade level, reflecting this family-focused demographic pattern.

Housing & Development

- Housing Flexibility: City codes allow two housing units on a single lot, though individual HOAs may impose stricter standards.
- Commercial Opportunities: The FM 518 corridor between Alvin and I-45 contains vacant land and has limited development. A high speed limit may discourage investment; slowing traffic could support commercial activity.

Mobility & Transit

- Regional Connectivity: Residents use the transit facility near Baybrook Mall, particularly for commuting needs such as jury duty.

Public Safety

- Enhanced Safety Measures: The City has invested in Flock cameras and license plate recognition systems, strengthening neighborhood security.



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: October 9, 2025

Subject: Receive the (i) August 2025 DRC Report, (ii) August 2025 Business Report, (iii) Council Liaison updates concerning action taken by the City Council on Planning and Zoning related items, and (iv) Commissioner comments concerning items of community interest and/or requesting future agenda items.

Action:

SUMMARY / ORIGINATING CAUSE

The reports are attached for review.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. August 2025 DRC Report
2. Friendswood Monthly Business Report Aug 2025

COMMUNITY DEVELOPMENT DEPARTMENT

MONTHLY DRC REPORT

AUGUST 2025



Project	Current Zoning	Zone Change Required? Y/N	Issues discussed	Location
2290 Thomas Trace Restaurant with entertainment including pickle ball, bar, speakeasy, putt-putt and sand volleyball	CSC	SUP may be required for 7224 – Drinking Places	☒ Zone change ☒ Meets Future Land Use Map ☐ Plat - existing ☐ Eligible for Certificate of Platting Exemption ☒ Site plan approval required ☐ Community Overlay District (300 ft or 150 ft) ☐ Downtown District ☒ Water available ☒ Sewer available ☒ On-site detention - existing ☐ May be eligible for regional detention ☐ High hazard flood zone(s) – all flood zones ☐ Pipelines and abandoned active oil wells ☐ TxDOT Permits required for any improvements in the ROW Misc Notes: None	

311 Laurel 3 – multi-story mixed-use buildings; uses include retail, office, and residential; approx. 8300 sqft each; combining 3 lots; includes parking spaces for APA Designs as well as future shared parking spaces	DD	No	☐ Zone change ☒ Meets Future Land Use Map ☒ Plat required – short form final plat ☐ Eligible for Certificate of Platting Exemption ☒ Site plan approval required ☐ Community Overlay District (300 ft or 150 ft) ☒ Downtown District ☒ Water available ☒ Sewer available ☒ On-site detention required ☒ May be eligible for regional detention ☐ High hazard flood zone(s) ☐ Pipelines and abandoned active oil wells – plugged well ☐ TxDOT Permits required for any improvements in the ROW Misc Notes: site plan fee \$500 waived; license agreement required for head-in parking	
401 W Edgewood Dr. Construction “Office Only” (12,600sqft) and indoor batting cages (8,500 sqft)	SFR	Yes – suggested district is CSC FLUM map change from “Low Density Residential” to “Retail”	☒ Zone change ☐ Meets Future Land Use Map – will also require amendment ☒ Plat – existing McKrean Manor ☐ Eligible for Certificate of Platting Exemption ☒ Site plan approval required ☒ Community Overlay District (300 ft) ☐ Downtown District ☒ Water available ☒ Sewer available ☒ On-site detention required ☐ May be eligible for regional detention ☐ High hazard flood zone(s) ☐ Pipelines and abandoned active oil wells ☒ TxDOT Permits required for any improvements in the ROW Misc Notes: 5-foot sidewalk required along FM 2351	



CITY OF FRIENDSWOOD

MONTHLY BUSINESS REPORT - AUGUST 2025

Click [here](#) to access the Current Development Projects presentation/story map.

Certificates of Occupancy Issued (new, additions, alterations, name, owner and occupant changes)

Business	Address	Permit	Zoning
Piston Automotive Center	3504 E FM 528 Rd	TO	NC
Gemini Urgent Care	1111 S Friendswood Dr Suite 105	TO	DD
House of Lanterns, LLC	907 S Friendswood Dr Suite 303	TO	DD

New commercial permits issued:

None

Commercial Add/Alter permits issued:

Remodel for Daycare	104 Pecan
Coffee Shop and Patio	405 W Parkwood Ave
Bldv & Lane adding interior mezzanine	4650 FM 2351 Suite 206
Haverford Design Build Inc – adding awnings to 2 buildings	105 S Friendswood Drive
City Hall – remodel records room in Finance	910 S Friendswood Drive

Zone Changes:

None

Denotes Location in the Downtown District (DD)

Community & Economic Development Committee (CEDC)

Mission: To champion a vibrant and competitive economy by providing leadership and resources for business attraction, retention, and expansion to enhance the quality of life.

Meeting days – first Wednesday of each month at 4pm; 2nd floor conference room at City Hall

- Continue to work on Strategic Goals
- Establishing a small task force to brainstorm ideas for the FutureWorks initiative (internship and job shadowing opportunities)

Friendswood Downtown Economic Development Corporation (FDEDC)

Type 4B Sales Tax Corporation

Meeting days – second Tuesday of each month at 4pm; Council Chambers

- Lighting project nearing completion
- Waiting on information from third party consultant to explore options on removing overhead communication and/or powerlines on northeastern side of S Friendswood Dr.
- Purchased a 40-ft tall Christmas tree for Stevenson Park and decorations for the new light poles
- Purchased remainder of street signs for Downtown

- Considering the purchase of additional wayfinding signs

Miscellaneous:

- TIRZ (Tax Increment Reinvestment Zone) #1/PID (Public Improvement District) – Friendswood City Center on FM 528 – 124 acres; approved by City Council December 2023
- TIRZ (Tax Increment Reinvestment Zone) #2 – Friendswood Parkway/FM 528 – 3 – 326.52 acres; approved by City Council June 2024; Castle Biosciences
- We have vacancies on the Community & Economic Development Committee (CEDC), Zoning Board of Adjustment (ZBOA) and Construction Board of Adjustment (CBOA) – we need volunteers! The [volunteer application](#) is available on the City’s website.