



**PLANNING AND ZONING COMMISSION, REGULAR MEETING
THURSDAY, MAY 14, 2026 - 6:00 PM
COUNCIL CHAMBERS, CITY HALL
910 S. FRIENDSWOOD DR., FRIENDSWOOD, TX 77546**

AGENDA

1. CALL TO ORDER

2. COMMUNICATIONS FROM THE PUBLIC

In order to comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects to be placed on a later regular Commission agenda for discussion and/or possible action.

3. CONSENT AGENDA

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner so requests in which case the item would be removed from the consent agenda and considered separately.

- A. Consider approving the minutes of the Planning and Zoning Commission regular meeting held on Thursday, April 9, 2026.

4. ACTION ITEMS

A. PUBLIC HEARING: ZONE CHANGE REQUEST FOR 2350 S FRIENDSWOOD DR. - SFR TO CSC

Conduct a public hearing concerning a request for a zone classification change for the property located at 2350 S Friendswood Drive, also known as a 2.4367 acre tract of land, more or less, out of Lot "B," Slone Subdivision, out of the B.W. Camp Rice Farms, in the John Dickinson League, Friendswood, Galveston County, Texas, to change the zoning from Single Family Residential (SFR) to Community Shopping Center (CSC).

B. RECOMMENDATION: ZONE CHANGE REQUEST FOR 2350 S FRIENDSWOOD DR. - SFR TO CSC

Consider making a recommendation to City Council regarding a zone classification change for the property located at 2350 S Friendswood Drive, also known as a 2.4367 acre tract of land, more or less, out of Lot "B," Slone Subdivision, out of the B.W. Camp Rice Farms, in the John Dickinson League, Friendswood, Galveston County, Texas, to change the zoning from Single Family Residential (SFR) to Community Shopping Center (CSC).

C. PRELIMINARY PLAT: GEORGETOWN SECTION ONE (31 LOTS, 4 RESERVES, 2 BLOCKS)

Consider approving the Preliminary Plat of Georgetown Section One, a subdivision of 15.001 acres located in the I&GN RR CO Survey, Block 1, Section 23, Abstract 624, City of Friendswood, Galveston County, Texas.

D. PRELIMINARY PLAT: SHERRY LANE PHASE 1 STREET DEDICATION (APPROX. 1500 FEET OF ROADWAY)

Consider approving the Preliminary Plat of Sherry Lane Phase 1 Street Dedication, a subdivision of 2.301 acres located in the I&GN RR CO Survey, Block 1, Survey 23, Abstract 624, City of Friendswood, Galveston County, Texas.

E. PRELIMINARY PLAT: GEORGETOWN DETENTION BASIN PHASE 2

Consider approving the Preliminary Plat of Georgetown Detention Basin Phase II, a subdivision of 18.925 acres situated in the I&GN RR CO Survey, Block 1, Section 23, Abstract No. 624, in the City of Friendswood, Galveston County, Texas.

F. SITE PLAN: 403 LAUREL

Consider approving the site plan for a new building to be located at 403 Laurel.

5. COMMUNICATIONS

- A. Receive an update on the recent amendments to Appendix B "Subdivisions" regarding plat approvals and to Appendix C "Zoning" regarding site plan approvals.
- B. Announcement that the American Planning Association (APA) Texas Chapter Annual Conference will be October 14-16, 2026, in Irving, Texas.
- C. Announcement of the next Planning and Zoning Commission regular meetings for (i) Thursday, May 28, 2026, and (ii) Thursday, June 11, 2026.
- D. Receive an update on the Comprehensive Plan Update Project (A Resilient Communities Project (RCP) Grant from the General Land Office).
- E. Receive the April 2026 DRC Report, April 2026 Business Report, Council Liaison updates concerning action taken by the City Council on Planning and Zoning related items, and Commissioner comments concerning items of community interest and/or requesting future agenda items.

6. ADJOURNMENT

PUBLIC NOTICE IS GIVEN THAT IN ADDITION TO ANY EXECUTIVE SESSION LISTED ABOVE, THE PLANNING AND ZONING COMMISSION RESERVES THE RIGHT TO ADJOURN INTO EXECUTIVE SESSION AT ANY TIME AS AUTHORIZED BY THE TEXAS GOVERNMENT CODE SECTIONS 551.071 - 551.090 TO DISCUSS ANY MATTERS LISTED ABOVE.

THE CITY OF FRIENDSWOOD IS COMMITTED TO COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. REASONABLE ACCOMMODATIONS AND EQUAL ACCESS TO COMMUNICATIONS WILL BE PROVIDED UPON REQUEST. PLEASE CONTACT THE CITY SECRETARY'S OFFICE BY PHONE AT (281) 996-3270, FAX (281) 482-1634, OR CONTACT (281) 996-3270 VIA RELAY TEXAS AT 711 OR 1-800-735-2988 FOR TYY SERVICES. FOR MORE INFORMATION CONCERNING RELAY TEXAS, PLEASE VISIT: [HTTP://RELAYTEXAS.COM](http://RELAYTEXAS.COM).



Approved for posting by:
Aubrey Harbin, LEED AP
Director of Community Development/City Planning



Posted by: Raquel Martinez, TRMC, City Secretary
Posted in compliance with the Texas Open Meetings Act this
7th day of May 2026, at 5:00P.M.



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2026

Subject: Consider approving the minutes of the Planning and Zoning Commission regular meeting held on Thursday, April 9, 2026

Action:

SUMMARY / ORIGINATING CAUSE

The draft minutes are attached for review and approval.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. P&Z Minutes 2026-04-09 Regular



**CITY OF FRIENDSWOOD
PLANNING AND ZONING COMMISSION
THURSDAY, APRIL 9, 2026 - 6:00 PM**

Minutes

MINUTES OF A FRIENDSWOOD REGULAR MEETING HELD AT 910 S. FRIENDSWOOD DR., FRIENDSWOOD, TX 77546, COUNCIL CHAMBERS, CITY HALL

STATE OF TEXAS
CITY OF FRIENDSWOOD
COUNTIES OF GALVESTON/HARRIS
APRIL 9, 2026

1. CALL TO ORDER

MINUTES OF A REGULAR MEETING OF THE FRIENDSWOOD PLANNING AND ZONING COMMISSION THAT WAS HELD ON THURSDAY, APRIL 9, 2026, AT 06:00 PM **910 S. FRIENDSWOOD DR., FRIENDSWOOD, TX 77546**

CHAIRMAN TOM HINCKLEY
COMMISSIONER TRAVIS MANN
COMMISSIONER MARCUS RIVES
COMMISSIONER BRIAN BOUNDS
COMMISSIONER WILLIE C ANDERSON
COMMISSIONER STACEY PHILLIPS
COUNCIL LIAISON JOE MATRANGA
CITY ATTORNEY KAREN HORNER
DIRECTOR OF CDD/PLANNER AUBREY HARBIN
ASSISTANT PLANNER BECKY BENNETT

2. COMMUNICATIONS FROM THE PUBLIC

In order to comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects to be placed on a later regular Commission agenda for discussion and/or possible action.

None.

3. CONSENT AGENDA

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner so requests in which case the item would be removed from the consent agenda and considered separately.

****Commissioner Travis Mann moved to approve the consent agenda. Seconded by Commissioner Brian Bounds. The motion was approved unanimously.**

- A. Consider approving the minutes of the Planning and Zoning Commission Regular Meeting held on Thursday, March 26, 2026.

4. ACTION ITEMS

A. PUBLIC HEARING: RELEASE OF ELECTRIC EASEMENT

Conduct a public hearing concerning a request to vacate an electric easement consisting of 1.076 acres being 21.5 feet wide and located along the westerly property line of 3535 FM 528 and extending south to the Harris County Flood Control Ditch as recorded in Harris County Real Property Records, File Number RP-2024-424559, City of Friendswood, Harris County, Texas.

Harbin said the electrical easement was dedicated to the city by Clear Creek ISD for the adjacent City Center project. She said the intent was for the city to later dedicate the easement to Centerpoint Energy. However, Centerpoint Energy prefers the easement language to be of their standard format. Therefore, this easement will be abandoned, and a new easement will be dedicated in its place.

B. RECOMMENDATION: RELEASE OF ELECTRIC EASEMENT

Consider making a recommendation to City Council concerning a request to vacate an electric easement consisting of 1.076 acres being 21.5 feet wide and located along the westerly property line of 3535 FM 528 and extending south to the Harris County Flood Control Ditch as recorded in Harris County Real Property Records, File Number RP-2024-424559, City of Friendswood, Harris County, Texas.

****Commissioner Brian Bounds moved to approve a recommendation to City Council concerning a request to vacate an electric easement consisting of 1.076 acres being 21.5 feet wide and located along the westerly property line of 3535 FM 528 and extending south to the Harris County Flood Control Ditch as recorded in Harris County Real Property Records, File Number RP-2024-424559, City of Friendswood, Harris County, Texas. Seconded by Commissioner Marcus Rives. The motion was approved unanimously.**

C. PUBLIC HEARING: AUTUMN CREEK FUTURE LAND USE MAP (FLUM) AMENDMENT

Conduct a public hearing concerning a city-initiated request to amend the Future Land Use Map (FLUM) to change (i) Reserves C and D of Autumn Creek Section 3, (ii) Reserve C of Autumn Creek Section 5, (iii) 3001 through 3011 Harvest Hill Drive, (iv) 3004, 3006, 3008, and 3010 through 3013 Cedar Ridge Trail, (v) 3201 through 3205 Cedar Ridge Court, and (vi) 2910 and 2912 Harvest Hill Drive, Friendswood, Harris County, Texas, from "Garden Homes" to "Low Density Residential"; and to amend the Future Land Use Map (FLUM) to change (i) 3000, 3002, 3003, and 3005 Cedar Ridge Trail, (ii) 2902, 2904, 2906, 2908, 2911, and 2913 Harvest Hill Drive, and (iv) 2800, 2802, 2804 Harvest Hill Court, Friendswood, Harris County, Texas, from "Garden Homes" and "Low Density Residential" to "Low Density Residential."

Harbin explained this is a city-initiated change to align the Future Land Use Map with the actual land use. She said it appears the original developer rezoned the land and then when they platted the subdivision sections, the lots did not quite match up with the zoning districts. She stated staff had mailed explanation letters to the property owners as well as met with the HOA in January.

D. PUBLIC HEARING: AUTUMN CREEK ZONING CORRECTION

Conduct a public hearing concerning a city-initiated request to amend the Official Zoning Map to change the zoning classifications of (i) Reserves C and D of Autumn Creek Section 3, (ii) Reserve C of Autumn Creek Section 5, (iii) 3001 through 3011 Harvest Hill Drive, (iv) 3004, 3006, 3008, and 3010 through 3013 Cedar Ridge Trail, (v) 3201 through 3205 Cedar Ridge Court, and (vi) 2910 and 2912 Harvest Hill Drive, Friendswood, Harris County, Texas, from "Garden Home District (GHD)" to "Single Family Residential (SFR)"; and to change the zoning classifications (i) 3000, 3002, 3003, and 3005 Cedar Ridge Trail, (ii) 2902, 2904, 2906, 2908, 2911, and 2913 Harvest Hill Drive, and (iv) 2800, 2802, 2804 Harvest Hill Court, Friendswood, Harris County, Texas, from "Garden Home District (GHD)" and "Single Family Residential (SFR)" to "Single Family Residential (SFR)."

Harbin explained this is the second step to the Autumn Creek cleanup. She said many of the lots in Sections 3 and 5 have split zoning, which creates issues for real estate appraisers when those homes are sold or refinanced.

E. RECOMMENDATION: AUTUMN CREEK FLUM AMENDMENTS AND ZONING CORRECTION

Consider making a recommendation to the City Council concerning amendments to the Future Land Use Map (FLUM) to change the category designations of (i) Reserves C and D of Autumn Creek Section 3, (ii) Reserve C of Autumn Creek Section 5, (iii) 3001 through 3011 Harvest Hill Drive, (iv) 3004, 3006, 3008, and 3010 through 3013 Cedar Ridge Trail, (v) 3201 through 3205 Cedar Ridge Court, and (vi) 2910 and 2912 Harvest Hill Drive, Friendswood, Harris County, Texas, from "Garden Homes" to "Low Density Residential" and amendments to the Official Zoning Map to change their zoning district classifications from "Garden Home District (GHD)" to "Single Family Residential (SFR)"; and amendments to the Future Land Use Map (FLUM) to change the category designations of (i) 3000, 3002, 3003, and 3005 Cedar Ridge Trail, (ii) 2902, 2904, 2906, 2908, 2911, and 2913 Harvest Hill Drive, and (iv) 2800, 2802, 2804 Harvest Hill Court, Friendswood, Harris County, Texas, from "Garden Homes" and "Low Density Residential" to "Low Density Residential" and amendments to the Official Zoning Map to change their zoning district classifications from "Garden Home District (GHD)" and "Single Family Residential (SFR)" to "Single Family Residential (SFR)."

The commissioners discussed and all agreed it makes sense for the zoning to reflect the lot sizes and as-built construction.

**Commissioner Marcus Rives moved to approve a recommendation to the City Council concerning amendments to the Future Land Use Map (FLUM) to change the category designations of (i) Reserves C and D of Autumn Creek Section 3, (ii) Reserve C of Autumn Creek Section 5, (iii) 3001 through 3011 Harvest Hill Drive, (iv) 3004, 3006, 3008, and 3010 through 3013 Cedar Ridge Trail, (v) 3201 through 3205 Cedar Ridge Court, and (vi) 2910 and 2912 Harvest Hill Drive, Friendswood, Harris County, Texas, from "Garden Homes" to "Low Density Residential" and amendments to the Official Zoning Map to change their zoning district classifications from "Garden Home District (GHD)" to "Single Family Residential (SFR)"; and amendments to the Future Land Use Map (FLUM) to change the category designations of (i) 3000, 3002, 3003, and 3005 Cedar Ridge Trail, (ii) 2902, 2904, 2906, 2908, 2911, and 2913 Harvest Hill Drive, and (iv) 2800, 2802, 2804 Harvest Hill Court, Friendswood, Harris County, Texas, from "Garden Homes" and "Low Density Residential" to "Low Density Residential" and amendments to the Official Zoning Map to change their zoning district classifications from "Garden Home District (GHD)" and "Single Family Residential (SFR)" to "Single Family Residential (SFR)." Seconded by Commissioner Travis Mann. The motion was approved unanimously.

F. PUBLIC HEARING: SUBDIVISION ORDINANCE AMENDMENTS TO AUTHORIZE THE DIRECTOR OF CDD TO APPROVE PLATS

Conduct a public hearing concerning proposed amendments to Appendix B “Subdivisions” of the Friendswood City Code to authorize the director of community development to approve plats except in certain situations consistent with Local Government Code Chapter 212.0065 and to make minor administrative corrections.

Harbin explained the updates focus on streamlining the plat approval process, delegating authority to staff for efficiency, and making minor administrative and procedural clarifications. She said that the state legislature approved in 2023 allows for staff approval of plats. She added that the commission would still review and approve master plans, appeals from the director, certain extensions, and appeals from Keep Friendswood Beautiful (KFB) decisions. She explained the proposal would reduce delays by allowing routine plats to be approved administratively, especially since plats must be approved if they meet local and state law.

Chris Johnson/36 Wildernss Trail spoke against the proposed ordinance change related to staff approval. He said the public has a vested interest in what projects are being proposed and advocated that they should remain on public agendas.

G. RECOMMENDATION: SUBDIVISION ORDINANCE AMENDMENTS TO AUTHORIZE THE DIRECTOR OF CDD TO APPROVE PLATS

Consider making a recommendation to City Council concerning proposed amendments to Appendix B “Subdivisions” of the Friendswood City Code to authorize the director of community development to approve plats except in certain situations consistent with Local Government Code Chapter 212.0065 and to make minor administrative corrections.

Commissioners Bounds and Anderson agreed with Mr. Johnson's comments. Commissioner Rives said he had made a pros and cons list and that the cons side was longer. He said he also enjoys being involved in the full process and is often asked about projects by the public. Commissioner Phillips echoed with the other commissioners that the cleanup items and the intent of efficiency was commendable. She also thought public discussion related to projects was important. Commissioner Mann similarly said that while efficiency is important, there is a public process for a reason. He said Mr. Johnson commented that as available land decreases, proposed plat designs will become less routine, and the commission should be involved. Chairman Hinckley reiterated the same concerns and said he would not want the commission to become stagnant by not reviewing projects in their entirety.

**Commissioner Travis Mann moved to approve a recommendation to City Council concerning proposed administrative amendments to Appendix B “Subdivisions” of the Friendswood City Code without authorizing the director of community development to approve plats. Seconded by Commissioner Willie Anderson. The motion was approved unanimously.

H. PUBLIC HEARING: ZONING ORDINANCE AMENDMENTS TO AUTHORIZE THE DIRECTOR OF CDD TO APPROVE SITE PLANS

Conduct a public hearing concerning proposed amendments to Appendix C “Zoning” of the Friendswood City Code to authorize the director of community development to approve site plans except in certain situations, to consolidate site plan approval requirements, and to make minor administrative corrections.

Harbin said that the proposed amendments to the Zoning Ordinance are intended to streamline the site plan review process, authorize administrative approval by the Director, and make minor administrative and procedural updates. She said most of the cleanup items are related to recent updates to Chapter 14 related to adopted building codes.

I. **RECOMMENDATION: ZONING ORDINANCE AMENDMENTS TO AUTHORIZE THE DIRECTOR OF CDD TO APPROVE SITE PLANS**

Consider making a recommendation to City Council concerning proposed amendments to Appendix C "Zoning" of the Friendswood City Code to authorize the director of community development to approve site plans except in certain situations, to consolidate site plan approval requirements, and to make minor administrative corrections.

The commissioners all commented that they had the same thoughts as previously discussed during plat changes. Commissioner Mann said that although most cities approve site plans at staff level, he would prefer to keep the current process where the commission considers site plans at a public meeting.

**Commissioner Marcus Rives moved to approve a recommendation to City Council concerning proposed administrative amendments to Appendix C "Zoning" of the Friendswood City Code without authorizing the director of community development to approve site plans. Seconded by P&Z Commissioner Stacey Phillips. The motion was approved unanimously.

J. **SITE PLAN: "THE EDGE" TO BE LOCATED AT 401, 391 AND 395 W EDGEWOOD DR**

Consider approving the site plan for The Edge, a development containing three new buildings and a detention pond to be located at 401, 395 and 391 W Edgewood Dr., City of Friendswood, Galveston County, Texas

Harbin presented the site plan for The Edge, a commercial project consisting of three buildings. She said the development would include shared access, parking, and retention.

Chris White/Jacob White Construction explained that the large building would be for his company to relocate. Commissioner Mann inquired about the name, The Edge. White answered that the project was located on West Edgewood and near the edge of Friendswood into Pearland and that they were hoping an "edgy" name would be attractive to buyers.

Commissioner Rives questioned the width of the handicap parking spaces. Bennett answered that the width of the spaces could be the same as standard spaces provided the accessible aisle is of a certain width, as well. She said staff would confirm the dimensions on the civil plans and ensure the minimum is met at the time of final inspection.

Commissioner Bounds was concerned the proposed signage would be too high contrast. White stated the signage on the rendering was conceptual and that he would take that into consideration.

Chairman Hinckley asked if a public sidewalk would be installed and what type of fencing along the sides was proposed. White confirmed there would be a 5-foot sidewalk installed along FM 2351 and that wooden fencing would be built around the property.

**Commissioner Marcus Rives moved to approve the site plan for The Edge, a development containing three new buildings and a detention pond to be located at 401, 395 and 391 W Edgewood Dr. Seconded by Commissioner Brian Bounds. The motion was approved unanimously.

K. **PRELIMINARY PLAT: SHERRY LANE PHASE 1 STREET DEDICATION (APPROX. 1500 FEET OF ROADWAY)**

Consider approving the Preliminary Plat of Sherry Lane Phase 1 Street Dedication, a subdivision of 2.301 acres located in the I&GN RR CO Survey, Block 1, Survey 23, Abstract 624, City of Friendswood, Galveston County, Texas

Harbin said that agenda items K through P were all preliminary plats for the Georgetown Subdivision. She explained that two different engineering firms were working on the project and there were 10 plats in total submitted for this review cycle. She stated three plats were resubmitted with corrections, but still had outstanding comments, and that three plats from the second firm were not resubmitted nor withdrawn. Harbin said the road segments for Georgetown Blvd Ph 1 and Sherry Lane Ph 1 need to be approved prior to approval of subsequent sections. She added that Georgetown Blvd Ph 1 is located within the City of Alvin, who confirmed they have not issued approvals yet.

Commissioner Phillips moved to deny items K through P. Commissioner Anderson seconded the motion.

Commissioner Rives asked how many times this subdivision had been submitted. Bennett answered that plats and construction plans have been coming in since 2018. She said staff has processed roughly 60 applications for Georgetown. Harbin gave kudos to staff, saying all city departments buckled down and reviewed 10 plats within one week, that many being a heavy task.

**Commissioner Phillips moved to deny items K through P. Commissioner Anderson seconded the motion. The motion was approved unanimously.

L. PRELIMINARY PLAT: SHERRY LANE PHASE 2 STREET DEDICATION (APPROX. 800 FEET OF ROADWAY)

Consider approving the Preliminary Plat of Sherry Lane Phase 2 Street Dedication, a subdivision of 1.220 acres of land situated in the I&GN RR CO Survey, Section 23, Abstract 624, City of Friendswood, Galveston County, Texas

M. PRELIMINARY PLAT: GEORGETOWN BLVD PHASE 2 STREET DEDICATION (APPROX. 1450 FEET OF ROADWAY)

Consider approving the Preliminary Plat of Georgetown Blvd Phase 2 Street Dedication, a subdivision of 3.365 acres of land situated in the I&GN RR CO Survey, Section 23, Abstract 624, City of Friendswood, Galveston County, Texas

N. PRELIMINARY PLAT: GEORGETOWN SECTION ONE (31 LOTS, 4 RESERVES, 2 BLOCKS)

Consider approving the Preliminary Plat of Georgetown Section One, a subdivision of 15.001 acres located in the I&GN RR CO Survey, Block 1, Section 23, Abstract 624, City of Friendswood, Galveston County, Texas

O. PRELIMINARY PLAT: GEORGETOWN SECTION 3 (44 LOTS, 3 RESERVES, 3 BLOCKS)

Consider approving the Preliminary Plat of Georgetown Section 3, a subdivision of 18.084 acres of land situated in the I&GN RR CO Survey, Section 23, Abstract 624, City of Friendswood, Galveston County, Texas

P. PRELIMINARY PLAT: GEORGETOWN DETENTION BASIN PHASE 2

Consider approving the Preliminary Plat of Georgetown Detention Basin Phase II, a

subdivision of 18.925 acres situated in the I&GN RR CO Survey, Block 1, Section 23, Abstract No. 624, in the City of Friendswood, Galveston County, Texas

Q. EXTENSION REQUESTS: 30-DAY EXTENSION FOR PRELIMINARY PLAT APPLICATIONS

Consider approving a request from the applicant for a 30-day extension for preliminary plat applications for the following subdivision plats, in accordance with Local Government Code 212.009(b-2):

- (i) Georgetown Boulevard Phase 3 Street Dedication Preliminary Plat,
- (ii) Georgetown Section 4 Preliminary Plat,
- (iii) Georgetown Section 5 Preliminary Plat, and
- (iv) Georgetown Section 6 Preliminary Plat

Harbin said the applicant requested a 30 day extension for the plat review before commission consideration. She stated the plats in question were toward the rear of the development.

The commissioners collectively stated that 30 additional days would not remedy the already disapproved plats that lead into the rear sections.

**Commissioner Marcus Rives moved to deny a request from the applicant for a 30-day extension for preliminary plat applications for the following subdivision plats: Georgetown Boulevard Ph 3 Street Dedication Preliminary Plat, Georgetown Section 4 Preliminary Plat, Georgetown Section 5 Preliminary Plat, and Georgetown Section 6 Preliminary Plat. Seconded by Commissioner Willie Anderson. The motion was approved unanimously.

5. COMMUNICATIONS

- A. Receive an update on the Comprehensive Plan Update Project (A Resilient Communities Project (RCP) Grant from the General Land Office).

Harbin said the Comprehensive Plan Update survey had now closed. She announced the next CPAC meeting would be held April 30th.

- B. Announcement of the next Planning and Zoning Commission regular meetings for (i) Thursday, April 23, 2026, and (ii) Thursday, May 14, 2026.
- C. Receive the March 2026 DRC Report, March 2026 Business Report, Council Liaison updates concerning action taken by the City Council on Planning and Zoning related items, and Commissioner comments concerning items of community interest and/or requesting future agenda items.

Councilman Matranga reported that Director Harbin gave a quarterly update on the Community Development Department at the last city council meeting. He announced that council had confirmed the city manager's appointment of a new library director. He also reminded everyone that the city's Spring Sparkle event would be held this Saturday, April 11th.

Chairman Hinckley announced that Commissioner Marsha Conrad had stepped down after providing more than 3 years of volunteerism on the commission. He thanked her for her service.

Harbin said April was a busy month for events, and if the commissioners would like to participate, please let her know. Texas Downtown Webinar on April 22nd, CEDC Small Business Week on April 27th, and HGAC Bringing Back Mainstreet on April 29th.

6. ADJOURNMENT

This meeting was adjourned at 07:02 PM.



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2026

Subject: **PUBLIC HEARING: ZONE CHANGE REQUEST FOR 2350 S FRIENDSWOOD DR. - SFR TO CSC**

Conduct a public hearing concerning a request for a zone classification change for the property located at 2350 S Friendswood Drive, also known as a 2.4367 acre tract of land, more or less, out of Lot "B," Slone Subdivision, out of the B.W. Camp Rice Farms, in the John Dickinson League, Friendswood, Galveston County, Texas, to change the zoning from Single Family Residential (SFR) to Community Shopping Center (CSC).

Action:

SUMMARY / ORIGINATING CAUSE

This items allows the Commission to receive public comments regarding a request to change the zoning of the property located at 2350 S Friendswood Drive from Single Family Residential (SFR) to Community Shopping Center (CSC). The request complies with the Future Land Use Map (FLUM). The property fronts FM 518/S Friendswood Drive and Old Road. The full Rezoning Report is attached with additional details.

All of the required public notices were posted and published - newspaper notice, a sign on the property, and notices mailed to property owners within 200 feet of the property.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

The request complies the the long range plans of the City.

RECOMMENDATIONS

None at this time.

ATTACHMENTS

1. Rezoning Report 2350 S Friendswood Dr
2. Aerial Map_2350 S Friendswood Dr
3. Location Map_2350 S Friendswood Dr
4. Zoning Map_2350 S Friendswood Dr
5. FLUMap_2350 S Friendswood Dr

Rezoning Report

April 2026

Project: 2350 S Friendswood Dr

Address: 2350 S Friendswood Dr

Legal: a 2.4367-acre tract of land, more or less, out of Lot "B", Slone Subdivision, out of the B.W. Camp Rice Farms, in the John Dickinson League, Galveston County, Friendswood, Texas to change the zoning from Single Family Residential (SFR) to Community Shopping Center (CSC).

Requests: Zone classification change to change from Single Family Residential (SFR) to Community Shopping Center (CSC).

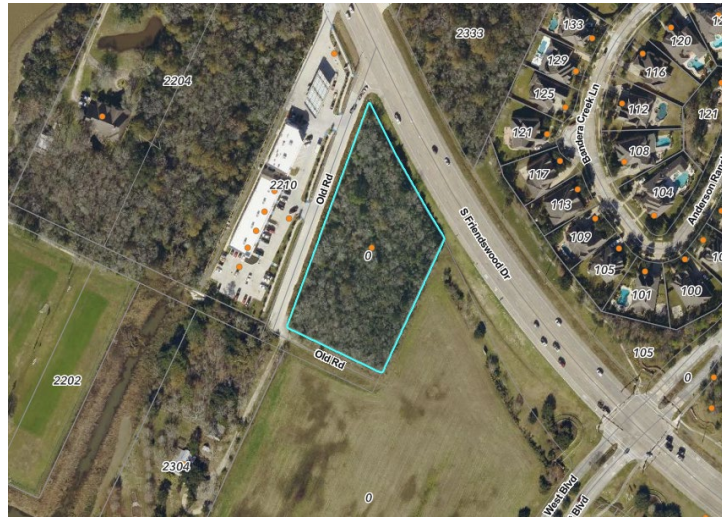
Zoning Ordinance, Appendix C

F. *(C-1) CSC, Community Shopping Center District, general purpose and description.* The CSC, Community Shopping Center District, is intended for a unified grouping, in one or more buildings of several, typically between five and 20, retail and service shops or stores that provide for the regular needs and are for the convenience of the people residing in adjacent residential neighborhoods. Gross floor area in a community shopping center typically ranges from 30,000 to 100,000 square feet, and land area consists of two to ten acres in size. It is intended that the community shopping center be developed as a unit, with adequate off-street parking for customers and employees, and with appropriate landscaping and screening to ensure compatibility with surrounding residential environment. This district is ideally located at the intersection of two or more arterial or major streets with a service area of up to 1½ miles. Development of a community shopping center requires approval of a development site plan by the planning and zoning commission.

1. Area and height regulations. Area and height regulations in a CSC district are set forth in subsection Q.2 of this section, regulation matrix.
2. See section 8 for supplementary district regulations.
3. See section 9 for temporary certificate of zoning compliance that may be granted by the administrative official and specific use permits that may be recommended by the planning and zoning commission within the CSC district under certain circumstances and conditions.
4. Permitted uses. Uses permitted in a CSC district are set forth in subsection P of this section, permitted use table. A specific use permit for a shopping center as a particular use is required before any building permit or certificate of occupancy may be issued in this district.
5. No CSC district shall be created which includes less than two acres.
6. Buildings in the CSC zoning district are encouraged to have exterior cladding of brick, masonry, stone, stucco or glass. Fiber cement boards/siding are discouraged, except as trim for eaves and overhangs, while all building products and materials approved for use by a national model code published within the last three code cycles are allowed by V.T.C.A., Government Code ch. 3000.

Existing Use/Site Attributes:

The site is currently undeveloped land.



City of Friendswood Aerial Map

Zoning History:

The current zoning of the property is Single Family Residential (SFR). This property has been zoned for single family residential use, R-1, since its annexation in 1973.



City of Friendswood Zoning Map

Adjacent Zoning/Land Use:

The property is adjacent to a large tract zoned Community Shopping Center (CSC) on the east and public rights-of-way on the remaining three sides. Across Old Road to the west is a tract zoned Neighborhood Commercial (NC).

Platting Analysis:

The owner will be required to plat the property prior to the issuance of building permits.

Planning Analysis:

All required notices have been published or posted.

Comprehensive Planning Analysis:

The proposed zone change is compliant with the Future Land Use Map which identifies this site as “Retail.”

Infrastructure/Service Delivery Impacts**Storm Water Management and Floodplain Issues:**

Storm water detention requirements will be subject to the City of Friendswood Design Criteria Manual, as well as the Galveston County Consolidated Drainage District (GCCDD) and Texas Department of Transportation (TxDOT) design criteria.

Utilities:

City of Friendswood water and sewer services are available.

Access:

The property has existing direct access from South Friendswood Drive (FM 518), which is a Texas Department of Transportation (TxDOT) right-of-way, as well as Old Road, a city right-of-way. Any type of improvements within the right-of-way of FM 518 will require TxDOT approval.

Park/Open Space:

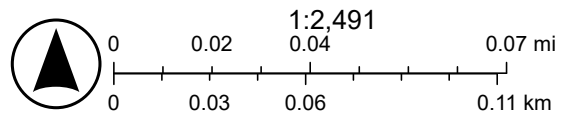
Parkland Dedication will not apply for commercial development.

City of Friendswood



4/14/2026, 3:14:03 PM

- Address Points
- Streets
- City Limit
- Surrounding Cities
- Creeks/Water
- Water Lines
- Parcels



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

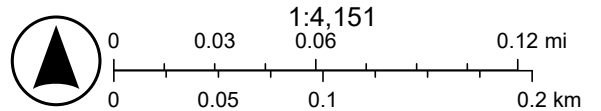
City of Friendswood



Subject Tract:
2350 S Friendswood Dr

4/14/2026, 3:24:05 PM

- City Limit
- Creeks/Water
- Parcels
- Streets
- Surrounding Cities
- Water Lines

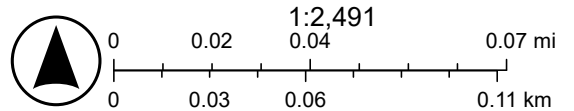
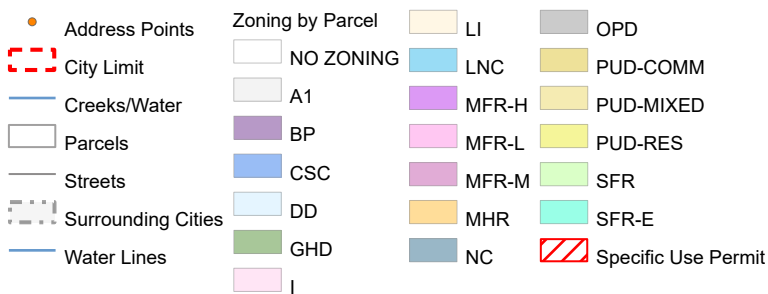


Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

City of Friendswood

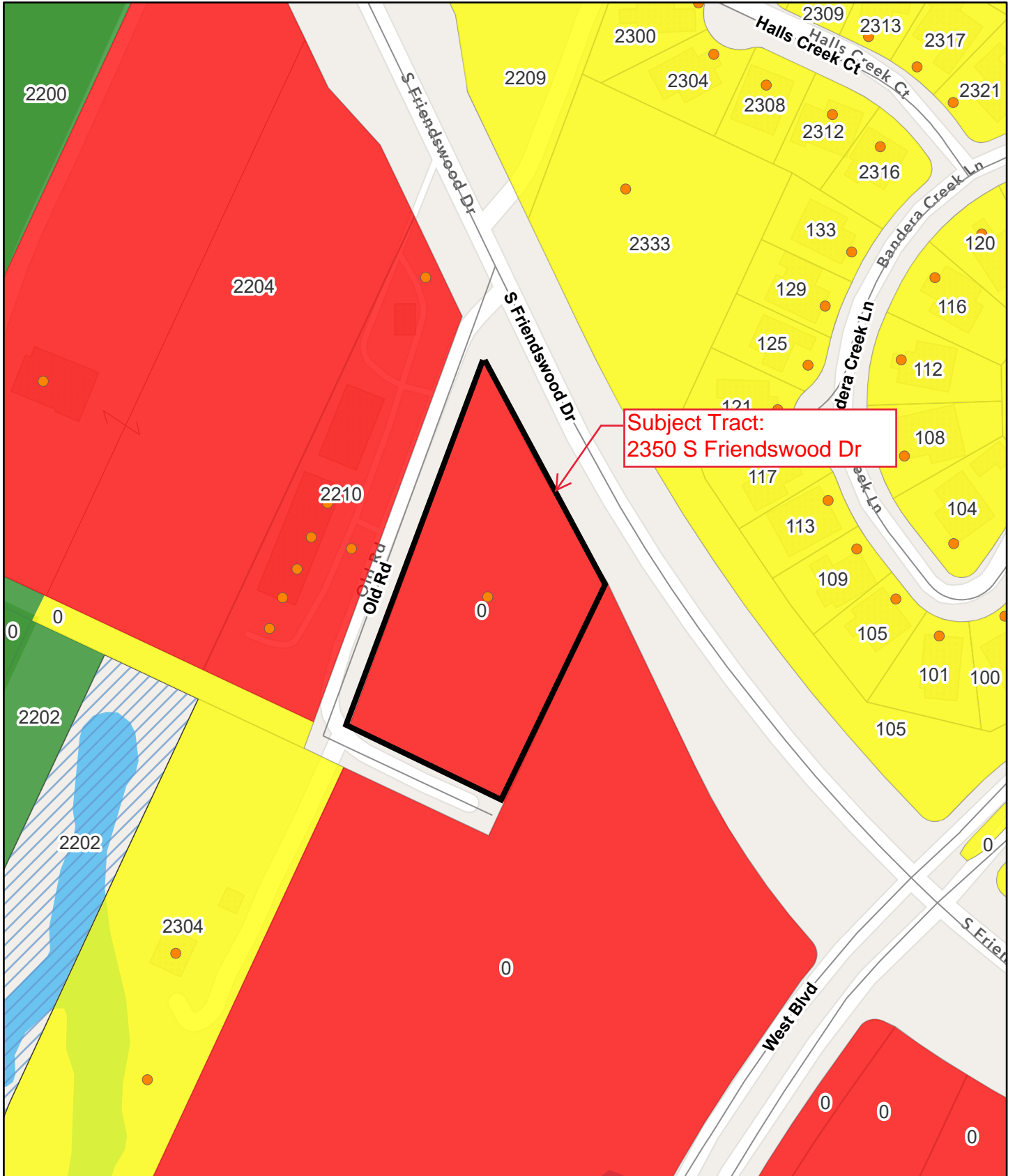


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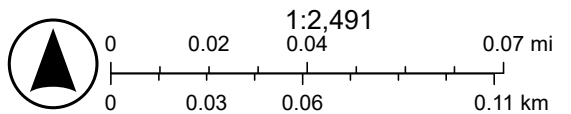
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

City of Friendswood



4/14/2026, 3:16:07 PM

- | | | |
|------------------------------|--------------------------|--------------------|
| Address Points | High Density Residential | Regional Detention |
| City Limit | Mixed Use | Buyout Lots |
| Creeks/Water | Office, Business Park | Brio |
| Future Land Use Adopted 2021 | Retail | Parcels |
| SFR- Estate | Industrial | Streets |
| Low Density | Parks | Surrounding Cities |
| Garden Homes | Public and Semi-Public | Water Lines |



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2026

Subject: **RECOMMENDATION: ZONE CHANGE REQUEST FOR 2350 S FRIENDSWOOD DR. - SFR TO CSC**

Consider making a recommendation to City Council regarding a zone classification change for the property located at 2350 S Friendswood Drive, also known as a 2.4367 acre tract of land, more or less, out of Lot "B," Slone Subdivision, out of the B.W. Camp Rice Farms, in the John Dickinson League, Friendswood, Galveston County, Texas, to change the zoning from Single Family Residential (SFR) to Community Shopping Center (CSC).

Action:

SUMMARY / ORIGINATING CAUSE

This item allows the Commission to make a recommendation to City Council regarding a request to change the zoning of the property located at 2350 S Friendswood Drive from Single Family Residential (SFR) to Community Shopping Center (CSC). The request complies with the Future Land Use Map (FLUM). The property fronts FM 518/S Friendswood Drive and Old Road. The full Rezoning Report is attached with additional details.

All of the required public notices were posted and published - newspaper notice, a sign on the property, and notices mailed to property owners within 200 feet of the property.

See attachments on the public hearing item.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

The request complies with the long range plans of the City.

RECOMMENDATIONS

ATTACHMENTS



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2026

Subject: **PRELIMINARY PLAT: GEORGETOWN SECTION ONE (31 LOTS, 4 RESERVES, 2 BLOCKS)**
Consider approving the Preliminary Plat of Georgetown Section One, a subdivision of 15.001 acres located in the I&GN RR CO Survey, Block 1, Section 23, Abstract 624, City of Friendswood, Galveston County, Texas.

Action:

SUMMARY / ORIGINATING CAUSE

Zoning: Single Family Residential (SFR)
Location: FM 528/W Parkwood Ave (south near Alvin)

The master plan for the Georgetown Subdivision was approved by the Planning and Zoning Commission in February 2024. The approved master plan is attached and also includes labels of the plat names for reference. A zoning map is attached as well.

This preliminary plat contains 31 residential lots, 4 restricted reserves and 2 blocks with access from Sherry Lane Phase 1 which connects to W. Parkwood Ave/FM 528. The plat was reviewed by staff in the following departments: Planning, Engineering, Public Works, Fire Marshal's Office, Police Department and Parks & Recreation.

This plat was Denied by the Commission on April 9, 2026.

Staff recommends Approve with minor staff comments.

Standards for approval. The Commission shall approve a plat if:

- (1) It conforms to the general plan of the City of Friendswood and the current and future streets, alleys, parks, playgrounds, and public utility facilities;
- (2) It conforms to the general plans for extension of roads, streets, and public highways, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities; and
- (3) It conforms to the Subdivision Ordinance and Local Government Code Chapter 212.

P&Z Action Options:

1) Approve - If approved, the plat shall be endorsed with a certificate of approval by the planning and zoning commission chairman and attested by the commission's secretary. This can include minor staff comments.

2) Approve with Conditions - conditions included on attached corrections report; requires resubmittal and Commission action

3) Disapprove with Reasons - reasons included on attached corrections report; requires resubmittal and Commission action

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. Georgetown Section 1 Preliminary Plat - 2 pages
2. Georgetown Sec 1 Prelim Plat - Corrections Report 05-06-2026
3. Proposed Street Names Verification
4. Georgetown Master Plan Approved February 2024
5. Georgetown Zoning Map

STATE OF TEXAS
COUNTY OF GALVESTON
WE, **D.R. HORTON - TEXAS, LTD.**, ACTING BY AND THROUGH _____ AND _____
BEING OFFICERS OF **D.R. HORTON - TEXAS, LTD.**, OWNER HEREINAFTER REFERRED TO AS OWNERS OF THE **15.001 ACRE** TRACT DESCRIBED IN THE ABOVE AND FOREGOING MAP OF **GEORGETOWN SECTION 1**, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAN OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS AND NOTATIONS ON SAID MAPS OR PLAT AND HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS (EXCEPT THOSE STREETS DESIGNATED AS PRIVATE STREETS), ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER AN UNOBSTRUCTED AERIAL EASEMENT ABOVE THE GROUND LEVEL UPWARD, TO ALL PUBLIC EASEMENTS SHOWN HEREON.

IN TESTIMONY WHEREOF, THE **D.R. HORTON - TEXAS, LTD.**, HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____, ITS _____
THEREUNTO AUTHORIZED, ATTESTED BY ITS _____ (OR AUTHORIZED TRUST OFFICER), _____ (NAME OF SECRETARY OR AUTHORIZED TRUST OFFICER), AND ITS COMMON SEAL HEREUNTO AFFIXED THIS _____ DAY OF _____, **2025**.

BY: _____
NAME OF SIGNER
TITLE

ATTEST: _____
NAME OF SIGNER
TITLE

STATE OF TEXAS
COUNTY OF GALVESTON
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ AND _____ KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE.
THIS _____ DAY OF _____, **2025**.

NOTARY PUBLIC IN AND FOR
THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

I, **JONATHAN FRANZ**, AM AUTHORIZED (OR REGISTERED) UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL BOUNDARY CORNERS, ANGLE POINTS, POINTS OR CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON (OR OTHER SUITABLE PERMANENT PIPES OR RODS HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN THREE QUARTER (3/4) INCH AND A LENGTH OF NOT LESS THAN THREE (3) FEET; THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER; AND THAT THE BOUNDARY CLOSURES WITHIN 1 IN 10,000.

REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6705

DATE: 01/27/2025

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF **FRIENDSWOOD**, TEXAS HAS APPROVED THIS PLAT AND SUBDIVISION OF **GEORGETOWN SECTION 1** IN CONFORMANCE WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THE CITY AS ADOPTED BY THE CITY COUNCIL AND AUTHORIZED THE RECORDING OF THIS PLAT THIS _____ DAY OF _____, **2025**.

ATTESTED BY: **BECKY BENNETT**, ASSISTANT PLANNER
BY: **TOM HINCKLEY**, CHAIRMAN

I, **JILDARDO ARIAS, P.E.**, CFM, CITY ENGINEER AND DIRECTOR OF ENGINEERING OF THE CITY OF **FRIENDSWOOD**, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE CITY OF **FRIENDSWOOD**, TEXAS AND FURTHER IT COMPLIES WITH ALL OF THE ORDINANCES AS CURRENTLY ADOPTED BY CITY COUNCIL.

BY: _____
JILDARDO ARIAS, P.E., CFM, CITY ENGINEER/DIRECTOR OF ENGINEERING

I, **DWIGHT D. SULLIVAN**, COUNTY CLERK, GALVESTON COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE ON _____, **2025**, AT _____ O'CLOCK, _____M, AND DULY RECORDED ON _____, **2025**, AT _____ O'CLOCK, _____M, INSTRUMENT # _____ GALVESTON COUNTY RECORDS.

WITNESS MY HAND AND SEAL OF OFFICE, AT GALVESTON, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

DWIGHT D. SULLIVAN
COUNTY CLERK
GALVESTON COUNTY, TEXAS

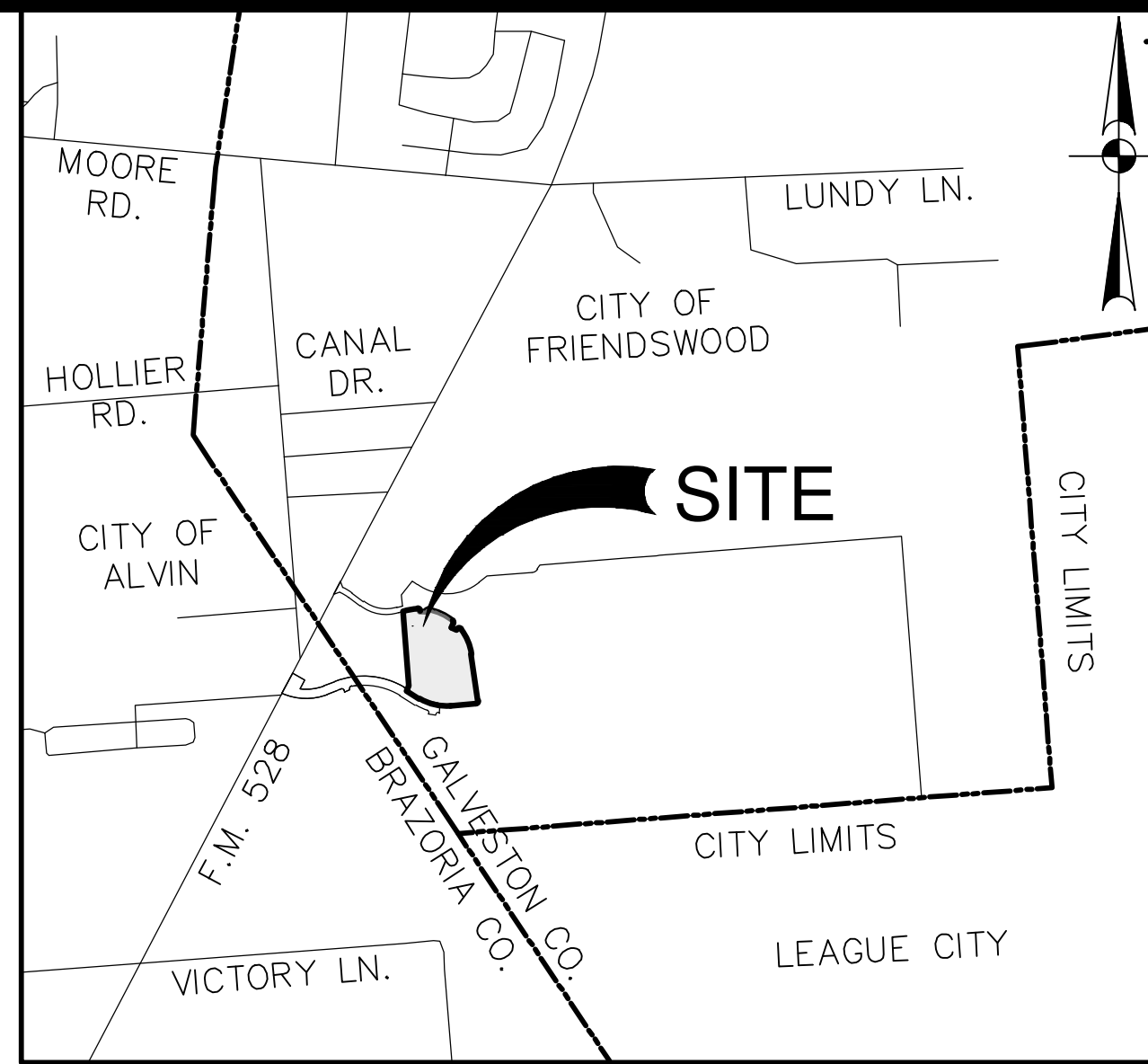
BY: _____
DEPUTY

IN ACCORDANCE WITH THE CITY OF FRIENDSWOOD SUBDIVISION ORDINANCE APPENDIX B SECTION I.B.4. I, **D.R. HORTON - TEXAS, LTD.**, OWNER OF THE REMAINDER OF A **132.008** ACRE TRACT THAT IS CURRENTLY BEING PARTIALLY SUBDIVIDED AS **SHERRY LANE STREET DEDICATION**, CONFIRM THAT THE DEVELOPMENT OF THE PORTION OF THE TRACT NOT INCLUDED WITHIN THE PLAT BOUNDARIES WOULD BE CONTINGENT UPON A SUBDIVISION PLAT BEING FILED AND APPROVED BY THE CITY. IF SUCH PLAT IS REQUIRED, IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY GOVERNING PLATS AND THE SUBDIVISION OF THE LAND IN EFFECT AT THE TIME THE APPLICATION FOR PLAT APPROVAL OF SUCH PORTION IS SOUGHT.

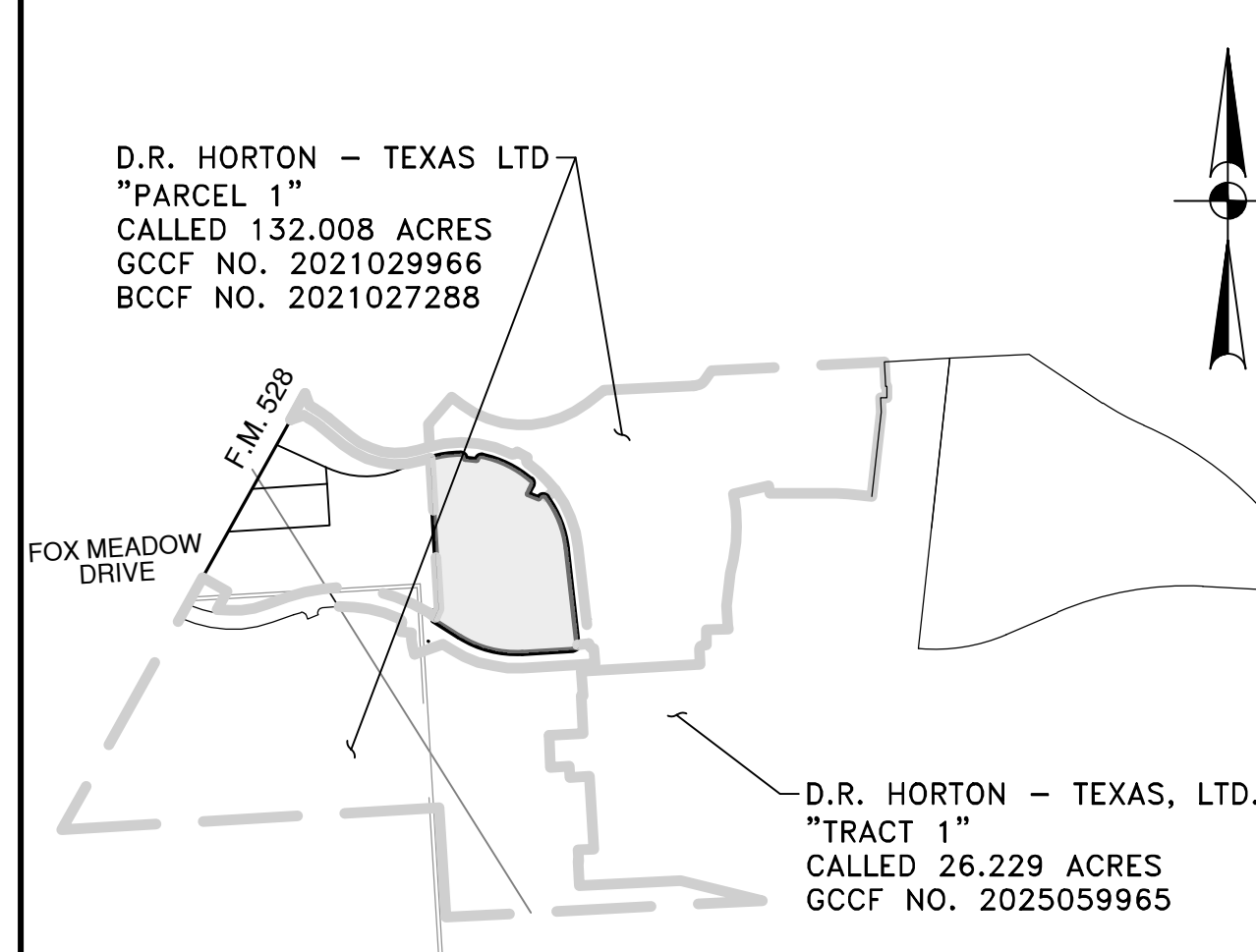
METES AND BOUNDS DESCRIPTION FOR

A 15.001 ACRE, OR 653,437 SQUARE FEET MORE OR LESS, TRACT OF LAND, BEING A PORTION OF A 132.008 ACRE TRACT OF LAND CONVEYED TO D.R. HORTON - TEXAS, LTD., AND DESCRIBED AS "PARCEL 1" IN A DEED RECORDED IN GALVESTON COUNTY CLERK'S FILE NO. 2021029966 (CO-RECORDED IN CLERK'S FILE NO. 2021027288), SITUATED IN BLOCK 1, SECTION 23, OF THE I&GN RR CO SURVEY, ABSTRACT NO. 624, IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS. SAID 15.001 ACRE TRACT BEING MORE FULLY DESCRIBED AS FOLLOWS, WITH BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM OF 1983 ESTABLISHED FOR THE SOUTH CENTRAL ZONE FROM THE NORTH AMERICAN DATUM OF 1983 (NAD2011) EPOCH 2010.00:
COMMENCING: AT A FOUND COPPERWELD ON THE SOUTHEAST RIGHT-OF-WAY LINE OF F.M. 528, A 180-FOOT WIDE RIGHT-OF-WAY, AT THE SOUTHWEST CORNER OF A CALLED 106.089 ACRE TRACT OF LAND, CONVEYED TO GEORGE A. BOFYSIL, JR., TRUSTEE AND DESCRIBED IN A DEED RECORDED IN CLERK'S FILE NO. 9612253 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF GALVESTON COUNTY, TEXAS, THE NORTHWEST CORNER OF A CALLED 10.6202 ACRE TRACT OF LAND, CONVEYED TO GEORGE A. BOFYSIL, JR., TRUSTEE AND DESCRIBED A DEED RECORDED IN CLERK'S FILE NO. 8612041 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF GALVESTON COUNTY, TEXAS;
THENCE: S 61°39'56" E, DEPARTING THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID F.M. 528, OVER AND ACROSS SAID 10.6202 ACRE TRACT, A DISTANCE OF 746.18 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND AT AN ANGLE CORNER ON A WEST LINE OF SAID 132.008 ACRE TRACT, THE NORTHEAST CORNER OF A CALLED 15.0859 ACRE TRACT OF LAND CONVEYED TO GEORGE A. BOFYSIL, JR., TRUSTEE AND DESCRIBED IN A DEED RECORDED IN CLERK'S FILE NO. 8612043 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF GALVESTON COUNTY, TEXAS, FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF THE HEREIN DESCRIBED 15.001 ACRE TRACT OF LAND;
THENCE: OVER AND ACROSS SAID 132.008 ACRE TRACT THE FOLLOWING COURSES AND DISTANCES:
N04°EASTERLY, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIAL BEARING OF S 61°18'29" E, A RADIUS OF 565.00 FEET, A CENTRAL ANGLE OF 16°16'29", A CHORD BEARING AND DISTANCE OF N 61°38'45" E, 159.95 FEET, FOR AN ARC LENGTH OF 160.49 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,
SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 95°27'09", A CHORD BEARING AND DISTANCE OF S 42°28'26" E, 37.00 FEET, FOR AN ARC LENGTH OF 40.65 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET
S 64°15'19" E, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE TO BE SET FOR A NON-TANGENT POINT OF CURVATURE,
NORTHEASTERLY, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIAL BEARING OF S 64°15'19" E, A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 94°43'49", A CHORD BEARING AND DISTANCE OF N 65°03'36" E, 37.08 FEET, FOR AN ARC LENGTH OF 41.77 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,
SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 565.00 FEET, A CENTRAL ANGLE OF 29°30'24", A CHORD BEARING AND DISTANCE OF S 63°46'18" E, 287.76 FEET, FOR AN ARC LENGTH OF 290.97 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,
SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 78°24'51", A CHORD BEARING AND DISTANCE OF S 69°48'40" E, 31.61 FEET, FOR AN ARC LENGTH OF 34.21 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF REVERSE CURVATURE,
SOUTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 330.00 FEET, A CENTRAL ANGLE OF 09°32'10", A CHORD BEARING AND DISTANCE OF S 62°07'40" W, 49.12 FEET, FOR AN ARC LENGTH OF 49.16 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET,
S 69°08'25" E, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A NON-TANGENT POINT OF CURVATURE,
N04°EASTERLY, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIAL BEARING OF S 69°08'25" E, A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 122°42'49", A CHORD BEARING AND DISTANCE OF N 62°13'00" E, 43.88 FEET, FOR AN ARC LENGTH OF 53.54 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,
SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 565.00 FEET, A CENTRAL ANGLE OF 30°00'08", A CHORD BEARING AND DISTANCE OF S 21°25'32" E, 292.49 FEET, FOR AN ARC LENGTH OF 295.85 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF TANGENCY,
S 06°25'28" E, A DISTANCE OF 512.40 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF CURVATURE,
SOUTHWESTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 93°07'43", A CHORD BEARING AND DISTANCE OF S 40°08'24" W, 36.31 FEET, FOR AN ARC LENGTH OF 40.64 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF TANGENCY,
S 86°42'15" W, A DISTANCE OF 272.46 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF CURVATURE,
NORTHWESTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 560.00 FEET, A CENTRAL ANGLE OF 35°45'08", A CHORD BEARING AND DISTANCE OF N 67°25'11" W, 343.79 FEET, FOR AN ARC LENGTH OF 349.44 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF TANGENCY,
N 67°32'37" W, A DISTANCE OF 159.21 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR AN ANGLE POINT, AND
N 62°22'52" E, AT A DISTANCE OF 20.29 FEET PASSING A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR AN INTERIOR CORNER OF SAID 132.008 ACRE TRACT, AND CONTINUING NOW ALONG AND WITH A WEST LINE OF SAID 132.008 ACRE TRACT AN ADDITIONAL 46.66 FEET, FOR A TOTAL DISTANCE OF 66.95 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID 15.0859 ACRE TRACT, AND AN ANGLE POINT OF SAID 132.008 ACRE TRACT;
THENCE: N 03°15'11" W, ALONG AND WITH THE WEST LINE OF SAID 132.008 ACRE TRACT, AND THE EAST LINE OF SAID 15.0859 ACRE TRACT, A DISTANCE OF 799.96 FEET TO THE POINT OF BEGINNING, AND CONTAINING 15.001 ACRES IN GALVESTON COUNTY, TEXAS, SAID TRACT BEING DESCRIBED IN ACCORDANCE WITH A SURVEY MADE ON THE GROUND AND A SURVEY DESCRIPTION AND MAP PREPARED UNDER JOB NUMBER 49187-20 BY PAPE-DAWSON ENGINEERS, INC.

THIS DESCRIPTION WAS PREPARED FOR THE PREPARATION OF A PROPOSED SUBDIVISION PLAT. AT THE TIME OF RECORDATION, THIS RECORDED TRACT SHALL HAVE PROPER MONUMENTATION SET.



VICINITY MAP
SCALE 1"=2000'
MAP REF: KEY MAP #696 B



PARTIAL PLAT LOCATION
SCALE 1"=1000'

REGULATION MATRIX—RESIDENTIAL DISTRICTS
Circled letters (letters in parentheses) refer to paragraphs in section 7-Q.3 of Appendix C, Zoning Ordinance.

Units per Acre	Lot Area Minimum Square Feet	Lot Width	Yards - Minimum Feet						Height Maximum Feet (b and e)	Parking Requirement Unit	Zero Lot Lines Y or No	Maximum Lot Coverage
			Front	Rear (a)	Interior (d)	Back to an Abutting Side Yard	Back to an Abutting Rear Yard	Side Exterior (Corner Lot)				
SFR Single-Family Residential	2.7	11,600	90 A	25 B	25	10 F	25 A	20 C	40	K	No	35%

- A. Lots less than 120 feet wide require curbs. Lots 120 feet wide or greater may use open ditches.
- B. Thirty-five feet on thoroughfares.
- C. Twenty-five feet on thoroughfares.
- F. Lots currently in existence with less than 90 feet of width that have structures already built upon them may continue with the same existing setback for additions provided they are not less than a minimum of five feet.
- K. Parking is required in accordance with the Parking Group Table in the Design Criteria Manual.

GEORGETOWN SEC 1 LOT TABLE				GEORGETOWN SEC 1 LOT TABLE			
BLOCK	LOT	SQUARE FEET	Acres	BLOCK	LOT	SQUARE FEET	Acres
1	1	13,591	0.31	2	1	14,680	0.34
1	2	12,720	0.29	2	2	12,850	0.30
1	3	12,110	0.28	2	3	12,023	0.28
1	4	11,761	0.27	2	4	11,848	0.27
1	5	11,718	0.27	2	5	11,718	0.27
1	6	11,718	0.27	2	6	11,718	0.27
1	7	11,718	0.27	2	7	11,718	0.27
1	8	11,718	0.27	2	8	13,373	0.31
1	9	14,070	0.32	2	9	13,024	0.30
1	10	13,329	0.31	2	10	11,718	0.27
1	11	12,894	0.30	2	11	11,718	0.27
1	12	13,112	0.30	2	12	11,718	0.27
1	13	13,373	0.31	2	13	11,848	0.27
1	14	12,894	0.30	2	14	13,024	0.30
1	15	12,371	0.28	2	15	19,820	0.46
1	16	12,763	0.29				

PRELIMINARY PLAT OF
GEORGETOWN SECTION 1

A SUBDIVISION OF 15.001 ACRES LOCATED IN THE I&GN RR CO SURVEY, BLOCK 1, SECTION 23, ABSTRACT 624 GALVESTON COUNTY, FRIENDSWOOD, TEXAS

31 LOTS 4 RESERVES 2 BLOCKS
SCALE: 1"= 60' APRIL 2026

OWNER:
D.R. HORTON-TEXAS, LTD.
A TEXAS LIMITED LIABILITY PARTNERSHIP
6744 HORTON VISTA DRIVE, SUITE 100
RICHMOND, TEXAS 77407
281-566-2100
DANIEL E. ROSE, LAND DEVELOPMENT MANAGER

PAPE-DAWSON
2107 CITYWEST BLVD, 3RD FLR I HOUSTON, TX 77042 I 713.428.2400
TEXAS ENGINEERING FIRM #470 I TEXAS SURVEYING FIRM #10028800

NOTES:

- ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ABUT ADJACENT ACREAGE TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS.
- THE RADIUS ON ALL BLOCK CORNERS IS 25.00 FEET, UNLESS OTHERWISE NOTED.
- ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE SHOWN.
- THE COORDINATES SHOWN HEREON ARE TEXAS SOUTH CENTRAL ZONE NO. 4204 STATE PLANE GRID COORDINATES (NAD83) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE COMBINED SCALE FACTOR OF 0.99898615.
- ALL BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204).
- INDICATES STREET NAME CHANGE SYMBOL.
- SIDEWALKS AND ADA RAMPS ARE REQUIRED ALONG ALL STREETS UNLESS THE STREET MEETS AN EXCEPTION ALLOWED BY FRIENDSWOOD CITY CODE CHAPTER 70-64. THE DEVELOPER MUST INSTALL SIDEWALKS AND ADA RAMPS ALONG RESERVES AND COMMON AREAS PRIOR TO THE CITY COUNCIL'S ACCEPTANCE OF THE SUBDIVISION INFRASTRUCTURE. WHEN SIDEWALKS ARE REQUIRED, THEY SHALL BE A WIDTH OF NO LESS THAN FOUR FEET AND COMPLY WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE PERMITTED TO BE BUILT NEARER THAN 150 FEET FROM ANY WELL OR RELATED FACILITY, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE WELL OR FACILITY.
- EXCEPT FOR LOW-PRESSURE DISTRIBUTION SYSTEM PIPELINES AS DEFINED IN CHAPTER 26, OF THE FRIENDSWOOD CITY CODE, NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE ERRECTED OR MOVED TO A LOCATION NEARER THAN 50 FEET TO ANY PIPELINE, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE PIPELINE.
- THE CITY OF FRIENDSWOOD SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE STREETS (DRIVEWAYS, SIDEWALKS, AND EMERGENCY ACCESS EASEMENTS), WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES (RETENTION PONDS, DRAINAGE EASEMENTS, OUTFALLS AND SWALES), RECREATIONAL AREAS, RESERVES AND OTHER PRIVATE FACILITIES THAT ARE WITHIN PRIVATE EASEMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THESE ITEMS. THE CITY OF FRIENDSWOOD SHALL BE RESPONSIBLE FOR MAINTENANCE OF PUBLIC STREETS, SIDEWALKS, STREET SIGNS, WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES, DRAINAGE EASEMENTS, OUTFALLS AND SWALES THAT ARE WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN PUBLIC AND/OR EXCLUSIVE EASEMENTS. THE MAINTENANCE OF PUBLIC STREETLIGHTS SHALL BE THE RESPONSIBILITY OF THE ELECTRIC PROVIDER.
- ALL UTILITY COMPANIES HAVE BEEN CONTACTED AND THE EASEMENTS SHOWN ON THE PLAT CONSTITUTE ALL THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES FOR THEIR OPERATIONS.
- THE FINISHED FLOOR ELEVATIONS OF ALL STRUCTURES SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATION ESTABLISHED BY FEMA, AND AS PRESCRIBED IN THE FLOOD DAMAGE PREVENTION ORDINANCE OF THE CITY OF FRIENDSWOOD, TEXAS.
- ANY AND ALL RIGHT OF WAY ISLANDS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT, EVEN IF NOT SHOWN ON THE FACE OF THE PLAT, SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- THERE ARE NO EXISTING PIPELINES OR PIPELINE EASEMENTS WITHIN THE LIMITS OF THIS SUBDIVISION.
- TEMPORARY ACCESS EASEMENT AFFECTING THE SUBJECTED PROPERTY, AS SET FORTH BY INSTRUMENT FILED FOR RECORD UNDER THE OFFICIAL PUBLIC RECORDS OF GALVESTON COUNTY, TEXAS DOCUMENT NO. 2023022694.
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- PROPERTY IS SUBJECT TO DEED RESTRICTIONS AS RECORDED IN DOCUMENT NOS. 2021029966, 2024003457, 2024005521, 2024005523, AND 2024005527 OF THE OFFICIAL PUBLIC RECORDS OF GALVESTON COUNTY, TEXAS.

CALLED 10.6202 ACRES
CF 8612041 GCOPRRP
GEORGE A. BOFYSL, JR., TRUSTEE

GEORGE A. BOFYSL, JR.,
TRUSTEE
PORTION OF
CALLED 15.8059 ACRES
CF NO. 8612043
GCOPRRP

RESTRICTED RESERVE
(RESTRICTED TO LANDSCAPE
AND OPEN SPACE PURPOSES
ONLY)
0.719 AC. 31,324 SQ. FT.

RESTRICTED RESERVE
(RESTRICTED TO LANDSCAPE,
AND OPEN SPACE PURPOSES
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0.136 AC. 5,934 SQ. FT.

RESTRICTED RESERVE
(RESTRICTED TO LANDSCAPE,
DRAINAGE, AND OPEN SPACE
PURPOSES ONLY)
2.416 AC. 105,253 SQ. FT.

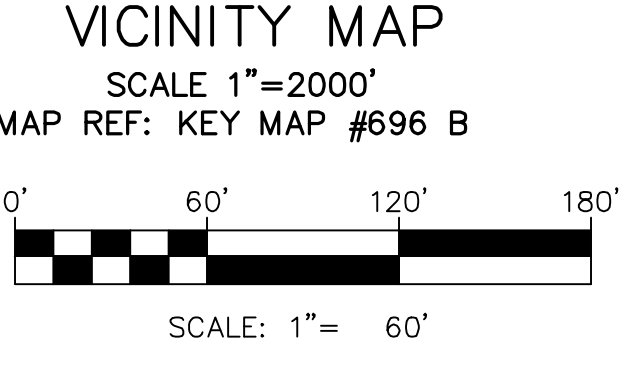
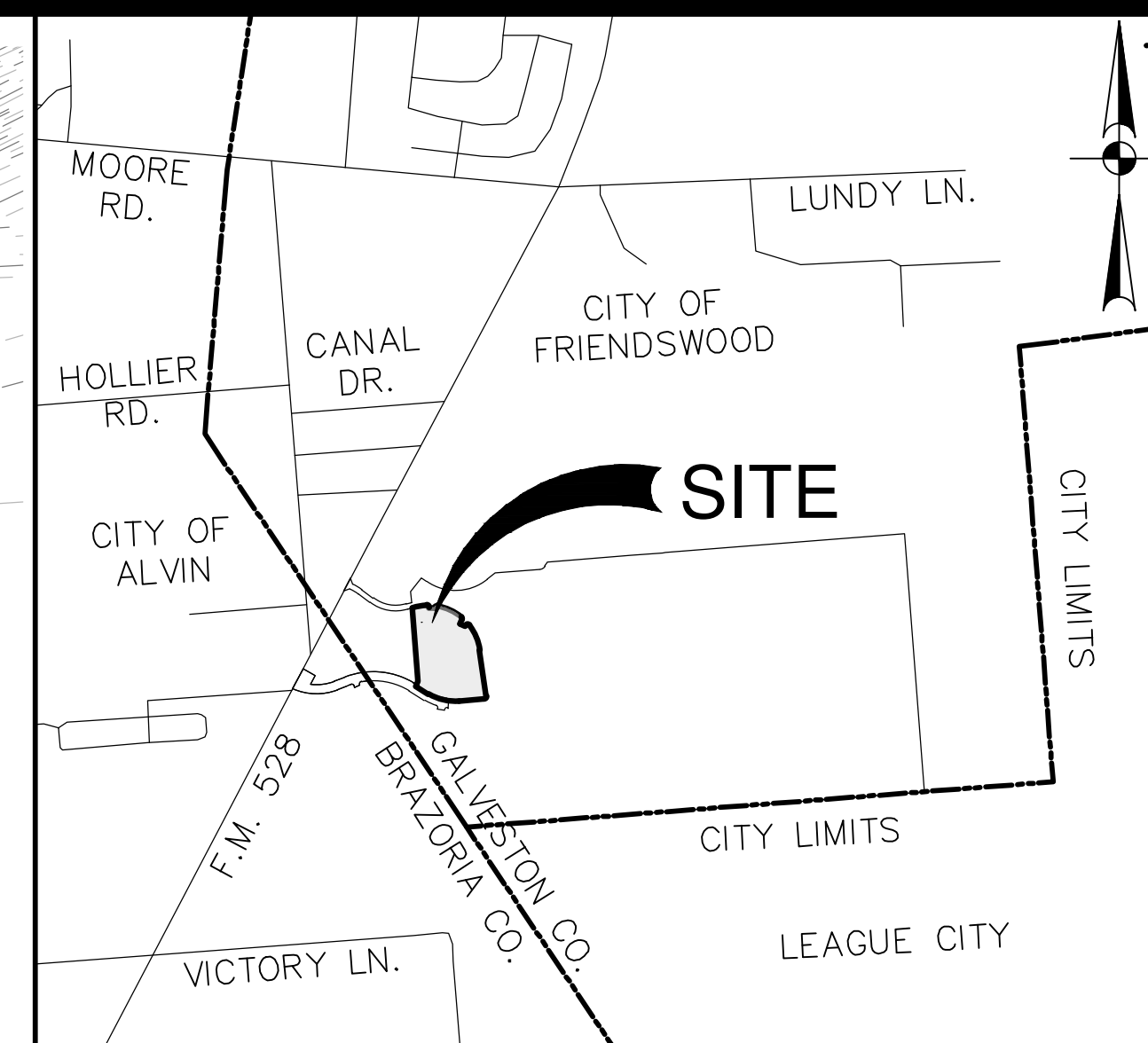
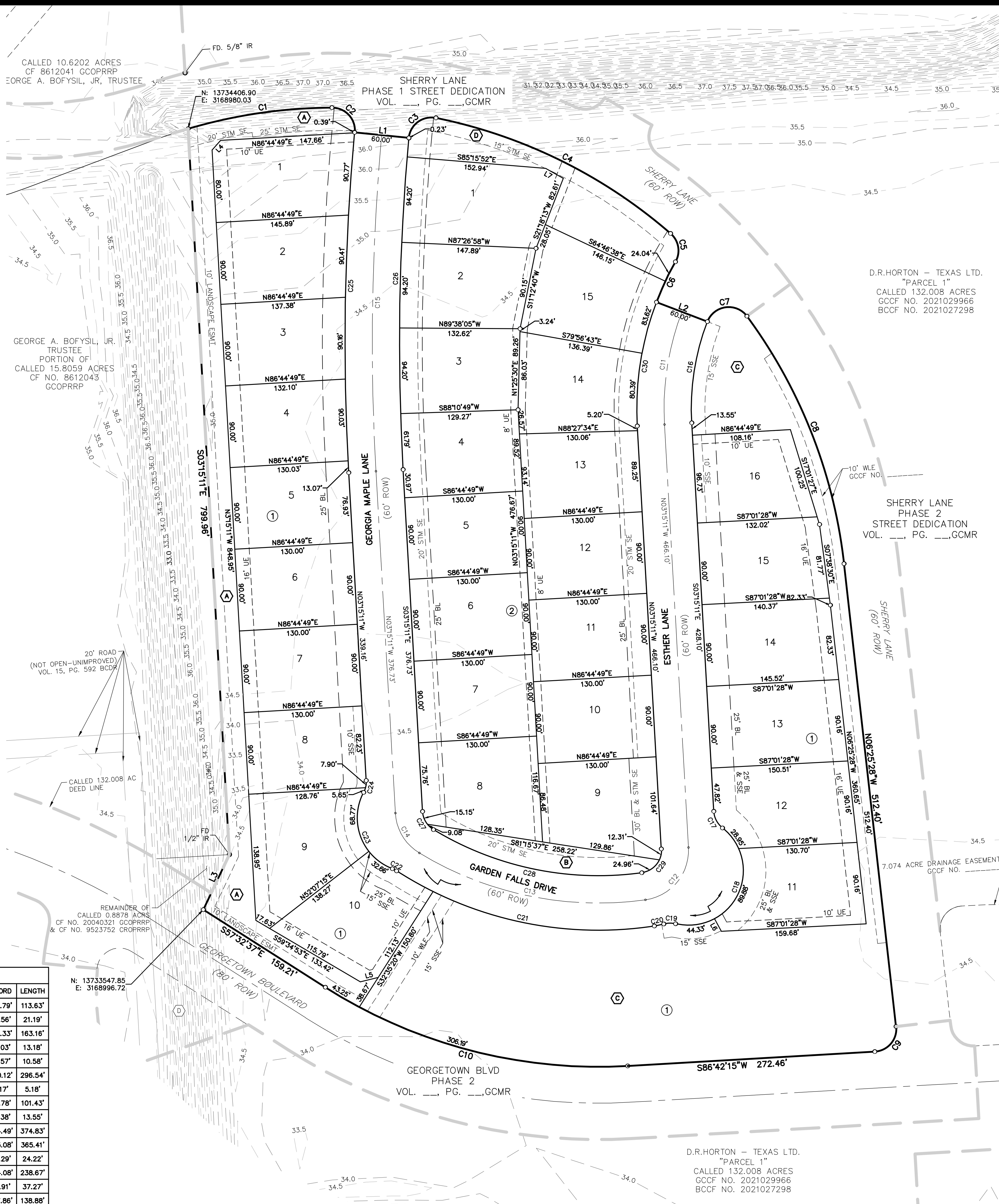
RESTRICTED RESERVE
(RESTRICTED TO LANDSCAPE
AND OPEN SPACE PURPOSES
ONLY)
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REMAINDER OF
CALLED 0.8878 ACRES
CF NO. 20040321 GCOPRRP
& CF NO. 9523752 GCOPRRP

LINE #	BEARING	LENGTH
L1	S84°15'19"E	60.00'
L2	N69°08'25"W	60.00'
L3	S25°22'52"W	66.95'
L4	S41°44'49"W	14.14'
L5	S76°30'13"W	20.17'
L6	N28°20'35"W	15.59'
L7	N60°24'38"W	22.27'

CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
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C4	565.00'	29°30'24"	N63°46'18"W	287.76'	290.97'
C5	25.00'	78°24'51"	N9°48'40"W	31.61'	34.21'
C6	330.00'	8°32'10"	S25°07'40"W	49.12'	49.16'
C7	25.00'	122°42'49"	S821°3'00"W	43.88'	53.54'
C8	565.00'	30°00'08"	N21°25'32"W	292.49'	295.85'
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C10	560.00'	31°19'38"	S77°37'56"E	302.39'	306.19'
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C23	60.00'	96°51'30"	S20°38'18"E	89.78'	101.43'
C24	25.00'	31°02'38"	N12°16'08"E	13.38'	13.55'
C25	2530.00'	8°29'19"	S0°59'29"W	374.49'	374.83'
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- FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
 - ACRE SET 5/8" IRON ROD (PD)
 - AC = ACRE
 - AE = AERIAL EASEMENT
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 - OPRRPGC = OFFICIAL PUBLIC RECORDS OF GALVESTON COUNTY TEXAS
 - GCFC = GALVESTON COUNTY CLERK'S FILE NUMBER

PRELIMINARY PLAT OF GEORGETOWN SECTION 1

A SUBDIVISION OF 15.001 ACRES LOCATED IN THE I&GN RR CO SURVEY, BLOCK 1, SECTION 23, ABSTRACT 624 GALVESTON COUNTY, FRIENDSWOOD, TEXAS

31 LOTS 4 RESERVES 2 BLOCKS

SCALE: 1"= 60' APRIL 2026

OWNER:
D.R. HORTON TEXAS LTD.
A TEXAS LIMITED LIABILITY PARTNERSHIP
6744 HORTON VISTA DRIVE, SUITE 100
RICHMOND, TEXAS 77407
281-566-2100
DANIEL E. ROSE, LAND DEVELOPMENT MANAGER

PAPE-DAWSON
2107 CITYWEST BLVD, 3RD FLR | HOUSTON, TX 77042 | 713.428.2400
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028900

Date: Apr 26, 2026, 11:20am User: ID: rnf061615 File: C:\Users\LocalAdmin\AppData\Local\Temp\MapInfo\173430.VP - 4099710_PRELIM.dwg

City of Friendswood

910 S Friendswood Drive
Friendswood, TX 77546



Corrections Required - 05-06-2026 11:06:30
Application No. PLT2026-1072
Address : 0 GEORGETOWN BLVD

Corrections Required Instructions:

- * Comments by each department should be addressed. Refer to the marked up plans and the written comments to ensure that all issues are addressed. In addition to the revised plans, a memo with written responses is recommended.
- * Once all comments have been addressed, return the pages that required change and any additional documents to the City of Friendswood Community Development Department
- * The review period for resubmitted plans is 7 to 10 business days. The applicant will be notified at the end of that period whether the plans are approved or if further explanation is needed.

Corrections Required:

Comment ID	Page Reference	Reviewer : Department	Review Comments	Applicant Response Comments
23	PLAT1	Becky Bennett : Planning	Update partial plat statement to reference Section II, not Section I. Correct plat name from Sherry Lane Street Dedication to Georgetown Section 1.	
21	PLAT2	Becky Bennett : Planning	Full plat name is Georgetown Blvd Phase 2 Street Dedication .	

General Comments (informational and do not require corrections):

Reviewer Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone No.:
Becky Bennett	bbennett@friendswood.com	281-996-3290

Submission Documents:

Document Name	Document ID
PL-4099710 PRELIM.pdf	91044
PL-4099710 PRELIM.pdf	94302

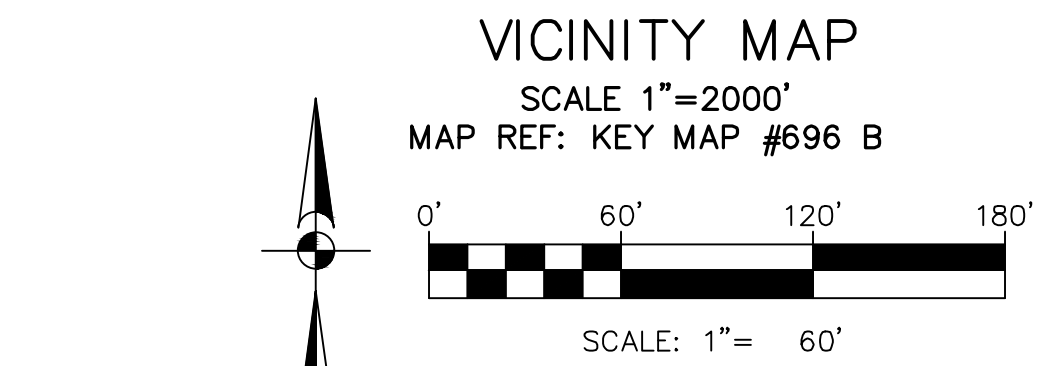
NOTES:

- ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END OF STREETS WHERE SUCH STREETS ABUT ADJACENT ACRES TRACTS, THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS, OR SUCCESSORS.
- THE RADIUS ON ALL BLOCK CORNERS IS 25.00 FEET, UNLESS OTHERWISE NOTED.
- ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE SHOWN.
- THE COORDINATES SHOWN HEREON ARE TEXAS SOUTH CENTRAL ZONE NO. 4204 STATE PLANE GRID COORDINATES (NAD83) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE COMBINED SCALE FACTOR OF 0.99886615.
- ALL BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204).
- INDICATES STREET NAME CHANGE SYMBOL.
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CALLED 10.6202 ACRES
CF 8612041 GCOPRRP
GEORGE A. BOFYSL, JR., TRUSTEE
N: 13734406.90
E: 3168980.03

GEORGE A. BOFYSL, JR.,
TRUSTEE
PORTION OF
CALLED 15.8059 ACRES
CF NO. 8612043
GCOPRRP

D.R.HORTON - TEXAS LTD.
"PARCEL 1"
CALLED 132.008 ACRES
GCCF NO. 2021029966
BCCF NO. 2021027298



LEGEND

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LINE TABLE

LINE #	BEARING	LENGTH
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0.719 AC. 31,324 SQ. FT.
- B** RESTRICTED RESERVE (RESTRICTED TO LANDSCAPE, DRAINAGE, AND OPEN SPACE PURPOSES ONLY)
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PRELIMINARY PLAT OF GEORGETOWN SECTION 1

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31 LOTS 4 RESERVES 2 BLOCKS
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A TEXAS LIMITED LIABILITY PARTNERSHIP
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RICHMOND, TEXAS 77407
281-566-2100
DANIEL E. ROSE, LAND DEVELOPMENT MANAGER

PAPE-DAWSON
2107 CITYWEST BLVD, 3RD FLR I HOUSTON, TX 77042 | 713.428.2400
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

Date: Apr 26, 2026, 11:20am User: ID: rnf061615 File: C:\Users\LocalAdmin\AppData\Local\Temp\MapInfo\173430_V1-4099710_PRELIM.dwg

MEMO

TO: City of Friendswood
Planning & Zoning Commission
910 S. Friendswood Dr.
Friendswood, TX 77546

DATE: 5/01/2026

FROM: Nancy Valdivia

PROJECT NO.: 40997-10

RE: Preliminary Plat of Georgetown Sec 1

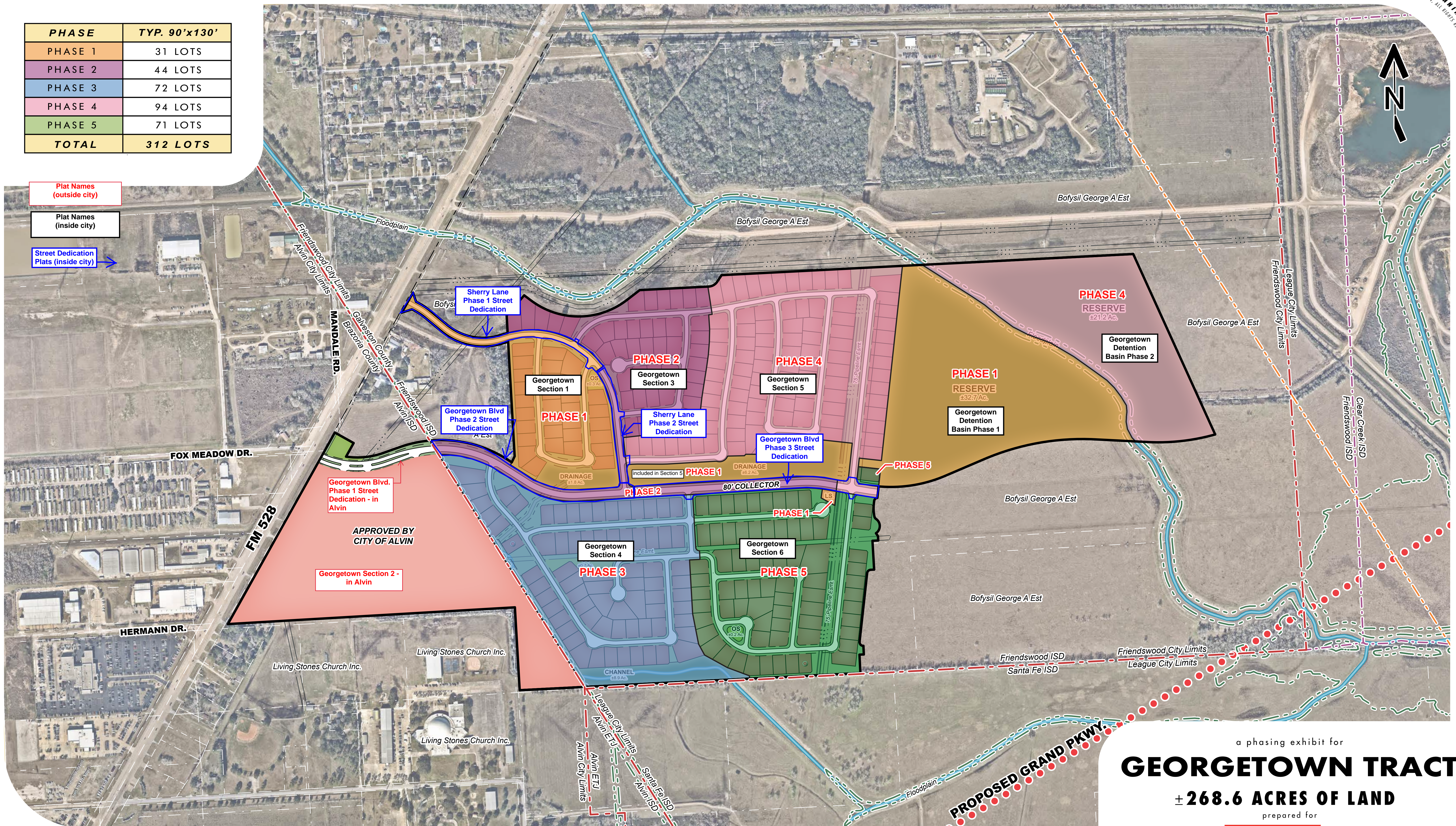
Please review proposed street names below for the Preliminary Plat of Georgetown Sec 1:

ESTHER LANE
GARDEN FALLS DRIVE
GEORGIA MAPLE LANE

Thank you,
Nancy Valdivia

PHASE	TYP. 90'x130'
PHASE 1	31 LOTS
PHASE 2	44 LOTS
PHASE 3	72 LOTS
PHASE 4	94 LOTS
PHASE 5	71 LOTS
TOTAL	312 LOTS

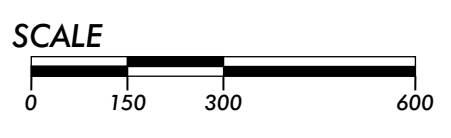
- Plat Names (outside city)
- Plat Names (inside city)
- Street Dedication Plats (inside city)



a phasing exhibit for
GEORGETOWN TRACT
 ± 268.6 ACRES OF LAND

prepared for
D·R·HORTON DHI
NYSE
America's Builder

META PLANNING + DESIGN
 24285 Katy Freeway, Ste. 525
 Katy, Texas 77494
 Tel: 281-810-1422

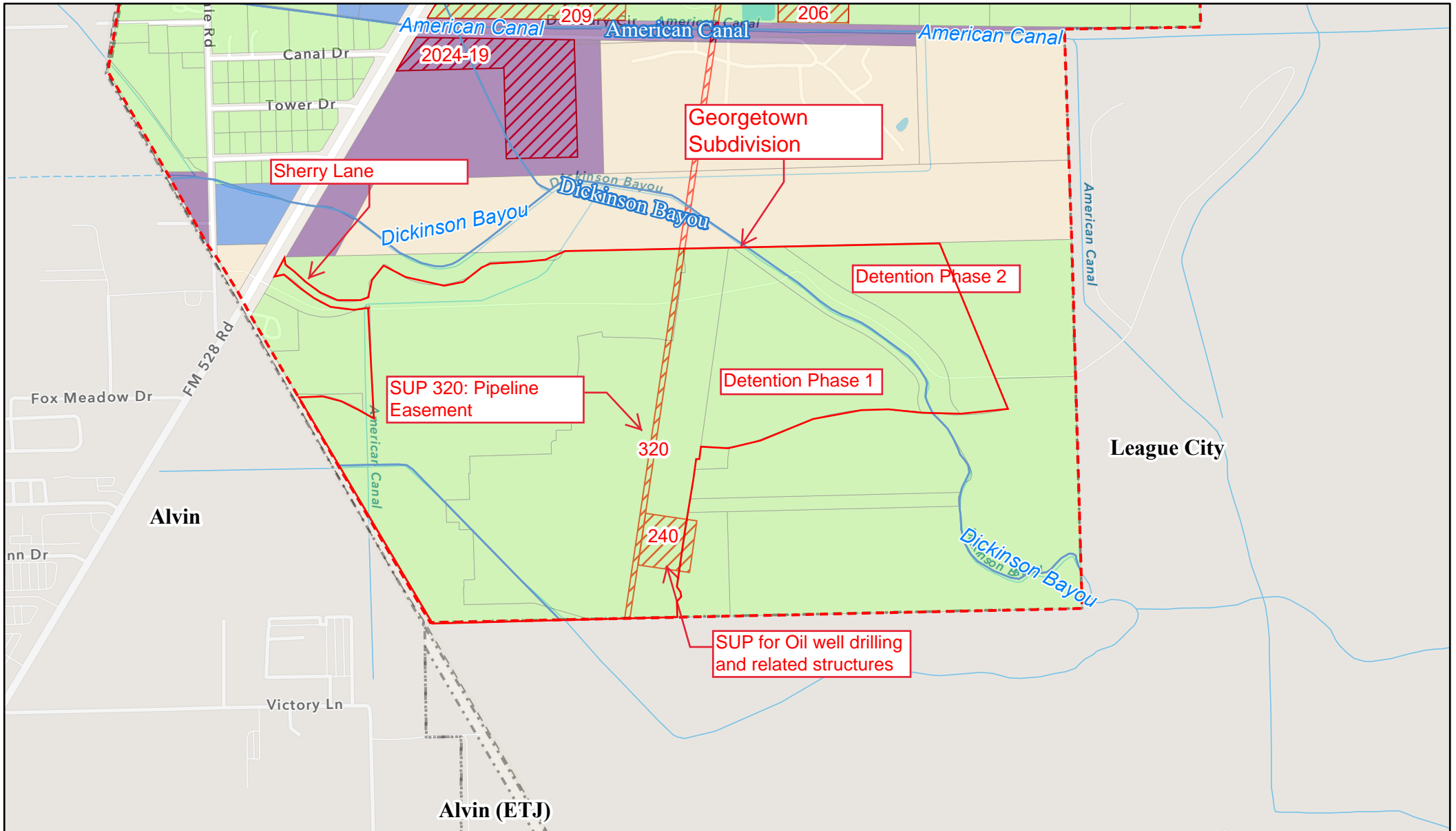


HOU-21006
 FEBRUARY 29, 2024

***ALL ROW WIDTHS SHALL BE 60' UNLESS OTHERWISE NOTED**

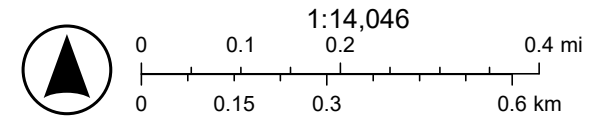
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City of Friendswood



3/31/2026, 12:01:38 PM

City Limit	Zoning by Parcel	DD	MFR-H	OPD	SFR-E
Creeks/Water	NO ZONING	GHD	MFR-L	PUD-COMM	Specific Use Permit
Surrounding Cities	A1	I	MFR-M	PUD-MIXED	
Water Lines	BP	LI	MHR	PUD-RES	
	CSC	LNC	NC	SFR	



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2026

Subject: **PRELIMINARY PLAT: SHERRY LANE PHASE 1 STREET DEDICATION (APPROX. 1500 FEET OF ROADWAY)**

Consider approving the Preliminary Plat of Sherry Lane Phase 1 Street Dedication, a subdivision of 2.301 acres located in the I&GN RR CO Survey, Block 1, Survey 23, Abstract 624, City of Friendswood, Galveston County, Texas.

Action:

SUMMARY / ORIGINATING CAUSE

Zoning: Single Family Residential (SFR)
Location: FM 528/W Parkwood Ave (south near Alvin)

The master plan for the Georgetown Subdivision was approved by the Planning and Zoning Commission in February 2024. The approved master plan is attached to Item 4C and also includes labels of the plat names for reference. A zoning map is attached to that item as well.

This preliminary plat contains approximately 1500 feet of right-of-way that will be developed and dedicated to the city. The plat was reviewed by staff in the following departments: Planning, Engineering, Public Works, Fire Marshal's Office, Police Department and Parks & Recreation.

This plat was Disapproved by the Commission on April 9, 2026.

Staff recommends Approve with minor staff comments

Standards for approval. The Commission shall approve a plat if:

- (1) It conforms to the general plan of the City of Friendswood and the current and future streets, alleys, parks, playgrounds, and public utility facilities;
- (2) It conforms to the general plans for extension of roads, streets, and public highways, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities; and
- (3) It conforms to the Subdivision Ordinance and Local Government Code Chapter 212.

P&Z Action Options:

1) Approve - If approved, the plat shall be endorsed with a certificate of approval by the planning and zoning commission chairman and attested by the commission's secretary. This can include minor staff comments.

2) Approve with Conditions - conditions included on attached corrections report; requires resubmittal and Commission action

3) Disapprove with Reasons - reasons included on attached corrections report; requires resubmittal and Commission action

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. Preliminary Plat of Sherry Lane Street Dedication Phase 1
2. Sherry Ln Ph 2 Street Ded Prel Plat - Corrections Report 05-06-2026

STATE OF TEXAS
COUNTY OF GALVESTON

WE, **D.R. HORTON – TEXAS, LTD.**, ACTING BY AND THROUGH _____ AND _____
BEING OFFICERS OF **D.R. HORTON – TEXAS, LTD.**, OWNER HEREINAFTER REFERRED TO AS OWNERS OF THE **2.301 ACRE** TRACT DESCRIBED IN THE ABOVE AND FOREGOING MAP OF **SHERRY LANE STREET DEDICATION**, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAN OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS AND NOTATIONS ON SAID MAPS OR PLAT AND HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS (EXCEPT THOSE STREETS DESIGNATED AS PRIVATE STREETS), ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER AN UNOBSTRUCTED AERIAL EASEMENT ABOVE THE GROUND LEVEL UPWARD, TO ALL PUBLIC EASEMENTS SHOWN HEREON.

IN TESTIMONY WHEREOF, THE **D.R. HORTON – TEXAS, LTD.**, HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____ ITS _____
THEREUNTO AUTHORIZED, ATTESTED BY ITS _____ (OR AUTHORIZED TRUST OFFICER), _____ (NAME OF SECRETARY OR AUTHORIZED TRUST OFFICER), AND ITS COMMON SEAL HEREUNTO AFFIXED THIS _____ DAY OF _____ **2026**.

STATE OF TEXAS
COUNTY OF GALVESTON
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ AND _____ KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE,
THIS _____ DAY OF _____ **2026**.

NOTARY PUBLIC IN AND FOR
THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

I, **JONATHAN FRANZ**, AM AUTHORIZED (OR REGISTERED) UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL BOUNDARY CORNERS, ANGLE POINTS, POINTS OR CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON (OR OTHER SUITABLE PERMANENT PIPES OR RODS HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN THREE QUARTER (3/4) INCH AND A LENGTH OF NOT LESS THAN THREE (3) FEET; THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER; AND THAT THE BOUNDARY CLOSURES WITHIN 1 IN 10,000.

FOR INTERIM REVIEW ONLY
DOCUMENT INCOMPLETE:
NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES
SURVEYOR: JONATHAN FRANZ
R.P.L.S. TEXAS REGISTRATION NO. 6705
DATE: 03/30/2026
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6705
PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF **FRIENDSWOOD**, TEXAS HAS APPROVED THIS PLAT AND SUBDIVISION OF **SHERRY LANE STREET DEDICATION** IN CONFORMANCE WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THE CITY AS ADOPTED BY THE CITY COUNCIL AND AUTHORIZED THE RECORDING OF THIS PLAT THIS _____ DAY OF _____ **2026**.

ATTESTED BY: _____ BY: _____
BECKY BENNETT, ASSISTANT PLANNER TOM HINCKLEY, CHAIRMAN

I, **JILDARDO ARIAS, P.E.**, CFM, CITY ENGINEER AND DIRECTOR OF ENGINEERING OF THE CITY OF FRIENDSWOOD, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE CITY OF FRIENDSWOOD, TEXAS AND FURTHER IT COMPLIES WITH ALL OF THE ORDINANCES AS CURRENTLY ADOPTED BY CITY COUNCIL.

By: _____
JILDARDO ARIAS, P.E., CFM, CITY ENGINEER/DIRECTOR OF ENGINEERING

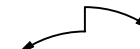
I, **DWIGHT D. SULLIVAN**, COUNTY CLERK, GALVESTON COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE ON _____ **2026**, AT _____ O'CLOCK, _____ M, AND DULY RECORDED ON _____ **2026**, AT _____ O'CLOCK, _____ M, INSTRUMENT # _____ GALVESTON COUNTY RECORDS.

WITNESS MY HAND AND SEAL OF OFFICE, AT GALVESTON, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

DWIGHT D. SULLIVAN
COUNTY CLERK
GALVESTON COUNTY, TEXAS

By: _____
DEPUTY

NOTES:

- 1. SIDEWALKS AND ADA RAMP ARE REQUIRED ALONG ALL STREETS UNLESS THE STREET MEETS AN EXCEPTION ALLOWED BY FRIENDSWOOD CITY CODE CHAPTER 70-64. THE DEVELOPER MUST INSTALL SIDEWALKS AND ADA RAMP ALONG RESERVES AND COMMON AREAS PRIOR TO THE CITY COUNCIL'S ACCEPTANCE OF THE SUBDIVISION INFRASTRUCTURE. WHEN SIDEWALKS ARE REQUIRED, THEY SHALL BE A WIDTH OF NO LESS THAN FOUR FEET AND COMPLY WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- 2. NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE PERMITTED TO BE BUILT NEARER THAN 150 FEET FROM ANY WELL OR RELATED FACILITY, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE WELL OR FACILITY.
- 3. EXCEPT FOR LOW-PRESSURE DISTRIBUTION SYSTEM PIPELINES AS DEFINED IN CHAPTER 26, OF THE FRIENDSWOOD CITY CODE, NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE ERRECTED OR MOVED TO A LOCATION NEARER THAN 50 FEET TO ANY PIPELINE, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE PIPELINE.
- 4. THE CITY OF FRIENDSWOOD SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE STREETS (DRIVEWAYS, SIDEWALKS, AND EMERGENCY ACCESS EASEMENTS), WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES (DETENTION PONDS, DRAINAGE EASEMENTS, OUTFALLS AND SWALES), RECREATIONAL AREAS, RESERVES AND OTHER PRIVATE FACILITIES THAT ARE WITHIN PRIVATE EASEMENTS; THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THESE ITEMS. THE CITY OF FRIENDSWOOD SHALL BE RESPONSIBLE FOR MAINTENANCE OF PUBLIC STREETS, SIDEWALKS, STREET SIGNS, WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES, DRAINAGE EASEMENTS, OUTFALLS AND SWALES THAT ARE WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN PUBLIC AND/OR EXCLUSIVE EASEMENTS. THE MAINTENANCE OF PUBLIC STREETLIGHTS SHALL BE THE RESPONSIBILITY OF THE ELECTRIC PROVIDER.
- 5. ALL UTILITY COMPANIES HAVE BEEN CONTACTED AND THE EASEMENTS SHOWN ON THE PLAT CONSTITUTE ALL THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES FOR THEIR OPERATIONS.
- 6. THE FINISHED FLOOR ELEVATIONS OF ALL STRUCTURES SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATION ESTABLISHED BY FEMA, AND AS PRESCRIBED IN THE FLOOD DAMAGE PREVENTION ORDINANCE OF THE CITY OF FRIENDSWOOD, TEXAS.
- 7. ANY AND ALL RIGHT OF WAY ISLANDS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT, EVEN IF NOT SHOWN ON THE FACE OF THE PLAT, SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- 8. THERE ARE NO EXISTING PIPELINES OR PIPELINE EASEMENTS WITHIN THE LIMITS OF THIS SUBDIVISION.
- 9. ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE SHOWN.
- 10. THE COORDINATES SHOWN HEREON ARE TEXAS SOUTH CENTRAL ZONE NO. 4204 STATE PLANE GRID COORDINATES (NAD83) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE COMBINED SCALE FACTOR OF 0.99986615.
- 11. ALL BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204).
- 12.  INDICATES STREET NAME CHANGE SYMBOL
- 13. TEMPORARY ACCESS EASEMENT AFFECTING THE SUBJECTED PROPERTY, AS SET FORTH BY INSTRUMENT FILED FOR RECORD UNDER THE OFFICIAL PUBLIC RECORDS OF GALVESTON COUNTY, TEXAS DOCUMENT NO. 2023022894.
- 14. SUBDIVISION IS LOCATED IN ZONE "A", BFE ELEVATION N/A. THIS INFORMATION IS BASED ON GALVESTON COUNTY FIRM COMMUNITY MAP 48167C0205G, EFFECTIVE AUGUST 15, 2019.
- 18. BENCHMARK: NGS BENCHMARK AWO997 = 37.50' NAVD88, JUNE 1991 ADJ. BEING A DISK STAMPED "D 1144 1995" IN THE WEST LEG OF KUTV TRANSMISSION TOWER, 2.2 MILES NE ALONG FM 528 FROM THE JUNCTION OF SH 35 IN ALVIN AND LOCATED APPROXIMATELY 2100' NORTH OF THIS PLAT.

IN ACCORDANCE WITH THE CITY OF FRIENDSWOOD SUBDIVISION ORDINANCE APPENDIX B SECTION I.B.4. I, **D.R. HORTON – TEXAS, LTD.**, OWNER OF THE REMAINDER OF A **132.008** ACRE TRACT THAT IS CURRENTLY BEING PARTIALLY SUBDIVIDED AS **SHERRY LANE STREET DEDICATION**, CONFIRM THAT THE DEVELOPMENT OF THE PORTION OF THE TRACT NOT INCLUDED WITHIN THE PLAT BOUNDARIES WILL BE CONTINGENT UPON A SUBDIVISION PLAT BEING FILED AND APPROVED BY THE CITY, IF SUCH PLAT IS REQUIRED, IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY GOVERNING PLATS AND THE SUBDIVISION OF THE LAND IN EFFECT AT THE TIME THE APPLICATION FOR PLAT APPROVAL OF SUCH PORTION IS SOUGHT.

METES AND BOUNDS DESCRIPTION
FOR

A 2.301 ACRE, OR 100,223 SQUARE FEET MORE OR LESS, TRACT OF LAND, BEING A PORTION OF A 132.008 ACRE TRACT OF LAND CONVEYED TO D.R. HORTON – TEXAS, LTD., AND DESCRIBED AS "PARCEL 1" IN A DEED RECORDED IN GALVESTON COUNTY CLERK'S FILE NO. 2021029986 (CO-RECORDED IN BRAZORIA COUNTY CLERK'S FILE NO. 2021027288), SITUATED IN BLOCK 1, SECTION 23, OF THE I&N RR CO. SURVEY, ABSTRACT NO. 624, IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS. SAID 2.301 ACRE TRACT BEING MORE FULLY DESCRIBED AS FOLLOWS, WITH BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM OF 1983 ESTABLISHED FOR THE SOUTH CENTRAL ZONE FROM THE NORTH AMERICAN DATUM OF 1983 (NAD2011) EPOCH 2010.00:

COMMENCING: AT A FOUND COPPERWELD ON THE SOUTHEAST RIGHT-OF-WAY LINE OF F.M. 528, A 180-FOOT WIDE RIGHT-OF-WAY, AT THE SOUTHWEST CORNER OF A CALLED 106.089 ACRE TRACT OF LAND, CONVEYED TO GEORGE A. BOFYSLIL, JR., TRUSTEE AND DESCRIBED IN A DEED RECORDED IN CLERK'S FILE NO. 9612253 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF GALVESTON COUNTY, TEXAS, THE NORTHWEST CORNER OF A CALLED 10.6202 ACRE TRACT OF LAND, CONVEYED TO GEORGE A. BOFYSLIL, JR., TRUSTEE AND DESCRIBED A DEED RECORDED IN CLERK'S FILE NO. 8612041 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF GALVESTON COUNTY, TEXAS.

THENCE: S 21°11'07" W, ALONG AND WITH THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID F.M. 528, A DISTANCE OF 12.88 FEET TO 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A NORTH CORNER OF SAID 132.008 ACRE TRACT AND THE POINT OF BEGINNING OF THIS TRACT;
THENCE: DEPARTING THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID F.M. 528, ALONG AND WITH SAID 132.008 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:
S 18°13'39" E, A DISTANCE OF 67.60 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A NON-TANGENT POINT OF CURVATURE;
SOUTHEASTERLY, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIAL BEARING OF S 25°30'52" W, A RADIUS OF 480.00 FEET, A CENTRAL ANGLE OF 14°15'19", A CHORD BEARING AND DISTANCE OF S 57°21'28" E, 119.12 FEET, FOR AN ARC LENGTH OF 119.42 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF TANGENCY,
S 50°13'49" E, A DISTANCE OF 151.50 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE,

SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 390.00 FEET, A CENTRAL ANGLE OF 56°15'41", A CHORD BEARING AND DISTANCE OF S 78°21'39" E, 367.76 FEET, FOR AN ARC LENGTH OF 382.96 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF TANGENCY,
N 73°30'30" E, A DISTANCE OF 50.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE, AND

THENCE: SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 625.00 FEET, A CENTRAL ANGLE OF 41°40'20", A CHORD BEARING AND DISTANCE OF S 85°39'20" E, 444.62 FEET, (PASSING A 5/8 INCH IRON ROD FOUND FOR AN INTERIOR CORNER OF SAID 132.008 ACRE TRACT AT AN ARC LENGTH OF 14.08 FEET, AND CONTINUING NOW OVER AND ACROSS SAID 132.008 ACRE TRACT) FOR A TOTAL ARC LENGTH OF 454.57 FEET TO 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF REVERSE CURVATURE;

THENCE: CONTINUING OVER AND ACROSS SAID 132.008 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:
NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 85°08'46", A CHORD BEARING AND DISTANCE OF N 72°36'27" E, 33.83 FEET, FOR AN ARC LENGTH OF 37.15 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET,
S 59°57'56" E, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A NON-TANGENT POINT OF CURVATURE,
SOUTHEASTERLY, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIAL BEARING OF S 59°57'56" E, A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 85°08'46", A CHORD BEARING AND DISTANCE OF S 12°32'19" E, 33.83 FEET, FOR AN ARC LENGTH OF 37.15 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF REVERSE CURVATURE,

SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 625.00 FEET, A CENTRAL ANGLE OF 18°41'06", A CHORD BEARING AND DISTANCE OF S 45°46'09" E, 202.92 FEET, FOR AN ARC LENGTH OF 203.82 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET,
S 53°34'24" W, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR NON-TANGENT POINT OF CURVATURE,
SOUTHWESTERLY, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIAL BEARING OF S 53°34'24" W, A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 122°42'49", A CHORD BEARING AND DISTANCE OF S 82°13'00" W, 43.88 FEET, FOR AN ARC LENGTH OF 53.54 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET,

N 69°08'25" W, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A NON-TANGENT POINT OF CURVATURE,
NORTHWESTERLY, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIAL BEARING OF S 69°08'25" E, A RADIUS OF 330.00 FEET, A CENTRAL ANGLE OF 08°32'10", A CHORD BEARING AND DISTANCE OF N 25°07'40" E, 49.12 FEET, FOR AN ARC LENGTH OF 49.16 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF REVERSE CURVATURE,

NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 78°24'51", A CHORD BEARING AND DISTANCE OF N 09°48'40" W, 31.61 FEET, FOR AN ARC LENGTH OF 34.21 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,
NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 565.00 FEET, A CENTRAL ANGLE OF 29°30'24", A CHORD BEARING AND DISTANCE OF N 63°46'18" W, 287.76 FEET, FOR AN ARC LENGTH OF 290.97 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,

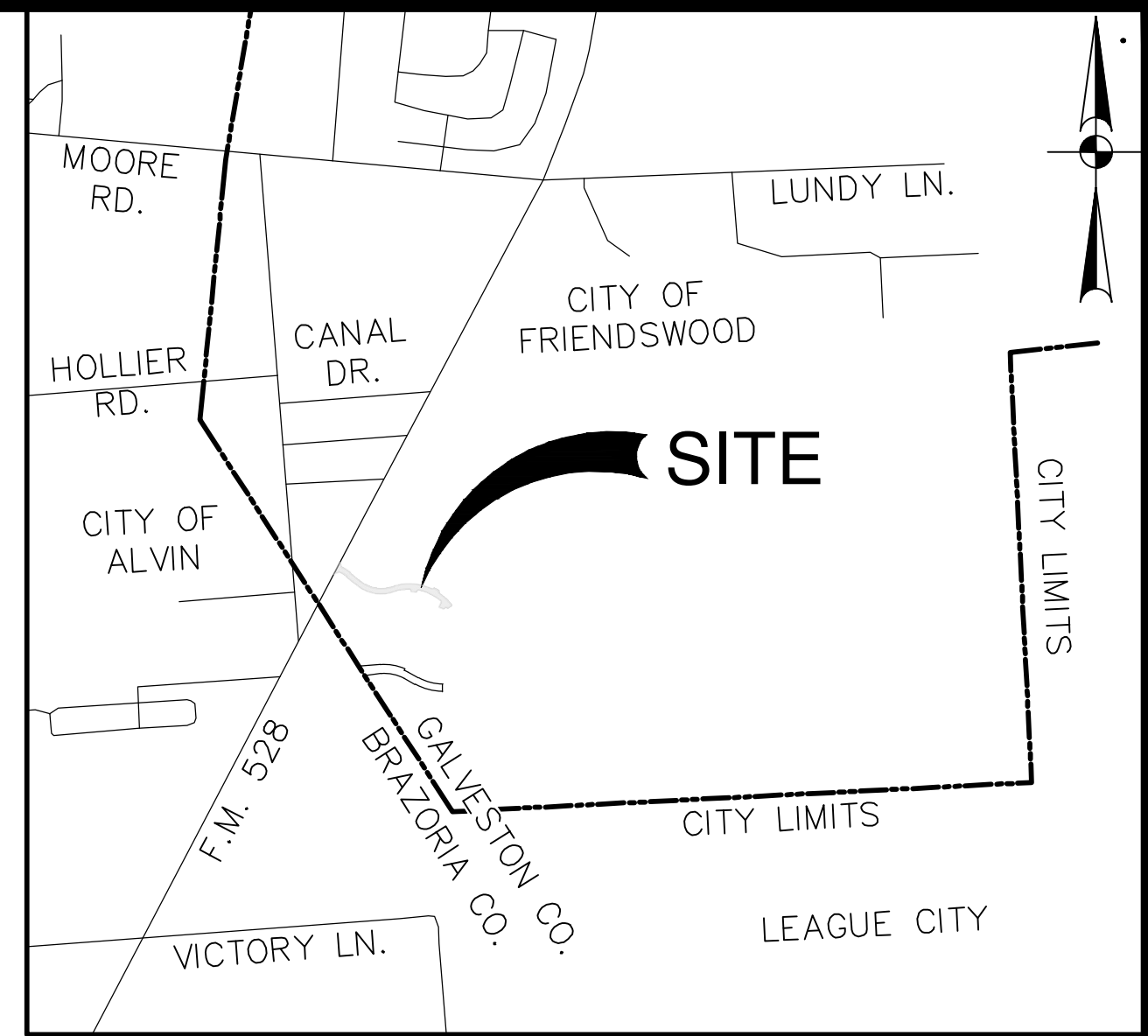
SOUTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 95°43'49", A CHORD BEARING AND DISTANCE OF S 53°36'36" W, 37.08 FEET, FOR AN ARC LENGTH OF 41.77 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET,
N 84°15'19" W, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A NON-TANGENT POINT OF CURVATURE,

NORTHWESTERLY, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIAL BEARING OF N 84°45'52" W, A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 95°27'09", A CHORD BEARING AND DISTANCE OF N 42°29'26" W, 37.00 FEET, FOR AN ARC LENGTH OF 41.65 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,
SOUTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 565.00 FEET, A CENTRAL ANGLE OF 16°16'29", A CHORD BEARING AND DISTANCE OF S 81°38'45" W, 159.95 FEET, FOR AN ARC LENGTH OF 160.49 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR AN INTERIOR CORNER OF SAID 132.008 ACRE TRACT AND A POINT OF TANGENCY FOR THIS TRACT;

THENCE: ALONG AND WITH SAID 132.008 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:
S 73°30'30" W, A DISTANCE OF 50.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE,
NORTHWESTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 450.00 FEET, A CENTRAL ANGLE OF 56°15'41", A CHORD BEARING AND DISTANCE OF N 78°21'39" W, 424.34 FEET, FOR AN ARC LENGTH OF 441.88 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF TANGENCY,
N 50°13'49" W, A DISTANCE OF 151.50 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE,

NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 420.00 FEET, A CENTRAL ANGLE OF 14°47'51", A CHORD BEARING AND DISTANCE OF N 57°37'44" W, 108.17 FEET, FOR AN ARC LENGTH OF 108.47 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR AN ANGLE POINT, AND
S 71°46'21" W, A DISTANCE OF 73.36 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND ON THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID FM 528, FOR A SOUTHWEST CORNER OF SAID 132.008 ACRE TRACT;

THENCE: N 29°11'07" E, ALONG AND WITH THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID FM 528, A NORTHWEST LINE SAID 132.008 ACRE TRACT, A DISTANCE OF 159.90 FEET TO THE POINT OF BEGINNING, AND CONTAINING 2.301 ACRES IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS, SAID TRACT BEING DESCRIBED IN ACCORDANCE WITH A SURVEY MADE ON THE GROUND AND A SURVEY DESCRIPTION AND MAP PREPARED UNDER JOB NUMBER 49187-20 BY PAPE-DAWSON ENGINEERS, INC.



VICINITY MAP
SCALE 1"=2000'
MAP REF: KEY MAP #696 B

PRELIMINARY PLAT OF SHERRY LANE STREET DEDICATION PHASE 1

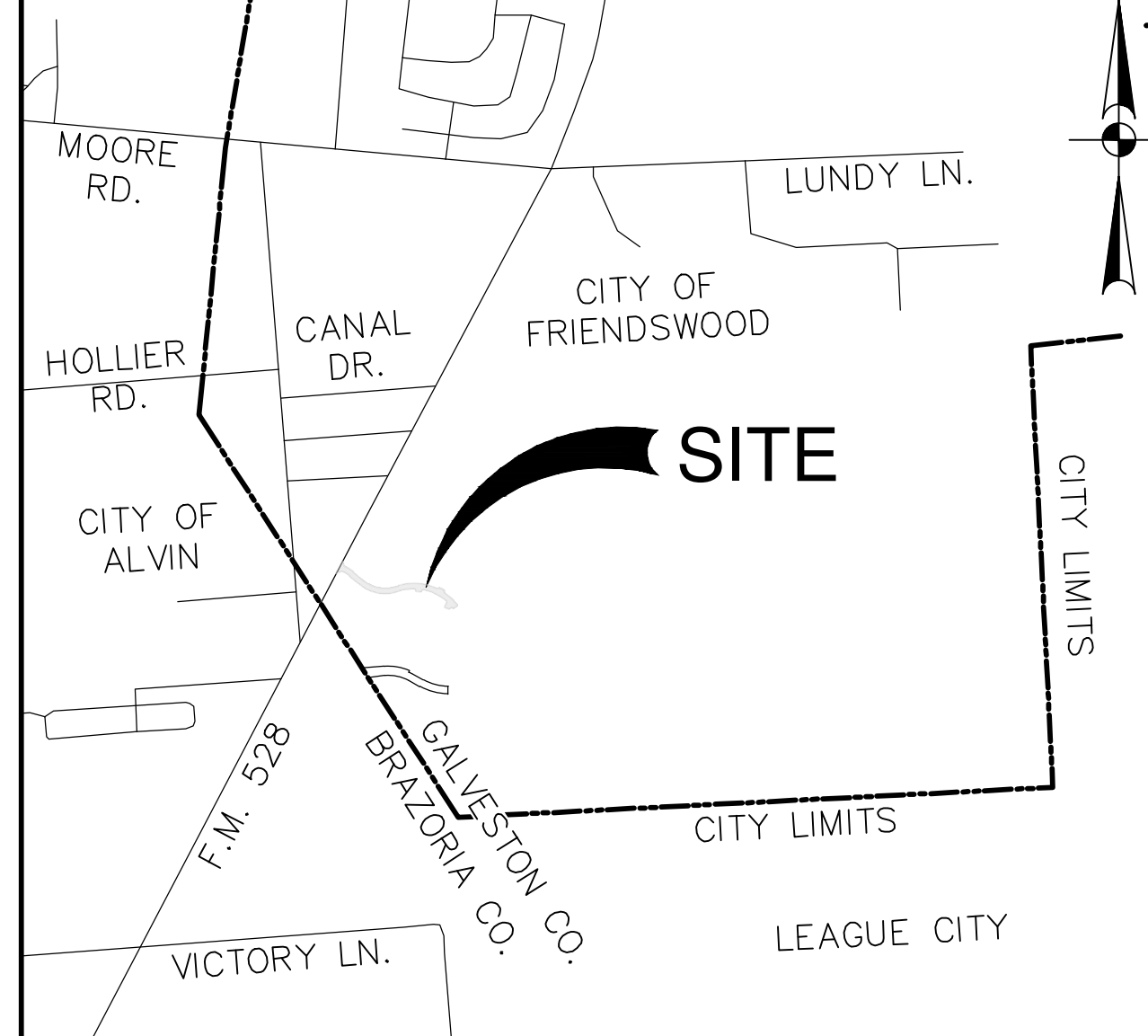
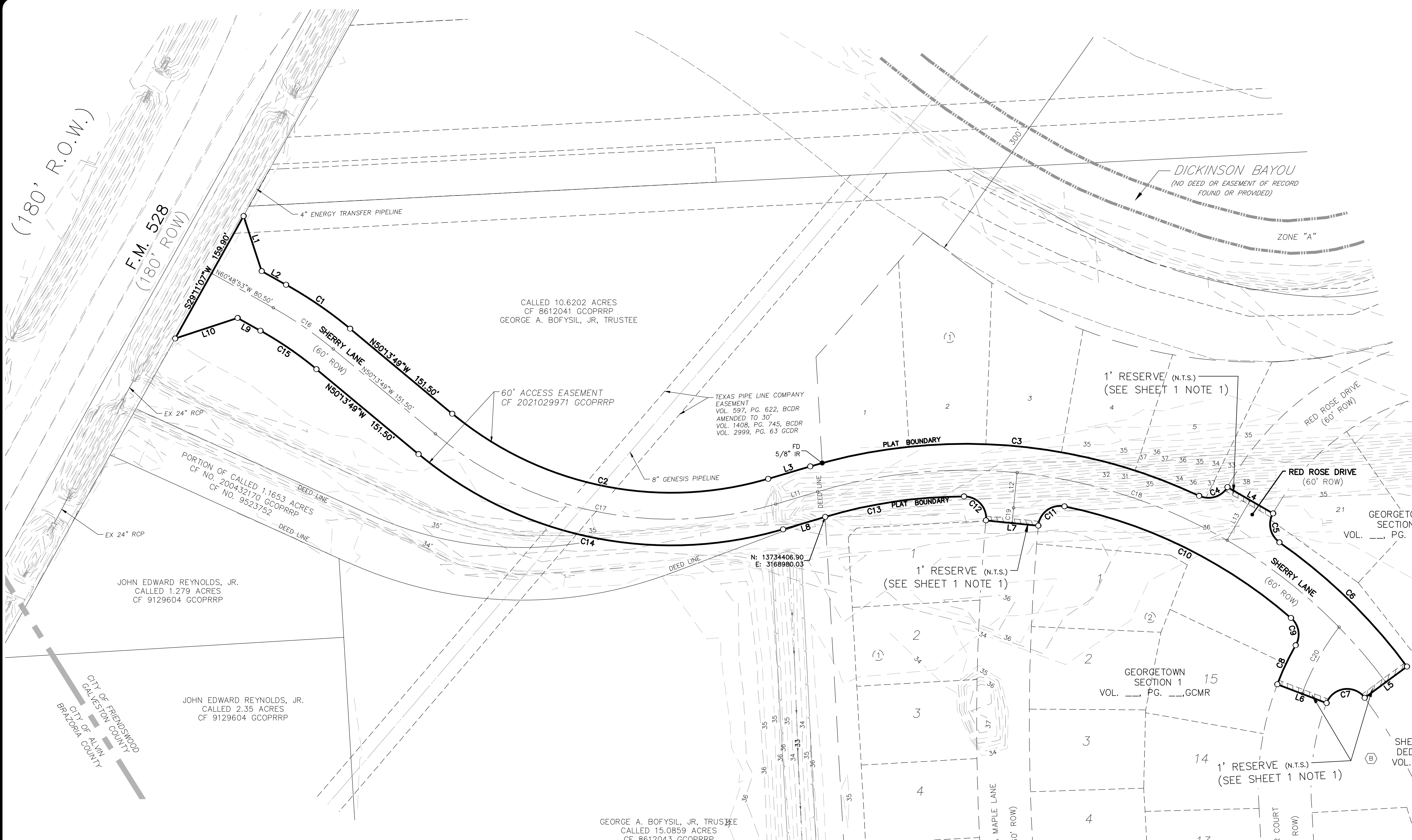
A SUBDIVISION OF 2.301 ACRES LOCATED IN THE
I&N RR CO SURVEY, BLOCK 1, SECTION 23, ABSTRACT 624
GALVESTON COUNTY, FRIENDSWOOD, TEXAS

0 LOTS 0 RESERVES 0 BLOCKS

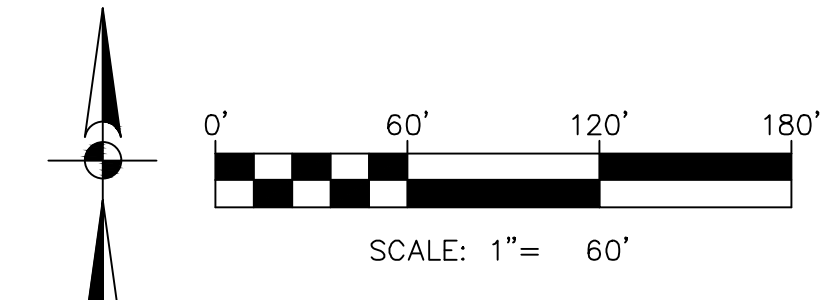
SCALE: 1"= 60' APRIL 2026

OWNER:
D.R. HORTON-TEXAS, LTD.,
A TEXAS LIMITED LIABILITY PARTNERSHIP
6744 HORTON VISTA DRIVE, SUITE 100
RICHMOND, TEXAS 77407
281-566-2100
DANIEL E. ROSE, LAND DEVELOPMENT MANAGER

PAPE-DAWSON
2107 CITYWEST BLVD, 3RD FLR I HOUSTON, TX 77042 | 713.428.2400
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800



VICINITY MAP
SCALE 1"=2000'
MAP REF: KEY MAP #696 B



LEGEND

- FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
- ACRE SET 5/8" IRON ROD (PD)
- AC = ACRE
- AE = AERIAL EASEMENT
- SE = SANITARY SEWER EASEMENT
- STW SE = STORM SEWER EASEMENT
- WE = WATER LINE EASEMENT
- DE = DRAINAGE EASEMENT
- UE = UTILITY EASEMENT
- EE = ELECTRICAL EASEMENT
- BL = BUILDING LINE
- R = RADIUS
- ROW = RIGHT-OF-WAY
- SF = SQUARE FEET
- IR = IRON ROD
- FD = FOUND
- COS = COMPENSATING OPEN SPACE
- GCMR = GALVESTON COUNTY MAP RECORDS
- GCDR = GALVESTON COUNTY DEED RECORDS
- GCOPRRP = GALVESTON COUNTY PUBLIC RECORDS OF REAL PROPERTY
- GCOPFD = GALVESTON COUNTY FLOOD CONTROL DISTRICT
- OPRRPGC = OFFICIAL PUBLIC RECORDS OF GALVESTON COUNTY TEXAS
- GCCF = GALVESTON COUNTY CLERK'S FILE NUMBER

PRELIMINARY PLAT OF SHERRY LANE STREET DEDICATION PHASE 1

A SUBDIVISION OF 2.301 ACRES LOCATED IN THE I&GN RR CO SURVEY, BLOCK 1, SECTION 23, ABSTRACT 624 GALVESTON COUNTY, FRIENDSWOOD, TEXAS

0 LOTS 0 RESERVES 0 BLOCKS
SCALE: 1"= 60' APRIL 2026

OWNER:
D.R. HORTON-TEXAS, LTD.,
A TEXAS LIMITED LIABILITY PARTNERSHIP
6744 HORTON VISTA DRIVE, SUITE 100
RICHMOND, TEXAS 77407
281-566-2100
DANIEL E. ROSE, LAND DEVELOPMENT MANAGER

PAPE-DAWSON
2107 CITYWEST BLVD, 3RD FLR I HOUSTON, TX 77042 | 713.428.2400
TEXAS ENGINEERING FIRM #170 | TEXAS SURVEYING FIRM #10028800

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	480.00'	10°35'05"	N55°31'21"W	88.55'	88.67'
C2	390.00'	56°15'41"	S78°21'39"E	367.76'	382.98'
C3	625.00'	41°40'20"	N85°39'20"W	444.62'	454.57'
C4	25.00'	85°08'46"	N72°36'27"E	33.83'	37.15'
C5	25.00'	85°08'46"	S12°32'19"E	33.83'	37.15'
C6	625.00'	18°41'06"	N45°46'09"W	202.92'	203.82'
C7	25.00'	122°42'49"	S82°13'00"W	43.88'	53.54'
C8	330.00'	8°32'10"	S25°07'40"W	49.12'	49.16'
C9	25.00'	78°24'51"	N9°48'40"W	31.61'	34.21'
C10	565.00'	29°30'24"	N63°46'18"W	287.76'	290.97'
C11	25.00'	95°43'49"	S53°36'36"W	37.08'	41.77'
C12	25.00'	95°27'09"	N42°29'26"W	37.00'	41.65'
C13	565.00'	16°16'29"	S81°38'45"W	159.95'	160.49'
C14	450.00'	56°15'41"	S78°21'39"E	424.34'	441.88'
C15	420.00'	10°35'05"	N55°31'21"W	77.48'	77.59'
C16	450.00'	10°35'05"	N55°31'21"W	83.01'	83.13'
C17	420.00'	56°15'41"	S78°21'39"E	396.05'	412.42'
C18	595.00'	70°03'54"	N71°27'33"W	683.11'	727.61'
C19	2500.00'	0°23'35"	S5°25'34"W	17.15'	17.15'
C20	300.00'	16°37'55"	S29°10'33"W	86.78'	87.08'

LINE TABLE		
LINE #	BEARING	LENGTH
L1	N18°13'39"W	66.14'
L2	N60°48'53"W	31.80'
L3	N73°30'30"E	50.00'
L4	S59°57'56"E	60.00'
L5	N53°34'24"E	60.00'
L6	N69°08'25"W	60.00'
L7	S84°15'19"E	60.00'
L8	N73°30'30"E	50.00'
L9	N60°48'53"W	29.81'
L10	N71°46'21"E	74.90'
L11	N73°30'30"E	50.00'
L12	S5°37'22"W	40.54'
L13	S30°02'04"W	52.67'

I&GN RR CO SURVEY
BLOCK 1, SECTION 23
ABSTRACT 624

Date: Apr 26, 2026, 8:16am, User: D:\msd\pds, File: C:\Users\lccou... \Temp\MapPublic_173460.plt - 4089714_Prelim.dwg

City of Friendswood

910 S Friendswood Drive
Friendswood, TX 77546



Corrections Required - 05-06-2026 11:02:44
Application No. PLT2026-1073
Address : GEORGETOWN subdivision

Corrections Required Instructions:

- * Comments by each department should be addressed. Refer to the marked up plans and the written comments to ensure that all issues are addressed. In addition to the revised plans, a memo with written responses is recommended.
- * Once all comments have been addressed, return the pages that required change and any additional documents to the City of Friendswood Community Development Department
- * The review period for resubmitted plans is 7 to 10 business days. The applicant will be notified at the end of that period whether the plans are approved or if further explanation is needed.

Corrections Required:

Comment ID	Page Reference	Reviewer : Department	Review Comments	Applicant Response Comments
16	PLAT1	Becky Bennett : Planning	Subdivision Ord, Section II.B.4.d. Include a partial plat exhibit.	
17	PLAT1	Becky Bennett : Planning	Update partial plat statement to reference Section II, not Section I. Include Phase I with the plat name.	
18	PLAT1	Becky Bennett : Planning	IV.2.b.(21) There are pipelines within this plat. The applicable Standard Plat Note should read "All existing pipelines or pipeline easements through the subdivision have been shown."	

General Comments (informational and do not require corrections):

Page Reference	Reviewer : Department	Review Comments
04	Becky Bennett : Planning	NOTE: Modifications made to proposed water system will be reviewed during infrastructure plan review as these changes are outside the scope of the previous plat correction items.

Reviewer Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone No.:
Becky Bennett	bbennett@friendswood.com	281-996-3290

Submission Documents:

Document Name	Document ID
PL-4099714 Prelim.pdf	94295
260430 - Georgetown - Sherry Lane Utility Plan.pdf	94294

NOTE:

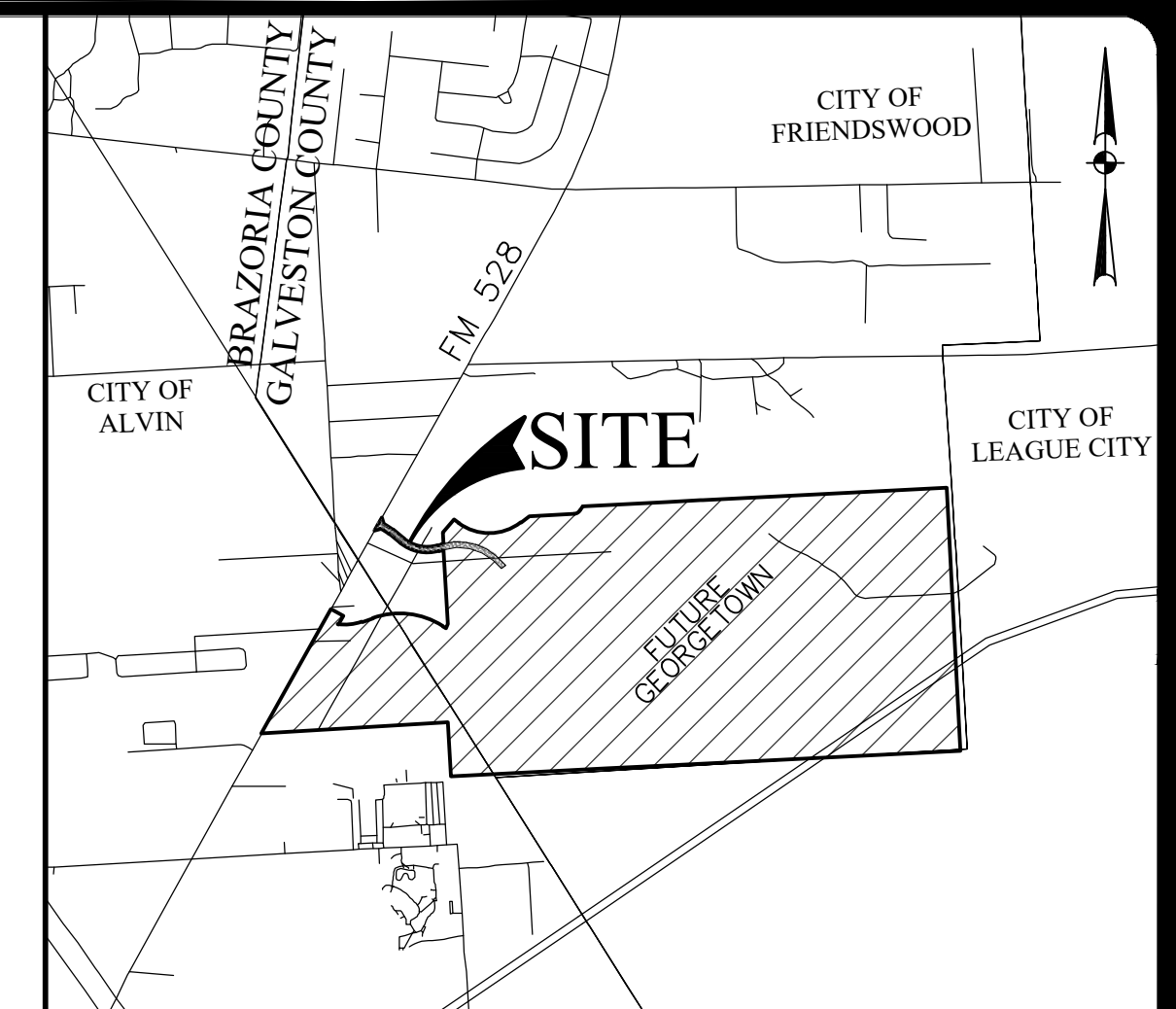
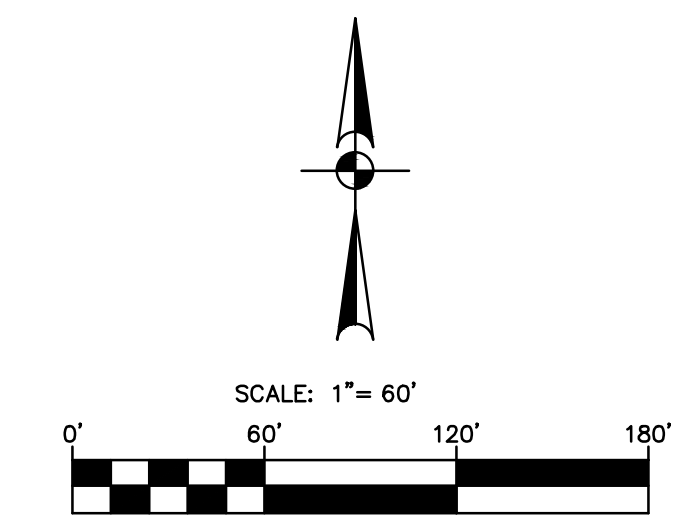
1. FOR ALL SANITARY SEWER CROSSINGS OF ALL WATER LINES, CONTRACTOR SHALL CONSTRUCT SEWER IN ACCORDANCE WITH NOTE #8 OF SANITARY SEWER NOTES SHEET 2.

1-20' JOINT ~ 150 PSI PRESSURE RATED CERAMIC EPOXY LINED DP (PROTECTO 401 OR EQUIVALENT) OR PVC PIPE PRE-CENTRED ON WATER LINE.

1-20' JOINT ~ 150 PSI PRESSURE RATED CERAMIC EPOXY LINED DP (PROTECTO 401 OR EQUIVALENT) CENTERED ON SANITARY SEWER.

LEGEND

	PLAT BOUNDARY		RESTRICTED RESERVE
	EX GAS LINE		BLOCK NUMBER
	EX TELECOMM DUCTBANK		SHEET REFERENCE NUMBER
	EX OVERHEAD ELECTRIC LINE		
	PROP SANITARY SEWER		
	PROP SANITARY SEWER (SEPARATE COVER)		
	PROP WATER LINE		BOV BLOW OFF VALVE
	PROP WATER LINE (SEPARATE COVER)		GV GATE VALVE
	PROP RCP STORM SEWER		FH FIRE HYDRANT
	PROP RCP STORM SEWER (SEPARATE COVER)		STM SE STORM SEWER EASEMENT
	PROP HP STORM SEWER		MH MANHOLE
	PROP HP STORM SEWER (SEPARATE COVER)		UVE UNOBSTRUCTED VISIBILITY EASEMENT
			DE DRAINAGE EASEMENT
	PROP BL BUILDING SETBACK LINE		
	EX EX		
	WL WATER LINE EASEMENT		
	SAN SANITARY SEWER EASEMENT		
	SSE SANITARY SEWER EASEMENT		
	UE UTILITY EASEMENT		
	HP HIGH-PERFORMANCE POLYPROPYLENE PIPE		



BENCHMARK:
NATIONAL GEODETIC SURVEY STATION PID AW0997 BEING A BRASS DISK STAMPED "O 1144 1959" SET IN A LARGE ANTENNA TOWER FOOTING, HAVING A PUBLISHED NAVD83 ELEVATION OF 37.50 FEET. TO REACH BENCHMARK SITE, TRAVEL NORTH ALONG FM 528 APPROXIMATELY 2200' FROM PROJECT SITE SAND AND GRAVEL HAUL ROAD. THEN GO EAST ON PRIVATE ROAD 700'. BENCHMARK IS 1' EAST OF THE WEST LEG OF THE TOWER, AND 40' SOUTHEAST OF THE TRANSMITTER BUILDING.

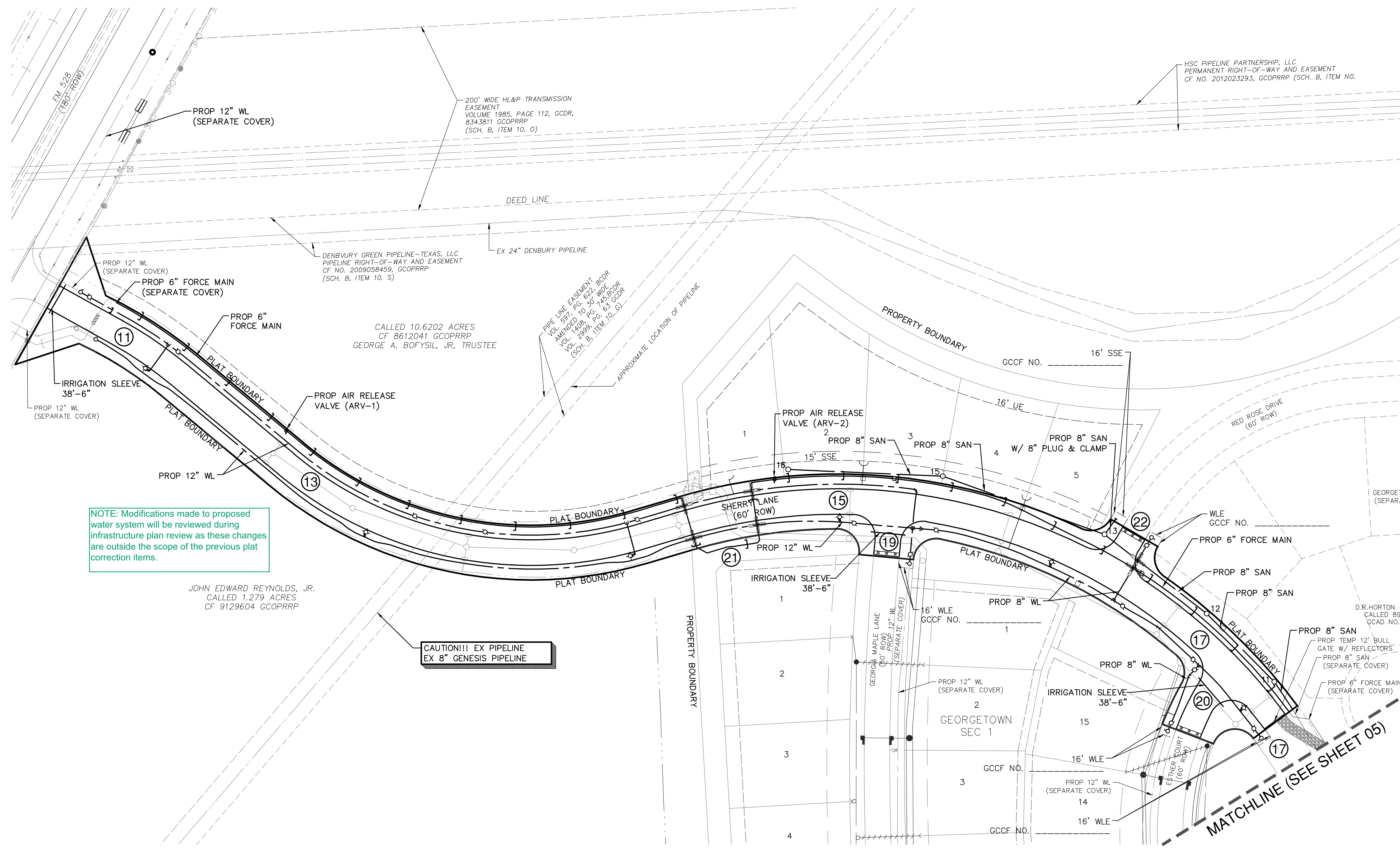
SITE BENCHMARKS:
POINT 111: BEING A 5/8" IRON ROD WITH A CAP MARKED "TRAVERSE" SET IN THE APPROXIMATE CENTERLINE OF DICKINSON BAYOU, ON THE SOUTHEAST SHOULDER OF FM 528, APPROXIMATELY 9' EAST OF THE EDGE OF CONCRETE PAVEMENT. ELEVATION = 36.93'
POINT 110: BEING A MAG NAIL AND WASHER STAMPED "PAPE-DAWSON TRAVERSE" SET IN ASPHALT DRIVE ON THE SOUTHEAST SHOULDER OF FM 528, APPROXIMATELY 130' NORTHEAST OF THE INTERSECTION OF HERMANN DR, AND 27' SOUTHEAST OF THE EDGE OF THE CONCRETE PAVEMENT. ELEVATION = 36.97'

THE PROPERTY LIES WITHIN THE FOLLOWING FLOOD ZONES AS DEPICTED ON THE FLOOD INSURANCE RATE MAP BRAZORIA COUNTY MAP NUMBER 4503C0175J PANEL 175 OF 850 DATED SEPTEMBER 22, 1999.

ZONE A: DEFINED AS "SPECIAL FLOOD HAZARD AREAS" SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; NO BASE FLOOD ELEVATIONS DETERMINED.

ZONE AO: DEFINED AS "SPECIAL FLOOD HAZARD AREAS" SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; FLOOD DEPTHS OF 1 TO 3 FEET AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED.

ZONE X (UNSHADED): DEFINED AS AREAS BEING OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.



NOTE: Modifications made to proposed water system will be reviewed during infrastructure plan review as these changes are outside the scope of the previous plat correction items.

CAUTION!!! EX PIPELINE EX 8" GENESIS PIPELINE

PAPE-DAWSON
Professional Engineer
State of Texas

DATE _____

NO. REVISION _____

PAPE-DAWSON
2107 CITYWEST BLVD, 3RD FLR HOUSTON, TX 77042 1713.428.2400
TEXAS SURVEYING FIRM # 0028890

SHERRY LANE STREET DEDICATION
CITY OF FRIENDSWOOD, TEXAS
GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT
WATER AND SANITARY SEWER LAYOUT

PLAT NO. 40997-14
JOB NO. 40997-14
DATE MARCH 2026
DESIGNER REVD
CHECKED DRAWN CMC
SHEET 04 OF 38

Path: Ar_36_2026_4_29.dwg User: ID: cccofhbs
 File: K:\Projects\40997-14\2-6_Design\2-6_Civil\2-6_1-4_Plans\Sheet\03-4099714-W_04.dwg

STATE OF TEXAS
COUNTY OF GALVESTON

WE, **D.R. HORTON - TEXAS, LTD.**, ACTING BY AND THROUGH _____ AND _____
BEING OFFICERS OF **D.R. HORTON - TEXAS, LTD.**, OWNER HEREINAFTER REFERRED TO AS OWNERS OF THE **2.301 ACRE** TRACT DESCRIBED IN THE ABOVE AND FOREGOING MAP OF **SHERRY LANE STREET DEDICATION**, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAN OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS AND NOTATIONS ON SAID MAPS OR PLAT AND HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS (EXCEPT THOSE STREETS DESIGNATED AS PRIVATE STREETS), ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER AN UNOBSTRUCTED AERIAL EASEMENT ABOVE THE GROUND LEVEL UPWARD, TO ALL PUBLIC EASEMENTS SHOWN HEREON.

IN TESTIMONY WHEREOF, THE **D.R. HORTON - TEXAS, LTD.**, HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____ ITS _____ THEREUNTO AUTHORIZED, ATTESTED BY ITS _____ (OR AUTHORIZED TRUST OFFICER), _____ (NAME OF SECRETARY OR AUTHORIZED TRUST OFFICER), AND ITS COMMON SEAL HEREUNTO AFFIXED THIS _____ DAY OF _____ **2026**.

BY: _____
NAME OF SIGNED TITLE
ATTEST: _____
NAME OF SIGNED TITLE

STATE OF TEXAS
COUNTY OF GALVESTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ AND _____ KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE,

THIS _____ DAY OF _____ **2026**.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

IV.2.b.(21) There are pipelines within this plat. The applicable Standard Plat Note should read "All existing pipelines or pipeline easements through the subdivision have been shown."

I, **JONATHAN FRANZ**, AM AUTHORIZED (OR REGISTERED) UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THE ABOVE SUBDIVISION IS TRUE AND CORRECT; WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND; THAT ALL BOUNDARY CORNERS, ANGLE POINTS, POINTS OR CURVATURE AND OTHER POINTS OF REFERENCE HAVE BEEN MARKED WITH IRON (OR OTHER SUITABLE PERMANENT PIPES OR RODS HAVING AN OUTSIDE DIAMETER OF NOT LESS THAN THREE QUARTER (3/4) INCH AND A LENGTH OF NOT LESS THAN THREE (3) FEET; THAT THE PLAT BOUNDARY CORNERS HAVE BEEN TIED TO THE NEAREST SURVEY CORNER; AND THAT THE BOUNDARY CLOSURES WITHIN 1 IN 10,000.

FOR INTERIM REVIEW ONLY
DOCUMENT INCOMPLETE:
NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES
SURVEYOR: JONATHAN FRANZ
R.P.L.S. TEXAS REGISTRATION NO. 6705 DATE: 03/30/2026

REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6705
PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

NOTES:

- 1. SIDEWALKS AND ADA RAMP ARE REQUIRED ALONG ALL STREETS UNLESS THE STREET MEETS AN EXCEPTION ALLOWED BY FRIENDSWOOD CITY CODE CHAPTER 70-64. THE DEVELOPER MUST INSTALL SIDEWALKS AND ADA RAMP ALONG RESERVES AND COMMON AREAS PRIOR TO THE CITY COUNCIL'S ACCEPTANCE OF THE SUBDIVISION INFRASTRUCTURE. WHEN SIDEWALKS ARE REQUIRED, THEY SHALL BE A WIDTH OF NO LESS THAN FOUR FEET AND COMPLY WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- 2. NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE PERMITTED TO BE BUILT NEARER THAN 150 FEET FROM ANY WELL OR RELATED FACILITY, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE WELL OR FACILITY.
- 3. EXCEPT FOR LOW-PRESSURE DISTRIBUTION SYSTEM PIPELINES AS DEFINED IN CHAPTER 26, OF THE FRIENDSWOOD CITY CODE, NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE ERCTED OR MOVED TO A LOCATION NEARER THAN 50 FEET TO ANY PIPELINE, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE PIPELINE.
- 4. THE CITY OF FRIENDSWOOD SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE STREETS (DRIVEWAYS, SIDEWALKS, AND EMERGENCY ACCESS EASEMENTS), WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES (DETENTION PONDS, DRAINAGE EASEMENTS, OUTFALLS AND SWALES), RECREATIONAL AREAS, RESERVES AND OTHER PRIVATE FACILITIES THAT ARE WITHIN PRIVATE EASEMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THESE ITEMS. THE CITY OF FRIENDSWOOD SHALL BE RESPONSIBLE FOR MAINTENANCE OF PUBLIC STREETS, SIDEWALKS, STREET SIGNS, WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES, DRAINAGE EASEMENTS, OUTFALLS AND SWALES THAT ARE WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN PUBLIC AND/OR EXCLUSIVE EASEMENTS. THE MAINTENANCE OF PUBLIC STREETLIGHTS SHALL BE THE RESPONSIBILITY OF THE ELECTRIC PROVIDER.
- 5. ALL UTILITY COMPANIES HAVE BEEN CONTACTED AND THE EASEMENTS SHOWN ON THE PLAT CONSTITUTE ALL THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES FOR THEIR OPERATIONS.
- 6. THE FINISHED FLOOR ELEVATIONS OF ALL STRUCTURES SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATION ESTABLISHED BY FEMA, AND AS PRESCRIBED IN THE FLOOD DAMAGE PREVENTION ORDINANCE OF THE CITY OF FRIENDSWOOD, TEXAS.
- 7. ANY AND ALL RIGHT OF WAY ISLANDS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT, EVEN IF NOT SHOWN ON THE FACE OF THE PLAT, SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- 8. THERE ARE NO EXISTING PIPELINES OR PIPELINE EASEMENTS WITHIN THE LIMITS OF THIS SUBDIVISION.
- 9. ALL EASEMENTS ARE CENTERED ON LOT LINES UNLESS OTHERWISE SHOWN.
- 10. THE COORDINATES SHOWN HEREON ARE TEXAS SOUTH CENTRAL ZONE NO. 4204 STATE PLANE GRID COORDINATES (NAD83) AND MAY BE BROUGHT TO SURFACE BY DIVIDING THE COMBINED SCALE FACTOR OF 0.99986615.
- 11. ALL BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204).
- 12. INDICATES STREET NAME CHANGE SYMBOL.
- 13. TEMPORARY ACCESS EASEMENT AFFECTING THE SUBJECTED PROPERTY, AS SET FORTH BY INSTRUMENT FILED FOR RECORD UNDER THE OFFICIAL PUBLIC RECORDS OF GALVESTON COUNTY, TEXAS DOCUMENT NO. 2023022894.
- 14. SUBDIVISION IS LOCATED IN ZONE "A", BFE ELEVATION N/A. THIS INFORMATION IS BASED ON GALVESTON COUNTY FIRM COMMUNITY MAP 48167C0205G, EFFECTIVE AUGUST 15, 2019.
- 18. BENCHMARK: NGS BENCHMARK AWO997 = 37.50' NAVD88, JUNE 1991 ADJ. BEING A DISK STAMPED "D 1144 1995" IN THE WEST LEG OF KUTV TRANSMISSION TOWER, 2.2 MILES NE ALONG FM 528 FROM THE JUNCTION OF SH 35 IN ALVIN AND LOCATED APPROXIMATELY 2100' NORTH OF THIS PLAT.

IN ACCORDANCE WITH THE CITY OF FRIENDSWOOD SUBDIVISION ORDINANCE APPENDIX B SECTION I.B.4. I, **D.R. HORTON - TEXAS, LTD.**, OWNER OF THE REMAINDER OF A **132.008** ACRE TRACT THAT IS CURRENTLY BEING PARTIALLY SUBDIVIDED AS **SHERRY LANE STREET DEDICATION**, CONFIRM THAT THE DEVELOPMENT OF THE PORTION OF THE TRACT NOT INCLUDED WITHIN THE PLAT BOUNDARIES WILL BE CONTINGENT UPON A SUBDIVISION PLAT BEING FILED AND APPROVED BY THE CITY, IF SUCH PLAT IS REQUIRED, IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY GOVERNING PLATS AND THE SUBDIVISION OF THE LAND IN EFFECT AT THE TIME THE APPLICATION FOR PLAT APPROVAL OF SUCH PORTION IS SOUGHT.

Subdivision Ord, Section I.B.4.d. Include a partial plat exhibit.

Update partial plat statement to reference Section II, not Section I. Include Phase I with the plat name.

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF **FRIENDSWOOD**, TEXAS HAS APPROVED THIS PLAT AND SUBDIVISION OF **SHERRY LANE STREET DEDICATION** IN CONFORMANCE WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THE CITY AS ADOPTED BY THE CITY COUNCIL AND AUTHORIZED THE RECORDING OF THIS PLAT THIS _____ DAY OF _____ **2026**.

ATTESTED BY: **BECKY BENNETT, ASSISTANT PLANNER** BY: **TOM HINCKLEY, CHAIRMAN**

I, **JILDARDO ARIAS, P.E.**, CFM, CITY ENGINEER AND DIRECTOR OF ENGINEERING OF THE CITY OF FRIENDSWOOD, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE CITY OF FRIENDSWOOD, TEXAS AND FURTHER IT COMPLIES WITH ALL OF THE ORDINANCES AS CURRENTLY ADOPTED BY CITY COUNCIL.

BY: _____
JILDARDO ARIAS, P.E., CFM, CITY ENGINEER/DIRECTOR OF ENGINEERING

I, **DWIGHT D. SULLIVAN**, COUNTY CLERK, GALVESTON COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE ON _____ **2026**, AT _____ O'CLOCK, _____ M, AND DULY RECORDED ON _____ **2026**, AT _____ O'CLOCK, _____ M, INSTRUMENT # _____ GALVESTON COUNTY RECORDS.

WITNESS MY HAND AND SEAL OF OFFICE, AT GALVESTON, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

DWIGHT D. SULLIVAN
COUNTY CLERK
GALVESTON COUNTY, TEXAS

BY: _____
DEPUTY

METES AND BOUNDS DESCRIPTION FOR

A 2.301 ACRE, OR 100,223 SQUARE FEET MORE OR LESS, TRACT OF LAND, BEING A PORTION OF A 132.008 ACRE TRACT OF LAND CONVEYED TO D.R. HORTON - TEXAS, LTD., AND DESCRIBED AS "PARCEL 1" IN A DEED RECORDED IN GALVESTON COUNTY CLERK'S FILE NO. 2021029986 (CO-RECORDED IN BRAZORIA COUNTY CLERK'S FILE NO. 2021027288), SITUATED IN BLOCK 1, SECTION 23, OF THE I&N RR CO. SURVEY, ABSTRACT NO. 624, IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS. SAID 2.301 ACRE TRACT BEING MORE FULLY DESCRIBED AS FOLLOWS, WITH BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM OF 1983 ESTABLISHED FOR THE SOUTH CENTRAL ZONE FROM THE NORTH AMERICAN DATUM OF 1983 (NAD2011) EPOCH 2010.00:

COMMENCING: AT A FOUND COPPERWELD ON THE SOUTHEAST RIGHT-OF-WAY LINE OF F.M. 528, A 180-FOOT WIDE RIGHT-OF-WAY, AT THE SOUTHWEST CORNER OF A CALLED 106.089 ACRE TRACT OF LAND, CONVEYED TO GEORGE A. BOFYSLIL, JR., TRUSTEE AND DESCRIBED IN A DEED RECORDED IN CLERK'S FILE NO. 9612253 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF GALVESTON COUNTY, TEXAS, THE NORTHWEST CORNER OF A CALLED 10.6202 ACRE TRACT OF LAND, CONVEYED TO GEORGE A. BOFYSLIL, JR., TRUSTEE AND DESCRIBED A DEED RECORDED IN CLERK'S FILE NO. 8612041 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF GALVESTON COUNTY, TEXAS.

THENCE: S 21°11'07" W, ALONG AND WITH THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID F.M. 528, A DISTANCE OF 12.88 FEET TO 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A NORTH CORNER OF SAID 132.008 ACRE TRACT AND THE POINT OF BEGINNING OF THIS TRACT;
THENCE: DEPARTING THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID F.M. 528, ALONG AND WITH SAID 132.008 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:
S 18°13'39" E, A DISTANCE OF 67.60 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A NON-TANGENT POINT OF CURVATURE;
SOUTHEASTERLY, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIAL BEARING OF S 25°30'52" W, A RADIUS OF 480.00 FEET, A CENTRAL ANGLE OF 14°15'19", A CHORD BEARING AND DISTANCE OF S 57°21'28" E, 119.12 FEET, FOR AN ARC LENGTH OF 119.42 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF TANGENCY;
S 50°13'49" E, A DISTANCE OF 151.50 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE,

SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 390.00 FEET, A CENTRAL ANGLE OF 56°15'41", A CHORD BEARING AND DISTANCE OF S 78°21'39" E, 367.76 FEET, FOR AN ARC LENGTH OF 382.96 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF TANGENCY;
N 73°30'30" E, A DISTANCE OF 50.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE, AND

THENCE: SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 625.00 FEET, A CENTRAL ANGLE OF 41°40'20", A CHORD BEARING AND DISTANCE OF S 85°39'20" E, 444.62 FEET, (PASSING A 5/8 INCH IRON ROD FOUND FOR AN INTERIOR CORNER OF SAID 132.008 ACRE TRACT AT AN ARC LENGTH OF 14.08 FEET, AND CONTINUING NOW OVER AND ACROSS SAID 132.008 ACRE TRACT) FOR A TOTAL ARC LENGTH OF 454.57 FEET TO 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF REVERSE CURVATURE;

THENCE: CONTINUING OVER AND ACROSS SAID 132.008 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:
NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 85°08'46", A CHORD BEARING AND DISTANCE OF N 72°36'27" E, 33.83 FEET, FOR AN ARC LENGTH OF 37.15 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET;
S 59°57'56" E, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A NON-TANGENT POINT OF CURVATURE,
SOUTHEASTERLY, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIAL BEARING OF S 59°57'56" E, A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 85°08'46", A CHORD BEARING AND DISTANCE OF S 12°32'19" E, 33.83 FEET, FOR AN ARC LENGTH OF 37.15 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF REVERSE CURVATURE,

SOUTHEASTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 625.00 FEET, A CENTRAL ANGLE OF 18°41'06", A CHORD BEARING AND DISTANCE OF S 45°46'09" E, 202.92 FEET, FOR AN ARC LENGTH OF 203.82 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET;
S 53°34'24" W, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR NON-TANGENT POINT OF CURVATURE,
SOUTHWESTERLY, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIAL BEARING OF S 53°34'24" W, A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 122°42'49", A CHORD BEARING AND DISTANCE OF S 82°13'00" W, 43.88 FEET, FOR AN ARC LENGTH OF 53.54 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET,

N 69°08'25" W, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A NON-TANGENT POINT OF CURVATURE,
NORTHWESTERLY, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIAL BEARING OF S 69°08'25" E, A RADIUS OF 330.00 FEET, A CENTRAL ANGLE OF 08°32'10", A CHORD BEARING AND DISTANCE OF N 25°07'40" E, 49.12 FEET, FOR AN ARC LENGTH OF 49.16 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF REVERSE CURVATURE,
NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 78°24'51", A CHORD BEARING AND DISTANCE OF N 09°48'40" W, 31.61 FEET, FOR AN ARC LENGTH OF 34.21 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,

NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 565.00 FEET, A CENTRAL ANGLE OF 29°30'24", A CHORD BEARING AND DISTANCE OF N 63°46'18" W, 287.76 FEET, FOR AN ARC LENGTH OF 290.97 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,
SOUTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 95°43'49", A CHORD BEARING AND DISTANCE OF S 53°36'36" W, 37.08 FEET, FOR AN ARC LENGTH OF 41.77 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET,
N 84°15'19" W, A DISTANCE OF 60.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A NON-TANGENT POINT OF CURVATURE,

NORTHWESTERLY, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIAL BEARING OF N 84°45'52" W, A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 95°27'09", A CHORD BEARING AND DISTANCE OF N 42°29'26" W, 37.00 FEET, FOR AN ARC LENGTH OF 41.65 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" TO BE SET FOR A POINT OF COMPOUND CURVATURE,
SOUTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 565.00 FEET, A CENTRAL ANGLE OF 16°16'29", A CHORD BEARING AND DISTANCE OF S 81°38'45" W, 159.95 FEET, FOR AN ARC LENGTH OF 160.49 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR AN INTERIOR CORNER OF SAID 132.008 ACRE TRACT AND A POINT OF TANGENCY FOR THIS TRACT;

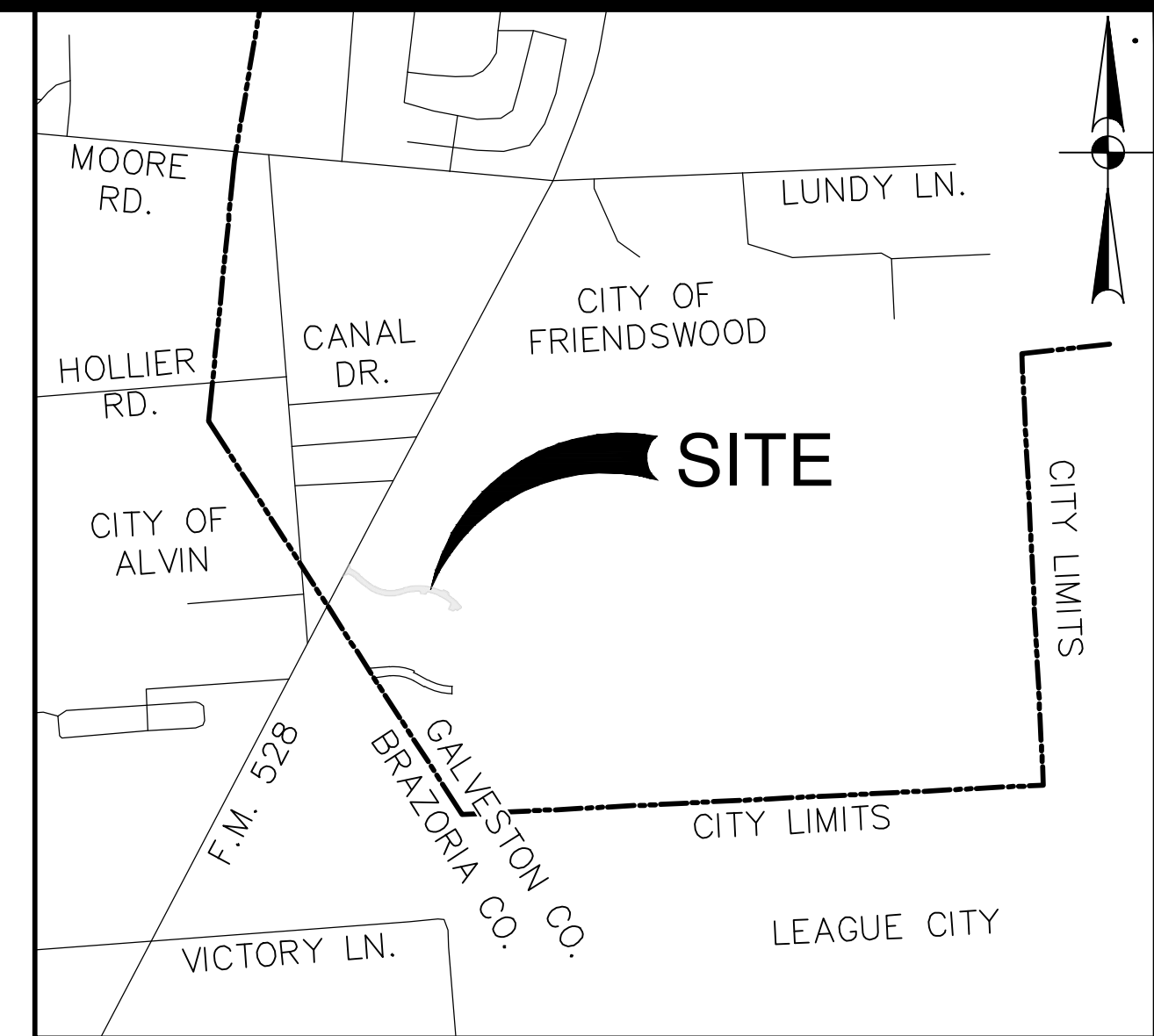
THENCE: ALONG AND WITH SAID 132.008 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:
S 73°30'30" W, A DISTANCE OF 50.00 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE,
NORTHWESTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 450.00 FEET, A CENTRAL ANGLE OF 56°15'41", A CHORD BEARING AND DISTANCE OF N 78°21'39" W, 424.34 FEET, FOR AN ARC LENGTH OF 441.88 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF TANGENCY,
N 50°13'49" W, A DISTANCE OF 151.50 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE,

NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 420.00 FEET, A CENTRAL ANGLE OF 14°47'51", A CHORD BEARING AND DISTANCE OF N 57°37'44" W, 108.17 FEET, FOR AN ARC LENGTH OF 108.47 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR AN ANGLE POINT, AND
S 71°46'21" W, A DISTANCE OF 73.36 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND ON THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID FM 528, FOR A SOUTHWEST CORNER OF SAID 132.008 ACRE TRACT;

THENCE: N 29°11'07" E, ALONG AND WITH THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID FM 528, A NORTHWEST LINE SAID 132.008 ACRE TRACT, A DISTANCE OF 159.90 FEET TO THE POINT OF BEGINNING, AND CONTAINING 2.301 ACRES IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS, SAID TRACT BEING DESCRIBED IN ACCORDANCE WITH A SURVEY MADE ON THE GROUND AND A SURVEY DESCRIPTION AND MAP PREPARED UNDER JOB NUMBER 49187-20 BY PAPE-DAWSON ENGINEERS, INC.

NORTHWESTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 450.00 FEET, A CENTRAL ANGLE OF 56°15'41", A CHORD BEARING AND DISTANCE OF N 78°21'39" W, 424.34 FEET, FOR AN ARC LENGTH OF 441.88 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF TANGENCY,
N 50°13'49" W, A DISTANCE OF 151.50 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE,
NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 420.00 FEET, A CENTRAL ANGLE OF 14°47'51", A CHORD BEARING AND DISTANCE OF N 57°37'44" W, 108.17 FEET, FOR AN ARC LENGTH OF 108.47 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR AN ANGLE POINT, AND
S 71°46'21" W, A DISTANCE OF 73.36 FEET TO A 5/8 INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND ON THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID FM 528, FOR A SOUTHWEST CORNER OF SAID 132.008 ACRE TRACT;

THENCE: N 29°11'07" E, ALONG AND WITH THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID FM 528, A NORTHWEST LINE SAID 132.008 ACRE TRACT, A DISTANCE OF 159.90 FEET TO THE POINT OF BEGINNING, AND CONTAINING 2.301 ACRES IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS, SAID TRACT BEING DESCRIBED IN ACCORDANCE WITH A SURVEY MADE ON THE GROUND AND A SURVEY DESCRIPTION AND MAP PREPARED UNDER JOB NUMBER 49187-20 BY PAPE-DAWSON ENGINEERS, INC.



VICINITY MAP
SCALE 1"=2000'
MAP REF: KEY MAP #696 B

PRELIMINARY PLAT OF SHERRY LANE STREET DEDICATION PHASE 1

A SUBDIVISION OF 2.301 ACRES LOCATED IN THE I&N RR CO SURVEY, BLOCK 1, SECTION 23, ABSTRACT 624 GALVESTON COUNTY, FRIENDSWOOD, TEXAS

0 LOTS 0 RESERVES 0 BLOCKS

SCALE: 1"= 60' APRIL 2026

OWNER:
D.R. HORTON-TEXAS, LTD.,
A TEXAS LIMITED LIABILITY PARTNERSHIP
6744 HORTON VISTA DRIVE, SUITE 100
RICHMOND, TEXAS 77407
281-566-2100
DANIEL E. ROSE, LAND DEVELOPMENT MANAGER

PAPE-DAWSON
2107 CITYWEST BLVD, 3RD FLR I HOUSTON, TX 77042 | 713.428.2400
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2026

Subject: **PRELIMINARY PLAT: GEORGETOWN DETENTION BASIN PHASE 2**

Consider approving the Preliminary Plat of Georgetown Detention Basin Phase II, a subdivision of 18.925 acres situated in the I&GN RR CO Survey, Block 1, Section 23, Abstract No. 624, in the City of Friendswood, Galveston County, Texas.

Action:

SUMMARY / ORIGINATING CAUSE

Zoning: Single Family Residential (SFR)

Location: FM 528/W Parkwood Ave (south near Alvin)

The master plan for the Georgetown Subdivision was approved by the Planning and Zoning Commission in February 2024. The approved master plan is attached to item 4C and also includes labels of the plat names for reference. A zoning map is attached to that item as well.

This preliminary plat contains a restricted reserve for detention purposes. The plat was reviewed by staff in the following departments: Planning, Engineering, Public Works, Fire Marshal's Office, Police Department and Parks & Recreation. A Corrections Report was provided to the applicant, but the applicant did not respond or resubmit the plat with corrections.

This plat was Disapproved by the Commission on April 9, 2026.

Staff recommends Approve with minor staff comments.

Standards for approval. The Commission shall approve a plat if:

- (1) It conforms to the general plan of the City of Friendswood and the current and future streets, alleys, parks, playgrounds, and public utility facilities;
- (2) It conforms to the general plans for extension of roads, streets, and public highways, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities; and
- (3) It conforms to the Subdivision Ordinance and Local Government Code Chapter 212.

P&Z Action Options:

1) Approve - If approved, the plat shall be endorsed with a certificate of approval by the planning and zoning commission chairman and attested by the commission's secretary. This can include minor staff comments.

2) Approve with Conditions - conditions included on attached corrections report; requires resubmittal and Commission action

3) Disapprove with Reasons - reasons included on attached corrections report; requires resubmittal and Commission action

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. Georgetown Detention Basin Ph II Prelim Plat
2. Georgetown Detention Basin Phase II Prelim Plat - Corrections Report 05-06-2026 (1)

STATE OF TEXAS
 COUNTY OF GALVESTON

WE, D.R. HORTON—TEXAS, LTD., A TEXAS LIMITED PARTNERSHIP, ACTING BY AND THROUGH BEING OFFICERS OF D.R. HORTON—TEXAS, LTD., A TEXAS LIMITED PARTNERSHIP OWNER HERINAFTER REFERRED TO AS OWNERS OF THE 18.925 ACRE TRACT DESCRIBED IN THE ABOVE AND FOREGOING MAP OF GEORGETOWN DETENTION BASIN PHASE II, DO HEREBY MAKE AND ESTABLISH SAID SUBDIVISION AND DEVELOPMENT PLAN OF SAID PROPERTY ACCORDING TO ALL LINES, DEDICATIONS, RESTRICTIONS AND NOTATIONS ON SAID MAPS OR PLAT AND HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS (EXCEPT THOSE STREETS DESIGNATED AS PRIVATE STREETS), ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN THEREON FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED; AND DO HEREBY BIND OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS

FURTHER, OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSES FOREVER AN UNOBSTRUCTED AERIAL EASEMENT ABOVE THE GROUND LEVEL UPWARD, TO ALL PUBLIC EASEMENTS SHOWN HEREON.

IN TESTIMONY WHEREOF, THE _____ HAS CAUSED THESE PRESENTS TO BE SIGNED

BY _____ ITS PRESIDENT, THEREUNTO AUTHORIZED, ATTESTED BY ITS SECRETARY (OR AUTHORIZED TRUST OFFICER), (NAME OF SECRETARY OR AUTHORIZED TRUST OFFICER), AND ITS COMMON SEAL HEREAUNTO AFFIXED THIS _____ DAY OF _____, 2026.

BY: _____
 NAME OF SIGNER
 TITLE

ATTEST: _____
 NAME OF SIGNER
 TITLE

STATE OF
 COUNTY OF GALVESTON

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED _____ GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2026.

NOTARY PUBLIC IN AND FOR
 THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

REGISTERED PROFESSIONAL LAND SURVEYOR
 TEXAS REGISTRATION NO. 6705

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF FRIENDSWOOD, TEXAS HAS APPROVED THIS PLAT AND SUBDIVISION OF GEORGETOWN DETENTION BASIN PHASE II IN CONFORMANCE WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THE CITY AS ADOPTED BY THE CITY COUNCIL AND AUTHORIZED THE RECORDING OF THIS PLAT THIS _____ DAY OF _____, 2026.

ATTESTED BY: _____ BY: _____
 BECKY BENNETT, ASSISTANT PLANNER TOM HINCKLEY, CHAIRMAN

I, JILDARDO ARIAS, P.E., CFM, CITY ENGINEER AND DIRECTOR OF ENGINEERING OF THE CITY OF FRIENDSWOOD, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE CITY OF FRIENDSWOOD, TEXAS AND FURTHER IT COMPLIES WITH ALL OF THE ORDINANCES AS CURRENTLY ADOPTED BY CITY COUNCIL.

BY: _____
 JILDARDO ARIAS, P.E., CFM, CITY ENGINEER/DIRECTOR OF ENGINEERING

I, DWIGHT D. SULLIVAN, COUNTY CLERK, GALVESTON COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE ON _____, 2026, AT _____ O'CLOCK, _____ M, AND DULY RECORDED ON _____, 2026, AT _____ O'CLOCK, _____ M, INSTRUMENT # _____ GALVESTON COUNTY RECORDS.

WITNESS MY HAND AND SEAL OF OFFICE, AT GALVESTON, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

DWIGHT D. SULLIVAN
 COUNTY CLERK
 GALVESTON COUNTY, TEXAS

By: _____
 DEPUTY

NOTES:

- SIDEWALKS AND ADA RAMPS ARE REQUIRED ALONG ALL STREETS UNLESS THE STREET MEETS AN EXCEPTION ALLOWED BY FRIENDSWOOD CITY CODE CHAPTER 70-64. THE DEVELOPER MUST INSTALL SIDEWALKS AND ADA RAMPS ALONG RESERVES AND COMMON AREAS PRIOR TO THE CITY COUNCILS ACCEPTANCE OF THE SUBDIVISION INFRASTRUCTURE. WHEN SIDEWALKS ARE REQUIRED, THEY SHALL BE A WIDTH OF NO LESS THAN FOUR FEET AND COMPLY WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE PERMITTED TO BE BUILT NEARER THAN 150 FEET FROM ANY WELL OR RELATED FACILITY, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE WELL OR FACILITY.
- EXCEPT FOR LOW-PRESSURE DISTRIBUTION SYSTEM PIPELINES AS DEFINED IN CHAPTER 26, OF THE FRIENDSWOOD CITY CODE, NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE ERCTED OR MOVED TO A LOCATION NEARER THAN 50 FEET TO ANY PIPELINE, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE PIPELINE.
- THE CITY OF FRIENDSWOOD SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE STREETS (DRIVEWAYS, SIDEWALKS, AND EMERGENCY ACCESS EASEMENTS), WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES (DETENTION PONDS, DRAINAGE EASEMENTS, OUTFALLS AND SWALES), RECREATIONAL AREAS, RESERVES AND OTHER PRIVATE FACILITIES THAT ARE WITHIN PRIVATE EASEMENTS; THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THESE ITEMS. THE CITY OF FRIENDSWOOD SHALL BE RESPONSIBLE FOR MAINTENANCE OF PUBLIC STREETS, SIDEWALKS, STREET SIGNS, WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES, DRAINAGE EASEMENTS, OUTFALLS AND SWALES THAT ARE WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN PUBLIC AND/OR EXCLUSIVE EASEMENTS. THE MAINTENANCE OF PUBLIC STREETLIGHTS SHALL BE THE RESPONSIBILITY OF THE ELECTRIC PROVIDER.
- ALL UTILITY COMPANIES HAVE BEEN CONTACTED AND THE EASEMENTS SHOWN ON THE PLAT CONSTITUTE ALL THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES FOR THEIR OPERATIONS
- THE FINISHED FLOOR ELEVATIONS OF ALL STRUCTURES SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATION ESTABLISHED BY FEMA, AND AS PRESCRIBED IN THE FLOOD DAMAGE PREVENTION ORDINANCE OF THE CITY OF FRIENDSWOOD, TEXAS.
- ANY AND ALL RIGHT OF WAY ISLANDS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT, EVEN IF NOT SHOWN ON THE FACE OF THE PLAT, SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ALL EXISTING PIPELINES OR PIPELINE EASEMENTS THROUGH THE SUBDIVISION HAVE BEEN SHOWN.
- THIS TRACT IS SUBJECT TO DEED RESTRICTIONS #2024003457

BENCHMARK:

THE ELEVATIONS FOR THIS SURVEY ARE BASED ON THE PREVIOUSLY PUBLISHED ELEVATION FOR THE FOLLOWING NGS MONUMENT:
 AW0997 = 37.50' NAVD88, JUNE 1991 ADJ.
 BEING A DISK STAMPED "Q 1144 1959" IN THE WEST LEG OF KUTV TRANSMISSION TOWER, 2.2 MILES NE ALONG FM 528 FROM THE JUNCTION OF SH 35 IN ALVIN.

TBM 110 = 37.03'
 BEING A MAGNAIL WITH WASHER STAMPED "PAPE-DAWSON" IN ASPHALT DRIVE IN THE EAST ROW OF FM 528, APPROXIMATELY 20' WESTERLY OF 132.008 ACRE TRACT SW CORNER.

TBM 111 = 36.93'
 BEING A 5/8" IRON ROD WITH RED CAP MARKED "PAPE-DAWSON TRAVERSE" APPROXIMATELY 12' OFF THE EDGE OF PAVEMENT IN THE EAST ROW OF FM 528, AND ABOUT 450' NE OF EAST OF THE 132.008 ACRE TRACT NW CORNER AT THE BOX CULVERT CROSSING.

METES AND BOUNDS DESCRIPTION

A 18.925 ACRE, OR 824,380 SQUARE FEET MORE OR LESS, TRACT OF LAND BEING ALL OF A 18.925 ACRE TRACT OF LAND CONVEYED TO 94 GEORGETOWN INVESTMENTS, LTD., AND DESCRIBED AS "TRACT 2" IN A DEED RECORDED IN GALVESTON COUNTY CLERK'S FILE NO. 2023022688, SITUATED IN BLOCK 1, SECTION 23 OF THE I&GN RR CO. SURVEY, ABSTRACT NO. 624, GALVESTON COUNTY, TEXAS. SAID 18.925 ACRE TRACT BEING MORE FULLY DESCRIBED AS FOLLOWS, WITH BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, ESTABLISHED FOR THE SOUTH CENTRAL ZONE, FROM THE NORTH AMERICAN DATUM OF 1983 (NA2011), EPOCH 2010.00:

COMMENCING: AT A FOUND COPPERWELD ON THE SOUTHEAST RIGHT-OF-WAY LINE OF F.M. 528, A 180-FOOT WIDE RIGHT-OF-WAY, AT THE SOUTHWEST CORNER OF A CALLED 106.089 ACRE TRACT OF LAND, CONVEYED TO GEORGE A. BOFYSSIL, JR., TRUSTEE AND DESCRIBED IN A DEED RECORDED IN CLERK'S FILE NO. 9612253 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF GALVESTON COUNTY, TEXAS, THE NORTHWEST CORNER OF A PORTION OF A CALLED 106.202 ACRE TRACT OF LAND, CONVEYED TO GEORGE A. BOFYSSIL, JR., TRUSTEE AND DESCRIBED A DEED RECORDED IN CLERK'S FILE NO. 8612041 OF THE OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF GALVESTON COUNTY, TEXAS;

THENCE: N 87°03'17" E, DEPARTING THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID F.M. 528, ALONG AND WITH THE SOUTH LINE OF SAID 106.089 ACRE TRACT, THE NORTH LINE OF SAID 10.6202 ACRE TRACT, AT A DISTANCE OF 2148.17 FEET PASSING A FOUND 5/8" INCH IRON ROD FOR THE NORTHEAST CORNER OF SAID 10.6202 ACRE TRACT, A NORTHWEST CORNER OF A 132.008 ACRE TRACT OF LAND CONVEYED TO D.R. HORTON - TEXAS, LTD., AND DESCRIBED AS "PARCEL 1" IN A DEED RECORDED IN GALVESTON COUNTY CLERK'S FILE NO. 2021029966 AND SAME SAID DEED CO-FILED IN BRAZORIA COUNTY CLERK'S FILE NO. 2021027288, NOW ALONG AND WITH THE NORTH LINE OF SAID 132.008 ACRE TRACT, AT A DISTANCE OF 3065.44 FEET PASSING A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR THE NORTHEAST CORNER OF SAID 132.008 ACRE TRACT, AND CONTINUING AND NOW ALONG AND WITH THE NORTH LINE OF SAID 177.58 ACRE TRACT, AT A DISTANCE OF 3413.10 FEET PASSING A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR THE NORTHWEST CORNER SAID 32.662 ACRE TRACT, OF LAND CONVEYED TO D.R. HORTON - TEXAS, LTD., AND DESCRIBED AS "PARCEL 2" IN A DEED RECORDED IN GALVESTON COUNTY CLERK'S FILE NO. 2021029966 AND SAME SAID DEED CO-FILED IN BRAZORIA COUNTY CLERK'S FILE NO. 2021027288, AT A DISTANCE OF 3437.13 FEET PASSING ANOTHER 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR THE NORTHEAST CORNER OF SAID 32.662 ACRE TRACT, AND THE NORTHWEST CORNER OF A 10.785 ACRE TRACT OF LAND CONVEYED TO D.R. HORTON - TEXAS, LTD., AND DESCRIBED IN A DEED RECORDED IN GALVESTON COUNTY CLERK'S FILE NO. 2022071284, AND CONTINUING ALONG AND WITH THE NORTH LINE OF SAID 10.785 ACRE TRACT AN ADDITIONAL 394.22 FEET, FOR A TOTAL DISTANCE OF 3831.35 FEET TO A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR THE NORTHEAST CORNER OF SAID 10.785 ACRE TRACT AND FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF THE HEREIN DESCRIBED 18.925 ACRE TRACT OF LAND;

THENCE: N 87°03'17" E, DEPARTING THE EAST LINE OF SAID 10.785 ACRE TRACT, ALONG AND WITH THE COMMON LINE BETWEEN SAID 106.089 ACRE TRACT AND SAID 18.925 ACRE TRACT, A DISTANCE OF 1207.12 FEET TO A FOUND 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON"; FROM WHICH A FOUND CAR AXLE AT THE SOUTHEAST CORNER OF SAID 106.089 ACRE TRACT, FOR AN INTERIOR CORNER OF A CALLED 573.4733 ACRE TRACT OF LAND CONVEYED TO GEORGE A. BOFYSSIL, JR., TRUSTEE AND DESCRIBED IN A DEED RECORDED IN CLERK'S FILE NO. 8612043, BEARS N 87°03'17" E, A DISTANCE OF 1020.84 FEET;

THENCE: DEPARTING THE SOUTH LINE OF SAID 106.089 ACRE TRACT, ALONG AND WITH SAID 18.925 ACRE TRACT THE FOLLOWING COURSES:

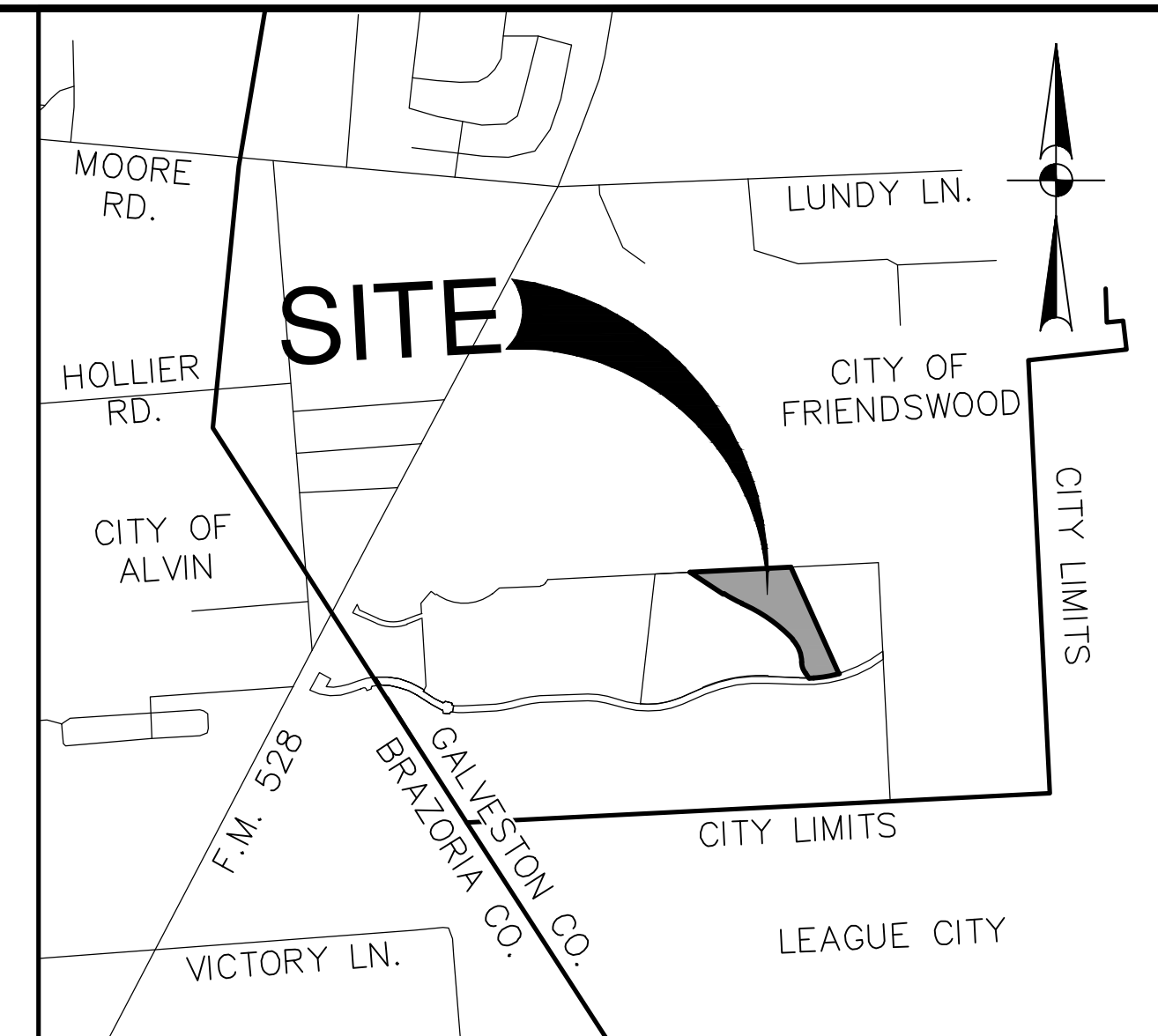
S 24°18'30" E, A DISTANCE OF 1378.11 FEET TO A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A NON-TANGENT POINT OF CURVATURE, AND SOUTHWESTERLY, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIAL BEARING OF N 16°14'02" W, A RADIUS OF 1460.00 FEET, A CENTRAL ANGLE OF 14°32'54", A CHORD BEARING AND DISTANCE OF S 81°02'25" W, 369.72 FEET, FOR AN ARC LENGTH OF 370.72 FEET TO A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR THE SOUTHEAST CORNER OF SAID 10.785 ACRE TRACT AND THE SOUTHWEST CORNER OF SAID 18.925 ACRE TRACT;

THENCE: ALONG AND WITH THE COMMON LINE BETWEEN SAID 10.785 ACRE TRACT AND SAID 18.925 ACRE TRACT, THE FOLLOWING COURSES:

N 39°00'15" W, A DISTANCE OF 71.93 FEET, TO A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF CURVATURE, NORTHWESTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 39°29'58", A CHORD BEARING AND DISTANCE OF N 19°15'16" W, 135.16 FEET, FOR AN ARC LENGTH OF 137.88 FEET TO A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF REVERSE CURVATURE, NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 385.00 FEET, A CENTRAL ANGLE OF 44°00'53", A CHORD BEARING AND DISTANCE OF N 21°30'43" W, 288.54 FEET, FOR AN ARC LENGTH OF 295.76 FEET TO A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF COMPOUND CURVATURE, NORTHWESTERLY, ALONG A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 1835.00 FEET, A CENTRAL ANGLE OF 23°09'06", A CHORD BEARING AND DISTANCE OF N 55°05'43" W, 736.44 FEET, FOR AN ARC LENGTH OF 741.47 FEET TO A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF REVERSE CURVATURE,

NORTHWESTERLY, ALONG A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 1365.00 FEET, A CENTRAL ANGLE OF 10°19'03", A CHORD BEARING AND DISTANCE OF N 61°30'45" W, 245.47 FEET, FOR AN ARC LENGTH OF 245.80 FEET TO A 5/8" INCH IRON ROD WITH A CAP MARKED "PAPE-DAWSON" FOUND FOR A POINT OF TANGENCY, AND

N 56°21'13" W, A DISTANCE OF 471.19 FEET TO THE POINT OF BEGINNING, AND CONTAINING 18.925 ACRES IN GALVESTON COUNTY, TEXAS. SAID TRACT BEING DESCRIBED IN ACCORDANCE WITH A SURVEY MADE ON THE GROUND AND A SURVEY DESCRIPTION AND MAP PREPARED UNDER JOB NUMBER 49187-20 AND 40997-26 BY PAPE-DAWSON ENGINEERS, INC.



LOCATION MAP
 SCALE 1"=2000'
 MAP REF: KEY MAP #696 B

LEGEND

GCDC	GALVESTON COUNTY DEED RECORDS	GCMR	GALVESTON COUNTY MAP RECORDS
GCOPRRP	GALVESTON COUNTY PUBLIC RECORDS OF REAL PROPERTY	OPRRPGC	OFFICIAL PUBLIC RECORDS OF GALVESTON COUNTY, TEXAS
GCFC	GALVESTON COUNTY CLERK'S FILE NUMBER	GCFCDF	GALVESTON COUNTY FLOOD CONTROL DISTRICT VOLUME/PAGE(S)
FC NO.	CLERK'S FILE NUMBER	VOL/PQ	ACRES
CF	AERIAL EASEMENT	AC	RIGHT-OF-WAY
AE	FOUND 5/8" IRON ROD (UNLESS NOTED OTHERWISE)	ROW	SET 5/8" IRON ROD (PD)
(SURVEYOR) ●		○	SET 5/8" IRON ROD (PD)-ROW
BL	BUILDING LINE	○	SET 5/8" IRON ROD (PD)-ROW
IR	IRON ROD	DE	DRAINAGE EASEMENT
PAE	PRIVATE ACCESS EASEMENT	FD	FOUND
R	RADIUS	ME	MAINTENANCE EASEMENT
EE	ELECTRIC EASEMENT	PUE	PUBLIC UTILITY EASEMENT
ESMT	EASEMENT	UVE	UNOBSTRUCTED VISIBILITY EASEMENT
STM SE	STORM SEWER EASEMENT	SF	SQUARE FEET
WLE	WATER LINE EASEMENT	SSE	SANITARY SEWER EASEMENT
COS	COMPENSATING OPEN SPACE	UE	UTILITY EASEMENT
ETJ	EXTRATERRITORIAL JURISDICTION	INE	INGRESS/EGRESS
		IN	STREET NAME CHANGE
		(A)	RESERVE LETTER
		(1)	BLOCK NUMBER

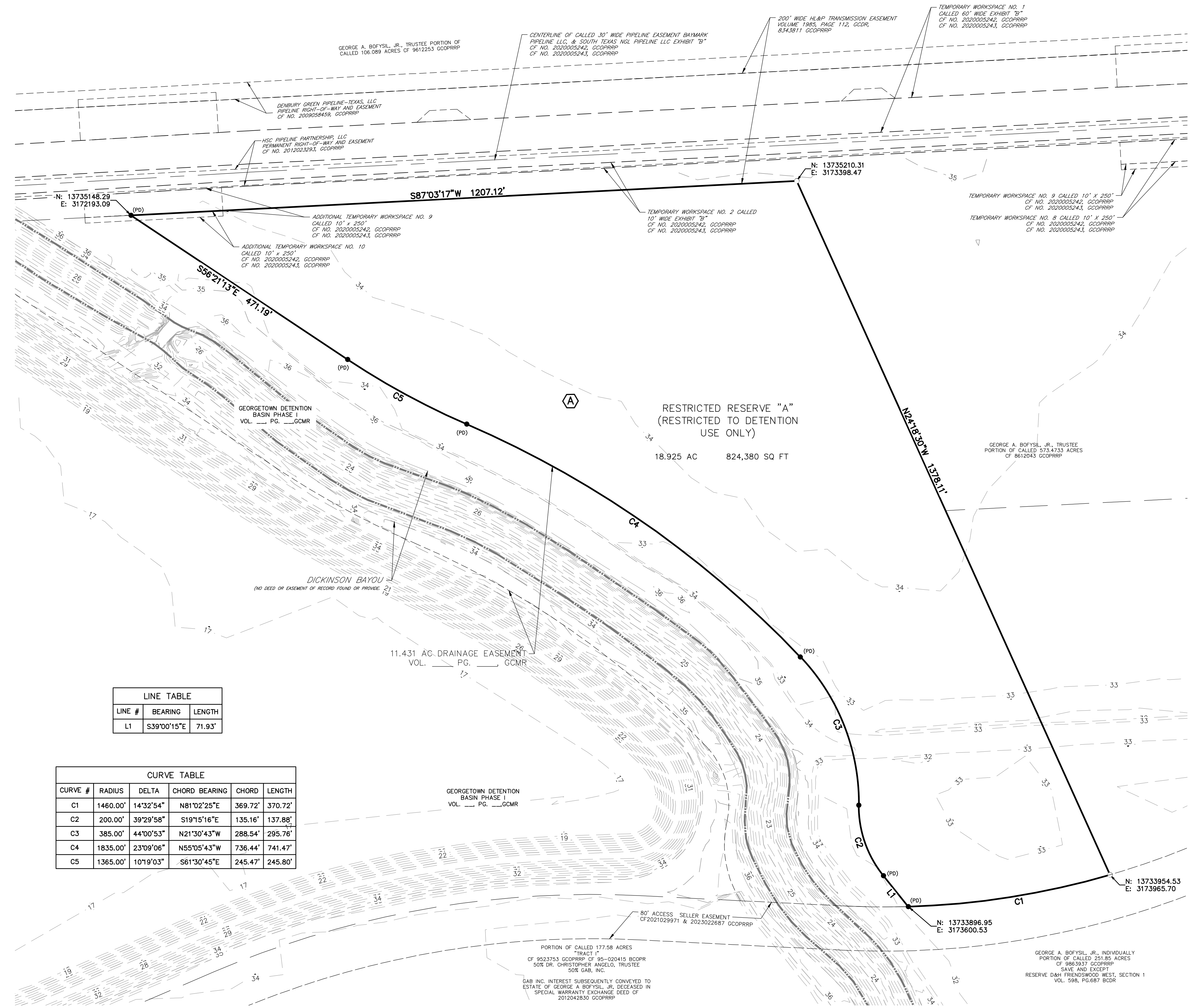
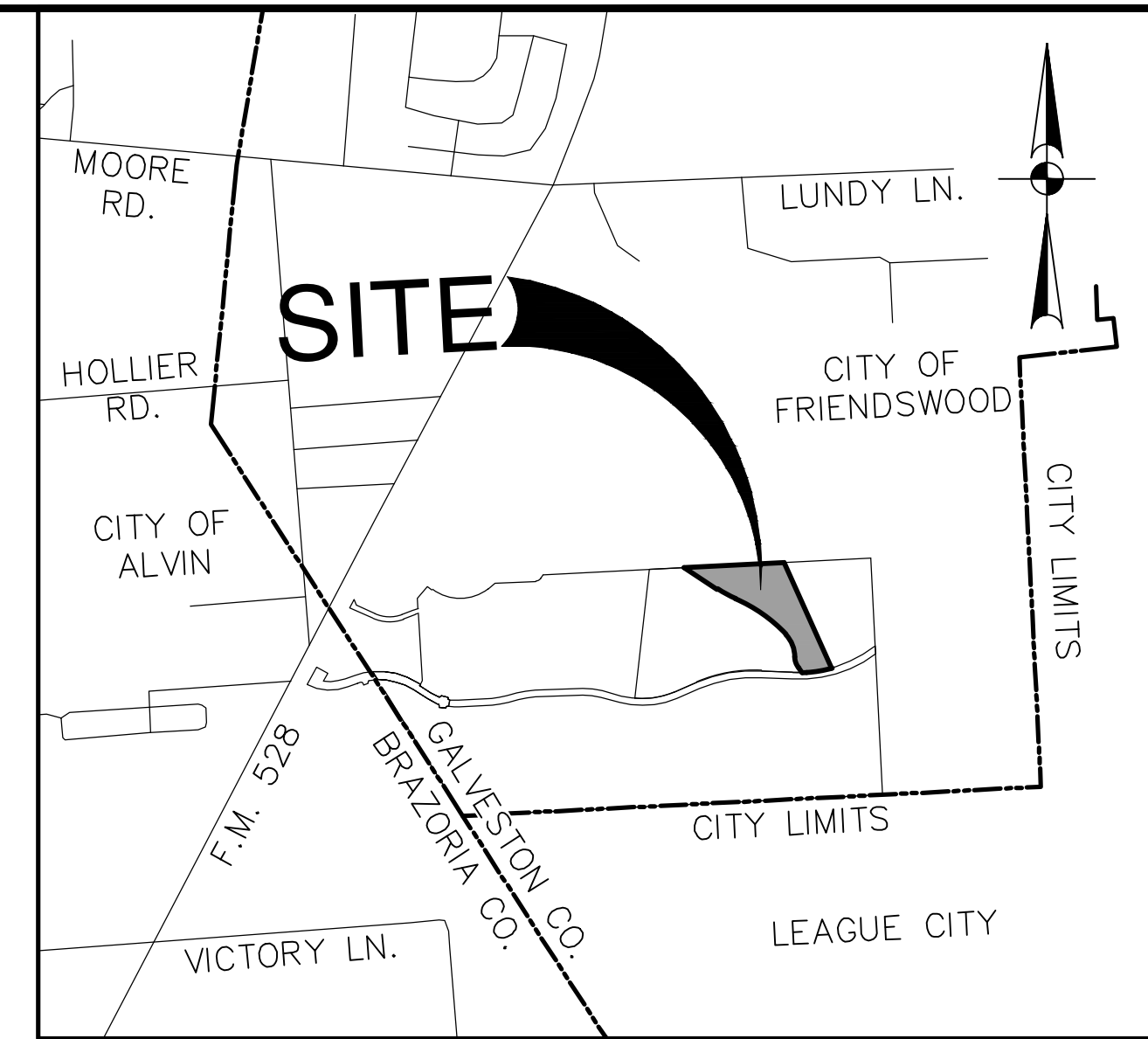
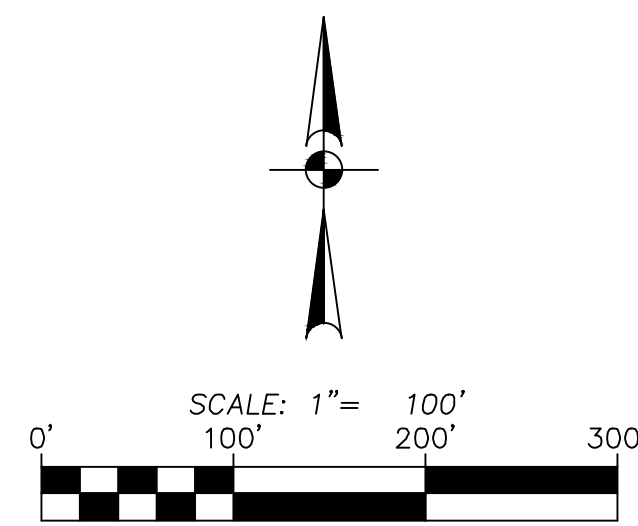
PRELIMINARY PLAT OF GEORGETOWN DETENTION BASIN PHASE II

A SUBDIVISION OF 18.925 ACRES LOCATED IN THE I&GN RR CO SURVEY, BLOCK 1, SECTION 23, ABSTRACT 624 IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS

0 LOTS 1 RESERVES 0 BLOCKS
 SCALE: 1"= 60' APRIL 2026

OWNER:
 D.R. HORTON-TEXAS, LTD.
 A TEXAS LIMITED LIABILITY PARTNERSHIP
 6744 HORTON VISTA DRIVE, SUITE 100
 RICHMOND, TEXAS 77407
 281-966-2100
 DANIEL E. ROSE, LAND DEVELOPMENT MANAGER

PAPE-DAWSON
 2107 CITYWEST BLVD, 3RD FLR | HOUSTON, TX 77042 | 713.428.2400
 TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800



LINE #	BEARING	LENGTH
L1	S39°00'15"E	71.93'

CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	1460.00'	14°32'54"	N81°02'25"E	369.72'	370.72'
C2	200.00'	39°29'58"	S19°15'16"E	135.16'	137.88'
C3	385.00'	44°00'53"	N21°30'43"W	288.54'	295.76'
C4	1835.00'	23°09'06"	N55°05'43"W	736.44'	741.47'
C5	1365.00'	10°19'03"	S61°30'45"E	245.47'	245.80'

LOCATION MAP
 SCALE 1"=2000'
 MAP REF: KEY MAP #696 B

GCDR	GALVESTON COUNTY DEED RECORDS	GCMR	GALVESTON COUNTY MAP RECORDS
GCOPRRP	GALVESTON COUNTY PUBLIC RECORDS OF REAL PROPERTY	OPRRPGC	OFFICIAL PUBLIC RECORDS OF GALVESTON COUNTY, TEXAS
GCFC	GALVESTON COUNTY CLERK'S FILE NUMBER	GCFC	GALVESTON COUNTY FLOOD CONTROL DISTRICT
FC NO.	FILM CODE NUMBER	VOL/PG	VOLUME/PAGE(S)
CF	CLERK'S FILE	AC	ACRE(S)
AE	AERIAL EASEMENT	ROW	RIGHT-OF-WAY
(SURVEYOR) ●	FOUND 5/8" IRON ROD (UNLESS NOTED OTHERWISE)	○	SET 5/8" IRON ROD (PD)
BL	BUILDING LINE	○	SET 5/8" IRON ROD (PD)-ROW
IR	IRON ROD	DE	DRAINAGE EASEMENT
PAE	PRIVATE ACCESS EASEMENT	FND	FOUND
R	RADIUS	ME	MAINTENANCE EASEMENT
EE	ELECTRIC EASEMENT	PUE	PUBLIC UTILITY EASEMENT
ESMT	EASEMENT	UVE	UNOBSTRUCTED VISIBILITY EASEMENT
STM SE	STORM SEWER EASEMENT	SF	SQUARE FEET
WLE	WATER LINE EASEMENT	SSE	SANITARY SEWER EASEMENT
COS	COMPENSATING OPEN SPACE	UE	UTILITY EASEMENT
ETJ	EXTRATERRITORIAL JURISDICTION	INEG	INGRESS/EGRESS
		INCH	STREET NAME CHANGE
		(A)	RESERVE LETTER
		(1)	BLOCK NUMBER

PRELIMINARY PLAT OF GEORGETOWN DETENTION BASIN PHASE II

A SUBDIVISION OF 18.925 ACRES SITUATED IN THE I&GN RR CO SURVEY, BLOCK 1, SECTION 23, ABSTRACT NO. 624, IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS.

0 RESIDENTIAL LOTS 1 RESERVES 0 BLOCKS
 DATE OF PREPARATION: MAY 4, 2026

OWNER:
 D.R. HORTON-TEXAS, LTD.,
 A TEXAS LIMITED PARTNERSHIP
 DANIEL E ROSE II, PE
 DIRECTOR OF LAND DEVELOPMENT

10033 NW MILITARY HIGHWAY, SUITE 2201
 RICHMOND, TEXAS 77407
 (281) 566-2100

PAPE-DAWSON
 2107 CITYWEST BLVD, 3RD FLR I HOUSTON, TX 77042 I 713.428.2400
 TEXAS ENGINEERING FIRM #470 I TEXAS SURVEYING FIRM #10028800

City of Friendswood

910 S Friendswood Drive
Friendswood, TX 77546



Corrections Required - 05-06-2026 16:56:33
Application No. PLT2026-1071
Address : 749336

Corrections Required Instructions:

- * Comments by each department should be addressed. Refer to the marked up plans and the written comments to ensure that all issues are addressed. In addition to the revised plans, a memo with written responses is recommended.
- * Once all comments have been addressed, return the pages that required change and any additional documents to the City of Friendswood Community Development Department
- * The review period for resubmitted plans is 7 to 10 business days. The applicant will be notified at the end of that period whether the plans are approved or if further explanation is needed.

Corrections Required:

Comment ID	Page Reference	Reviewer : Department	Review Comments	Applicant Response Comments
10	3	Becky Bennett : Planning	IV.2.a.(3) This pipeline easement appears to affect Sherry Lane Phase I, not the pond. Please verify and either update title report or draw on plat.	
13	4	Becky Bennett : Planning	IV.2.a.(3) Is this a blanket access easement? If affecting the subject tract, add a plat note. If not, remove from title report.	
14	4	Becky Bennett : Planning	IV.2.a.(3) Where is this drainage easement related to the subject tract?	

General Comments (informational and do not require corrections):

Page Reference	Reviewer : Department	Review Comments
PLAT2	Jil Arias : Engineering	Please note: City will need evidence that this "temporary" workspace is no longer an encumbrance. If this has not been released, it will need to be released so as to not hinder future detention work within Reserve A. Preliminary plat may be processed with the easement remaining. However, the easement will need to be released prior to the submission of construction plans.

Reviewer Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone No.:
Becky Bennett	bbennett@friendswood.com	281-996-3290
Jil Arias	jarias@friendswood.com	281-996-3312

Submission Documents:

Document Name	Document ID
155-255800135_Georgetown_18.925 ac_CPL_PD 2026.02.23.pdf	91041
PL40997-26 FINAL.pdf	94369

Northwesterly, along a tangent curve to the right, having a radius of 200.00 feet, a central angle of 39°29'58", a chord bearing and distance of N 19°15'16" W, 135.16 feet, for an arc length of 137.88 feet to a 5/8 inch iron rod with a cap marked "Pape-Dawson" found for a point of reverse curvature,

Northwesterly, along a tangent curve to the left, having a radius of 385.00 feet, a central angle of 44°00'53", a chord bearing and distance of N 21°30'43" W, 288.54 feet, for an arc length of 295.76 feet to a 5/8 inch iron rod with a cap marked "Pape-Dawson" found for a point of compound curvature,

Northwesterly, along a tangent curve to the left, having a radius of 1835.00 feet, a central angle of 23°09'06", a chord bearing and distance of N 55°05'43" W, 736.44 feet, for an arc length of 741.47 feet to a 5/8 inch iron rod with a cap marked "Pape-Dawson" found for a point of reverse curvature,

Northwesterly, along a tangent curve to the right, having a radius of 1365.00 feet, a central angle of 10°19'03", a chord bearing and distance of N 61°30'45" W, 245.47 feet, for an arc length of 245.80 feet to a 5/8 inch iron rod with a cap marked "Pape-Dawson" found for a point of tangency, and

N 56°21'13" W, a distance of 471.19 feet to the **POINT OF BEGINNING**, and containing 18.925 acres, more or less, in Galveston County, Texas.

Tract 2:

Easement Estate for pedestrian and vehicular access, ingress and egress purposes, described in that certain Reciprocal Access Easement Agreement, recorded in Document No. 2021029971 of the Official Public Records of Galveston County, Texas, consisting of a 60-foot wide, called 1.138 acre access easement, situated in the I. & G.N.R.R. Co. Survey, Section 23, Block 1, Abstract No. 624, in Galveston County Texas, and an 80-foot wide, called 12.860 acre access easement, situated in the Hooper and Wade Survey, Section 22, Abstract No. 491 and the I. & G.N.R.R. Co. Survey, Section 23, Block 1, Abstract No. 624, in Brazoria and Galveston Counties, Texas.

1. Deed Restrictions:

Those recorded in Document Nos. 2024003457, 2024005521, and 2024005523, Official Public Records of Galveston County, Texas.

2. Easements and other encumbrances (Oil, Gas and other Minerals excluded):

Easement recorded in document recorded in Volume 597, Page 622 of the Deed Records of Galveston County, Texas. Amended in instruments recorded in Volume 1408, Page 745 of the Deed Records of Brazoria County, Texas, and Volume 2999, Page 63 of the Deed Records of Galveston County, Texas.

IV.2.a.(3) This pipeline easement appears to affect Sherry Lane Phase I, not the pond. Please verify and either update title report or draw on plat.

Terms and conditions of that certain Permanent Easement Agreement, conveyed to Baymark Pipeline LLC, together with all rights granted therein, as described in document recorded in Document No. 2020005242 of the Official Public Records of Galveston County, Texas.

Terms and conditions of that certain Permanent Easement Agreement, conveyed to South Texas NGL Pipelines, LLC, together with all rights granted therein, as described in document recorded in Document No. 2020005243 of the Official Public Records of Galveston County, Texas.

Access to the Property is insured only according to the terms and conditions of that certain Reciprocal Access Easement Agreement, recorded in Document No. 2021029971, Official Public Records of Galveston County, Texas. As amended in Document No. 2023022687, Official Public Records of Galveston County, Texas, and in Document No. 2023022075, Official Public Records of Brazoria County, Texas.

Terms and conditions of that certain General Assignment, recorded in Document No. 2023022692, Official Public Records of Galveston County, Texas, and in Document No. 2023022080, Official Public Records of Brazoria County, Texas.

Easement and right of way, together with all rights granted therein, conveyed to 94 Georgetown Investments, LTD., as described in document recorded in Instrument No. 2023022694, Official Public Records of Galveston County, Texas, and in Document No. 2023022082, Official Public Records of Brazoria County, Texas.

IV.2.a.(3) Is this a blanket access easement? If affecting the subject tract, add a plat note. If not, remove from title report.

Easement and right of way, together with all rights granted therein, conveyed to D.R. Horton as described in document recorded in Document No. 2024009702, Official Public Records of Galveston County, Texas.

IV.2.a.(3) Where is this drainage easement related to the subject tract?

The rights of Galveston County Consolidated Drainage District to levy taxes and issue bonds.

3. Lien Holders:

None found.

No examination has been made as to oil, gas or other minerals, or documents affecting the title thereto, abstracts of judgments, state or federal tax liens, the status of taxes, tax suits or paving assessments.

This letter is issued for the use of, and shall inure to the benefit of PLATTING. Liability of Title Company for mistakes or errors in this letter is hereby limited to the cost of said letter.

This letter is issued with the express understanding, evidenced by the acceptance thereof, that Title Company does not undertake to give or express any opinion as to the validity or effect of the instruments listed, and this letter is neither a guaranty nor warranty of title.

Liability hereunder is limited to the amount paid for same. This report is furnished solely as an accommodation to the party requesting same and should not be relied upon, as a warranty or representation as to the title to the property described herein, and may not be given to or used by



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2026

Subject: **SITE PLAN: 403 LAUREL**

Consider approving the site plan for a new building to be located at 403 Laurel.

Action:

SUMMARY / ORIGINATING CAUSE

Address: 403 Laurel

Zoning: Downtown District (DD)

This item allows the Commission to review and consider a proposed commercial development at 403 Laurel. The building will be a 2-story structure consisting of 6,594 square feet of retail and office space. Head-in parking will be provided on Laurel, which is consistent and compliments the project next door - APA Designs and Lola's.

P&Z consideration:

Shared Parking - 6 parking spaces will be located on this tract. The future development at 311 Laurel will provide the remainder of the 19 required parking spaces. A 6-foot sidewalk will be constructed on the opposite side of Laurel for pedestrian access between the two locations when the building at 311 is constructed. Additional details regarding the shared parking numbers are on Sheet A 0-0.

A public sidewalk easement and a license agreement for the head-in parking will be required prior to issuance of the Certificate of Occupancy.

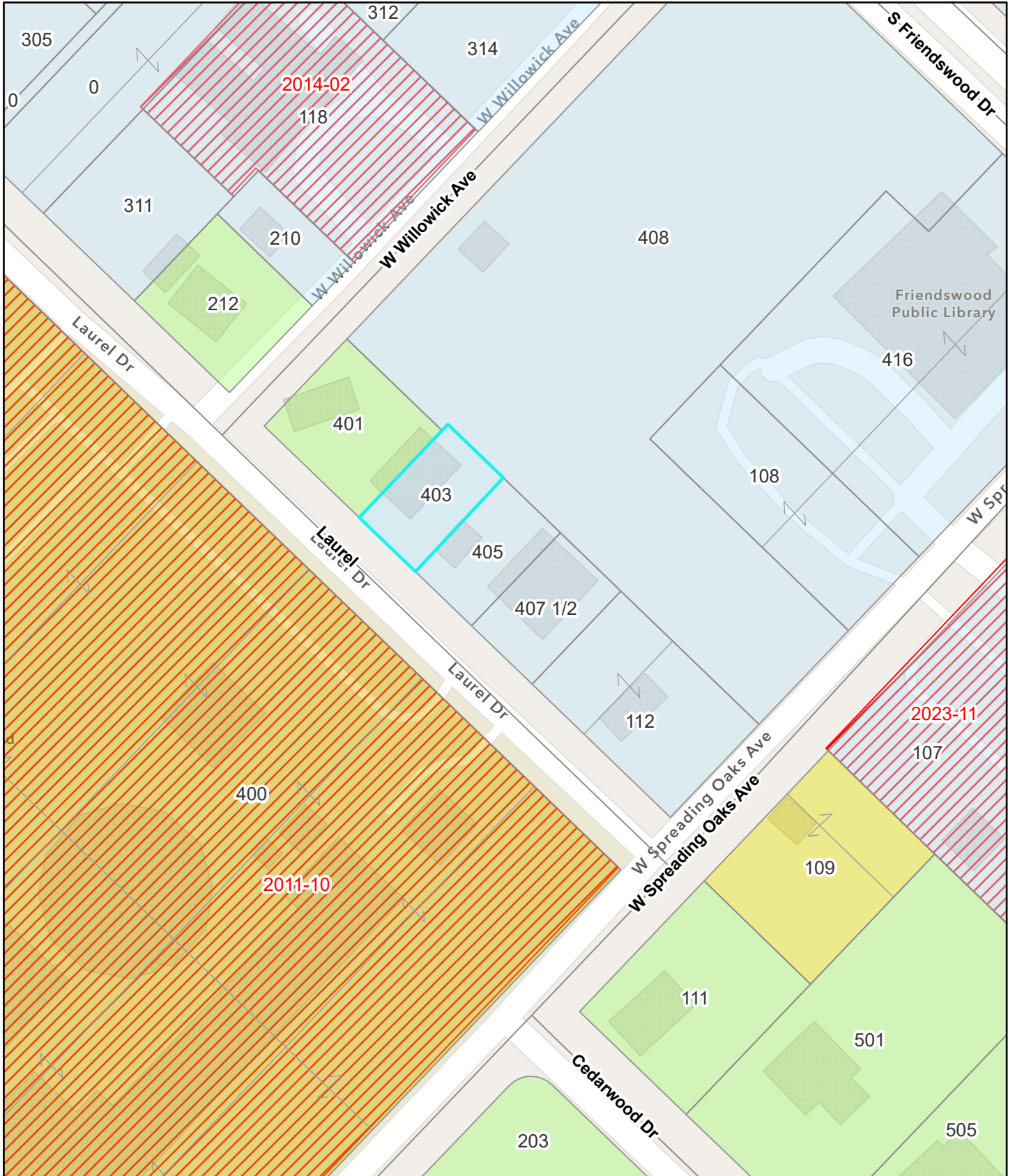
IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

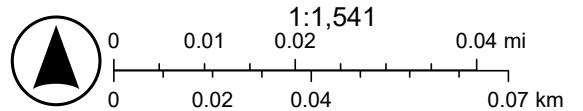
1. 403 Laurel Dr Zoning and Location map
2. Cover Sheet & Site Plan
3. Elevations
4. Landscape Plan
5. Photometric Plan
6. Sidewalk Plan

City of Friendswood



4/6/2026, 10:38:17 AM

- | | | | |
|--------------------|-----|-------|---------------------|
| City Limit | A1 | LNC | PUD-COMM |
| Creeks/Water | BP | MFR-H | PUD-MIXED |
| Parcels | CSC | MFR-L | PUD-RES |
| Streets | DD | MFR-M | SFR |
| Surrounding Cities | GHD | MHR | SFR-E |
| Water Lines | I | NC | Specific Use Permit |
| Zoning by Parcel | LI | OPD | |
| NO ZONING | | | |



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

DRAWING INDEX: 64 SHEETS

- A0-0 SITE PLAN / COVER SHEET
- A0-1 LANDSCAPE PLAN
- A0-2 FLOOR PLAN
- A0-3 PHOTOMETRIC PLAN
- A0-4 SITE PLAN SIDEWALK
- A1-0 GROUND FLOOR PLAN
- A1-1 SECOND FLOOR PLAN
- A1-2 EGRESS LIFE SAFETY
- A1-3 FLOOR TRUSS LAYOUT

- A1-4 FLOOR TRUSS PROFILES
- A1-5 GENERAL NOTES
- A1-6 GROUND FLOOR RCP
- A1-7 SECOND FLOOR RCP
- A2-0 ELEVATIONS
- A2-1 ELEVATIONS
- A2-2 BUILDING SECTION
- A3-0 INTERIOR ELEVATIONS
- A3-1 INTERIOR ELEVATIONS

- S1.0 STRUCTURAL COVER SHEET
- S1.1 GENERAL NOTES
- S2.0 FOUNDATION PLAN- BEAM DIMENSIONS
- S2.1 FOUNDATION PLAN- PIER DIMENSIONS
- S3.0 FRAMING PLAN- 1ST LVL HEADERS
- S3.1 FRAMING PLAN- 1ST LVL CEILING
- S3.2 FRAMING PLAN- 2ND LVL HEADERS
- S3.3 FRAMING PLAN- 2ND LVL CEILING
- S3.4 FRAMING PLAN- 1ST LVL SHEARWALL
- S3.5 FRAMING PLAN- 2ND LVL SHEARWALL
- S4.0 FOUNDATION DETAILS
- S4.1 FOUNDATION DETAILS
- S5.0 FRAMING DETAILS
- S5.1 FRAMING DETAILS

- P-1.0 PLUMBING SANITARY AND VENT PIPING PLAN
- P-1.1 PLUMBING SANITARY AND VENT PIPING PLAN
- P-1.3 PLUMBING SANITARY AND VENT PIPING PLAN
- P-2.1 PLUMBING WATER PIPING PLAN
- P-2.2 PLUMBING WATER PIPING PLAN
- P-3.1 PLUMBING SCHEDULES
- P-3.2 PLUMBING SCHEDULES
- M-1.1 MECHANICAL FLOOR PLAN
- M-1.2 MECHANICAL FLOOR PLAN
- M-2.1 MECHANICAL DETAILS
- E-1.1 ELECTRICAL POWER PLAN
- E-1.2 ELECTRICAL POWER PLAN
- E-2.1 ELECTRICAL LIGHTING PLAN
- E-2.2 ELECTRICAL LIGHTING PLAN
- E-3.1 ONE-LINE DIAGRAM
- E-3.2 ELECTRICAL LOAD ANALYSIS

- C-1.0 CIVIL COVER SHEET
- C-2.0 GENERAL NOTES
- C-2.1 GENERAL NOTES
- C-2.2 TOPOGRAPHIC SURVEY
- C-3.0 DEMOLITION PLAN
- C-4.0 SITE DIMENSION CONTROL PLAN
- C-5.0 GRADING PLAN
- C-5.1 DRAINAGE PLAN
- C-6.0 UTILITY PLAN
- C-7.0 SWPPP
- C-7.1 SWPPP DETAILS
- C-7.2 SWPPP DETAILS
- C-8.0 WATER DETAILS
- C-8.1 WATER DETAILS
- C-9.0 SANITARY DETAILS
- C-9.1 SANITARY DETAILS



CODE CRITERIA

2024 INTERNATIONAL BUILDING CODE
 2024 INTERNATIONAL ENERGY CONSERVATION CODE
 2024 INTERNATIONAL FIRE PROTECTION CODE
 2024 INTERNATIONAL MECHANICAL CODE
 2024 INTERNATIONAL PLUMBING CODE
 2024 NFPA LIFE SAFETY CODE
 2023 NATIONAL ELECTRICAL CODE

CODE ANALYSIS

CONSTRUCTION TYPE: TYPE VB (WOOD FRAMING), 2 STORY BUILDING
 GROSS SF: 6,594 SF (FULLY SPRINKLERED)
 MERCANTILE:
 DISPLAY: 2,863 SF @ 1/60 GROSS= 48 OCCUPANTS
 STORAGE: 242 SF @ 1/200 GROSS= 2 OCCUPANTS
 BUSINESS: 3,489 SF 1/150 GROSS= 24 OCCUPANTS
TOTAL OCCUPANTS: 74

MEANS OF EGRESS: 74 X .20 = 14.8' REQUIRED 150' PROVIDED
 MAX. EXIT TRAVEL DISTANCE ALLOWED: 200'-0" (BUS. OCC.)
 MAX. EXIT TRAVEL DISTANCE SHOWN: 106'-8"

PLUMBING FIXTURES REQUIRED:
 WATER CLOSETS: 3 (6 PROVIDED)
 LAVATORIES: 2 (6 PROVIDED)

IMPERVIOUS COVER

PREVIOUS IMPERVIOUS COVER (STRUCTURE, PORCH, FLATWORK) 5,819 SF
 CURRENT IMPERVIOUS COVER (STRUCTURE, PORCH, FLATWORK) 4,802 SF
 DIFFERENCE -1,017 SF

LOT COVERAGE CALCULATIONS

BUILDING FOOTPRINT: 3,506 SF
 GREEN SPACE: 1,382 SF
 REMAINING (FLATWORK): 1,774 SF
 LOT SIZE: 6,955 SF
 LOT COVERAGE: 3,506 SF / 6,955 SF = 50%

PARKING REQUIRED

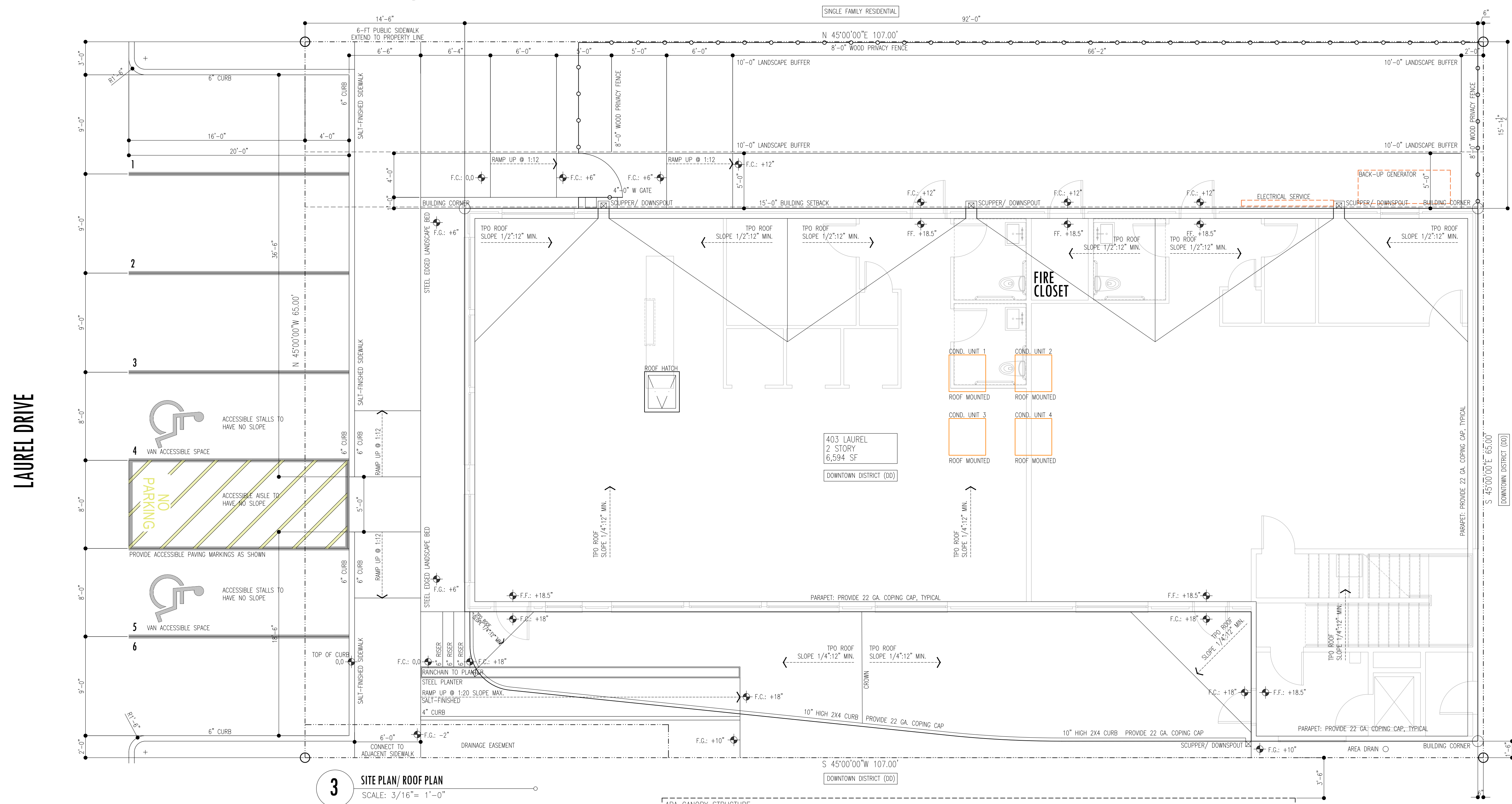
RETAIL (84:1000) @ 3,105 SF = 12 SPACES REQ.
 BUSINESS (83.8:1000) @ 3,489 SF = 13 SPACES REQ.
 TOTAL PARKING PROVIDED = 6 SPACES
 SHARED PARKING PER APPROVED D.M.F. BASED ON HOURS OF USE = 19 SPACE DEFICIT
 SHARED PARKING WILL BE AT THE 311 LAUREL MIXED USE DEVELOPMENT
 GROUND LEVEL RETAIL (84:1000) @ 7,000 SF = 28 SPACES REQ.
 SECOND LEVEL OFFICE (83.8:1000) @ 7,500 SF = 29 SPACES REQ.
 TOTAL REQUIRED PARKING: 57 SPACES
 TOTAL PARKING TO BE PROVIDED: 90 SPACES
 DEFICIT FROM 405 LAUREL= 9 SPACES + 57 SPACES = 66 SPACES (24 SURPLUS)
 DEFICIT FROM 403 LAUREL= 19 SPACES + 66 SPACES = 85 SPACES (5 SURPLUS)

TDLR TDLR #: TABS2026014940

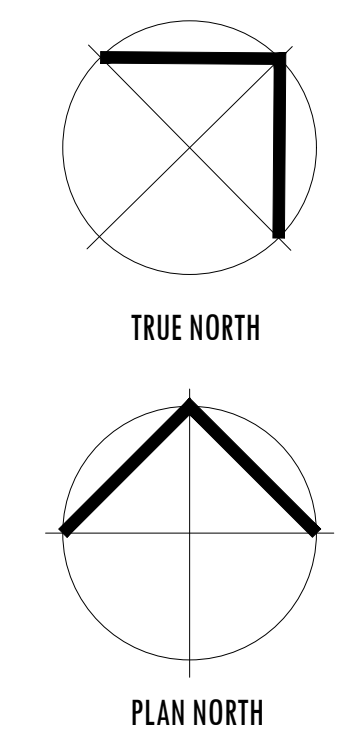
APPROVAL OF THE SITE PLAN WILL EXPIRE ONE YEAR AFTER THE APPROVAL BY THE COMMISSION. UPON EXPIRATION OF THAT TIME, THE APPLICANT MUST RESUBMIT A SITE PLAN THAT CONFORMS TO CURRENT ORDINANCES. PROVIDED, HOWEVER, THE APPLICANT MAY REQUEST AN EXTENSION IN WRITING, WHICH MAY BE GRANTED BY THE COMMISSION, FOR A PERIOD NOT TO EXCEED A TOTAL OF (6) SIX MONTHS.

1 MODEL RENDER

2 VICINITY MAP
SCALE: 1"= 400'



3 SITE PLAN/ ROOF PLAN
SCALE: 3/16"= 1'-0"



KENNEDY ARCHITECTURE LLC
 ARCHITECTURE | PLANNING | INTERIORS | LANDSCAPE DESIGN

tr@kennedy-architecture.com 832-748-8870

REGISTERED ARCHITECT
 STATE OF TEXAS
 EXPIRES: 12/31/26

OFFICE BUILDING
 403 LAUREL
 FRIENDSWOOD, TEXAS, 77546

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE SOLE PROPERTY OF KENNEDY ARCHITECTURE, LLC. ALL DESIGNS AND INFORMATION HEREIN ARE FOR USE ON THE SPECIFIED PROJECT AND SHALL NOT BE REPRODUCED, OR OTHERWISE USED, WITHOUT THE WRITTEN CONSENT OF KENNEDY ARCHITECTURE, LLC.

ISSUED FOR:
 PERMIT 04-14-26
 PERMIT SET REVISIONS 001 04-28-26

SITE PLAN/COVER
 SHEET NUMBER
A0-0

TOP OF PARAPET: 28'-6" ABOVE GROUND LEVEL F.F.
(30'-0" ABOVE LOWEST ADJACENT GRADE)

CEILING/ PLATE HEIGHT: 10'-0"

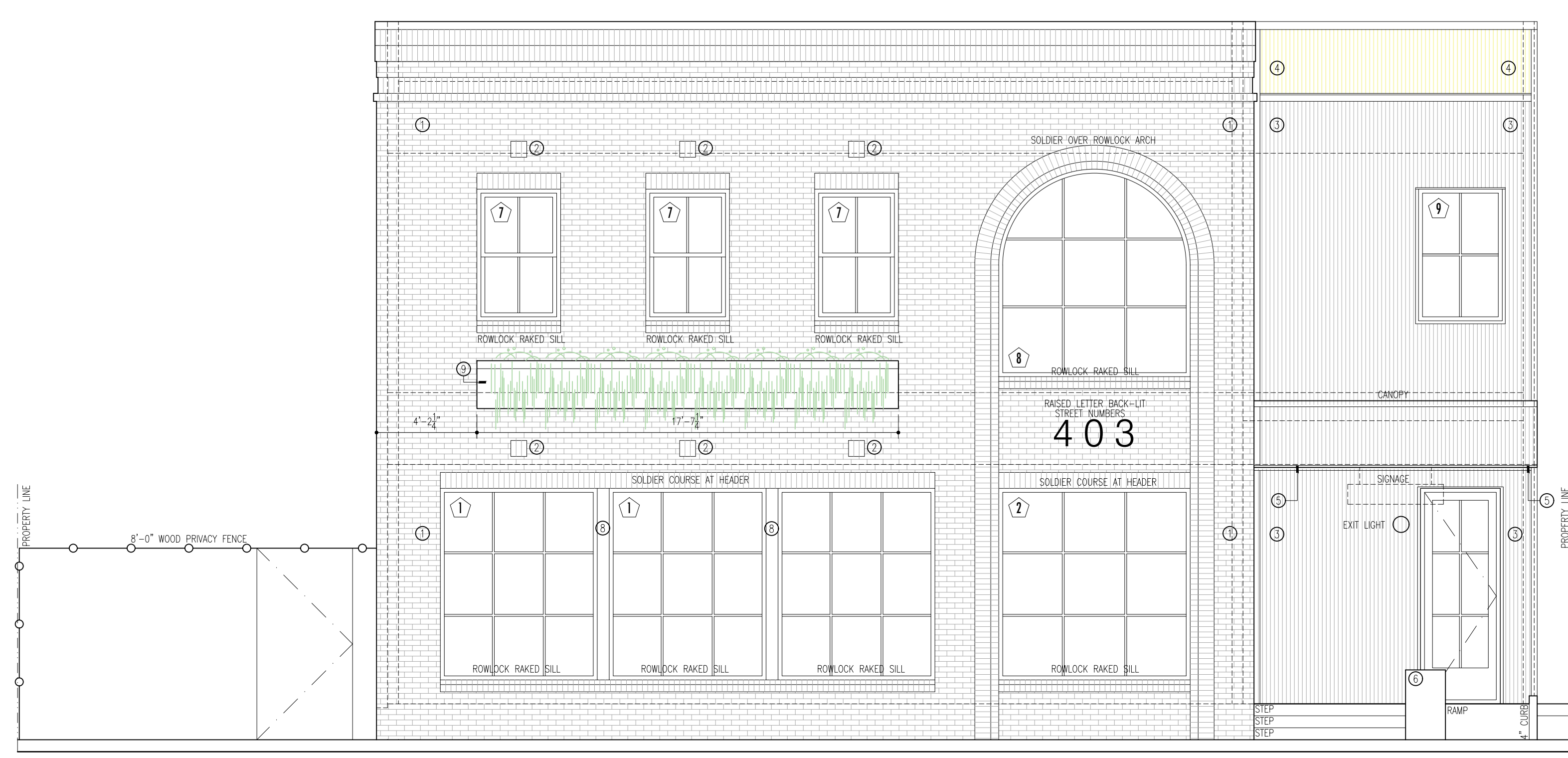
HEADER: 8'-6"

SECOND LEVEL SUB-FLOOR HT: 13'-0"

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 9'-0"

F.F.: +18.5' ABOVE TOP OF CURB



TOP OF PARAPET: 28'-6" ABOVE GROUND LEVEL F.F.
(30'-0" ABOVE LOWEST ADJACENT GRADE)

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 8'-6"

SECOND LEVEL SUB-FLOOR HT: 13'-0"

TOP OF CANOPY PARAPET: 12'-8"

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 9'-0"

F.F.: +18.5' ABOVE TOP OF CURB

1 STREET ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEY:

- ① MODULAR FACE BRICK, COLOR GRAY
- ② MODULAR GLAZED ACCENT BRICK, COLOR GREEN, 3 UNITS PER DETAIL
- ③ BLACK CORRUGATED 26 GAUGE S-PANEL AND MATCHING 24 GA. TRIMS
- ④ TRANSLUCENT CORRUGATED POLYCARBONATE WITH BLACK 24 GA. TRIMS
- ⑤ 1X6 SHIPLAP ACCOYA SOFFIT
- ⑥ POWDER COATED STEEL PLANTER
- ⑦ TPO ROOFING ON 5/8" ZIP DECKING. ALL ROOF SLOPES TO BE 1/4":12" MINIMUM. RUN ALL ROOFING UP BACKSIDE OF PARAPET CONDITIONS AND UNDER COPING CAP.
- ⑧ PAINTED HARDIE TRIM TO MATCH WINDOWS
- ⑨ POWDER COATED WALL-MOUNTED STEEL PLANTER WITH DICHONDRA SILVER FALLS

MECHANICAL EQUIPMENT SUCH AS ROOF TOP EQUIPMENT, COMPRESSORS, REFRIGERATION UNITS, TRASH ENCLOSURES, OUTDOOR STORAGE, AND OTHER NONPUBLIC SERVICE AREAS THAT ARE VISIBLE FROM A PUBLIC AREA SHALL BE SCREENED TO A HEIGHT SUFFICIENT TO COMPLETELY SCREEN THE USE FROM VIEW AT GROUND LEVEL.

TOP OF PARAPET: 28'-6" ABOVE GROUND LEVEL F.F.
(30'-0" ABOVE LOWEST ADJACENT GRADE)

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 8'-6"

SECOND LEVEL SUB-FLOOR HT: 13'-0"

TOP OF CANOPY PARAPET: 12'-8"

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 9'-0"

F.F.: +18.5' ABOVE TOP OF CURB



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(30'-0" ABOVE LOWEST ADJACENT GRADE)

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 8'-6"

SECOND LEVEL SUB-FLOOR HT: 13'-0"

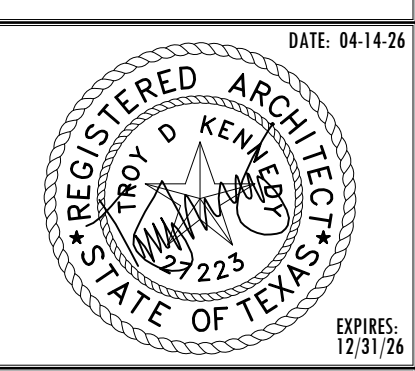
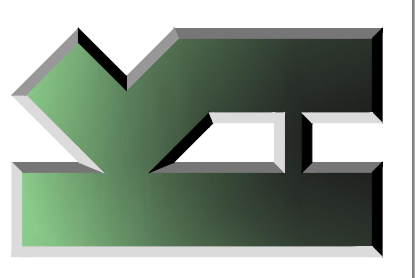
CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 9'-0"

F.F.: +18.5' ABOVE TOP OF CURB

2 RIGHT SIDE ELEVATION (FACING APA)
SCALE: 1/4" = 1'-0"

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ISSUED FOR: PERMIT 04-14-26

ELEVATIONS
SHEET NUMBER
A2-0

TOP OF PARAPET: 28'-6" ABOVE GROUND LEVEL F.F.
(30'-0" ABOVE LOWEST ADJACENT GRADE)

BOTTOM OF ROWLOCK ALIGNS WITH METAL TRIM

CEILING/ PLATE HEIGHT: 10'-0"

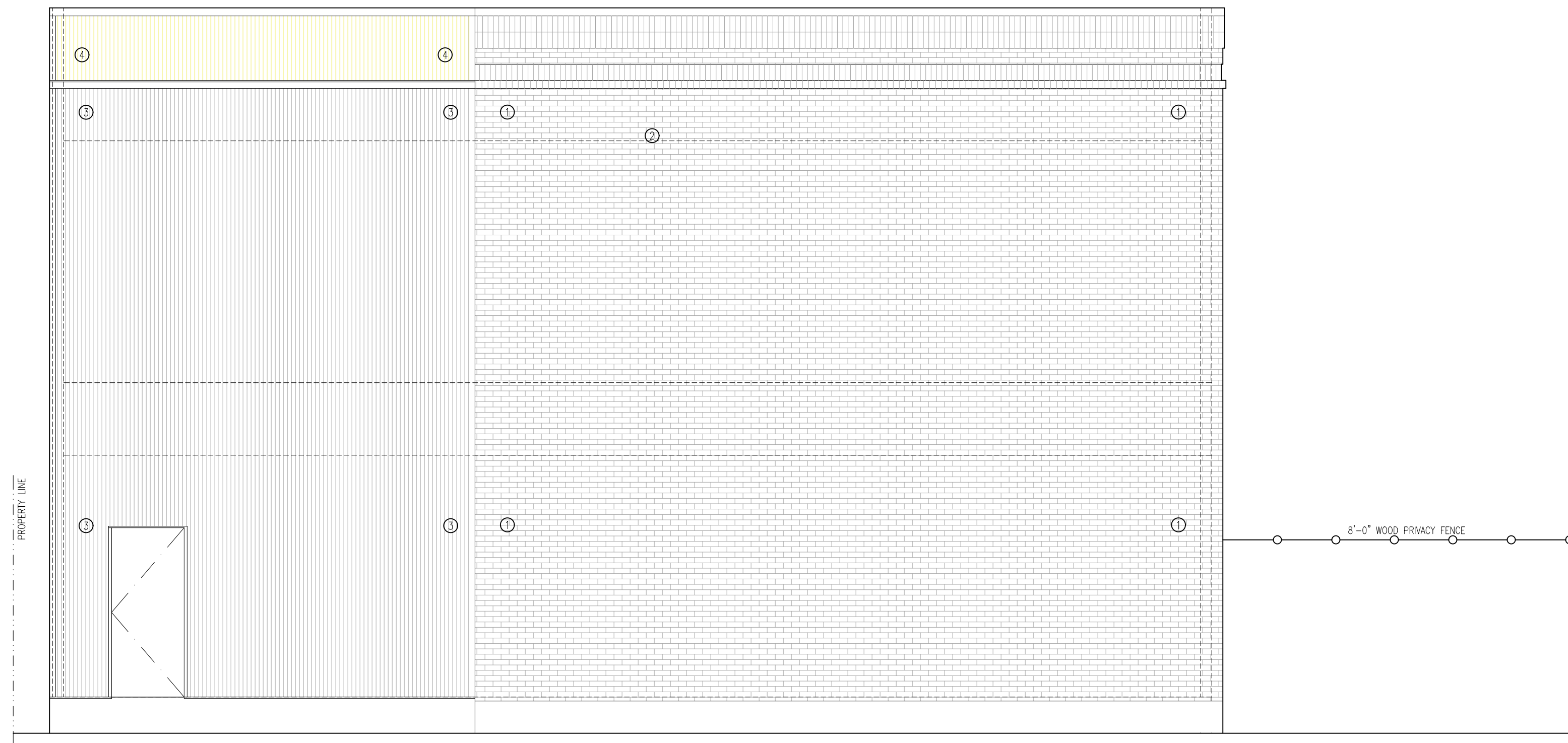
HEADER: 8'-6"

SECOND LEVEL SUB-FLOOR HT: 13'-0"

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 9'-0"

F.F.: +18.5" ABOVE TOP OF CURB



TOP OF PARAPET: 28'-6" ABOVE GROUND LEVEL F.F.
(30'-0" ABOVE LOWEST ADJACENT GRADE)

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 8'-6"

SECOND LEVEL SUB-FLOOR HT: 13'-0"

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 9'-0"

F.F.: +18.5" ABOVE TOP OF CURB

1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEY:

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- ② MODULAR GLAZED ACCENT BRICK, COLOR GREEN, 3 UNITS PER DETAIL
- ③ BLACK CORRUGATED 26 GAUGE S-PANEL AND MATCHING 24 GA. TRIMS
- ④ TRANSLUCENT CORRUGATED POLYCARBONATE WITH BLACK 24 GA. TRIMS
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TOP OF PARAPET: 28'-6" ABOVE GROUND LEVEL F.F.
(30'-0" ABOVE LOWEST ADJACENT GRADE)

ROOF SURFACE LOW END

CEILING/ PLATE HEIGHT: 10'-0"

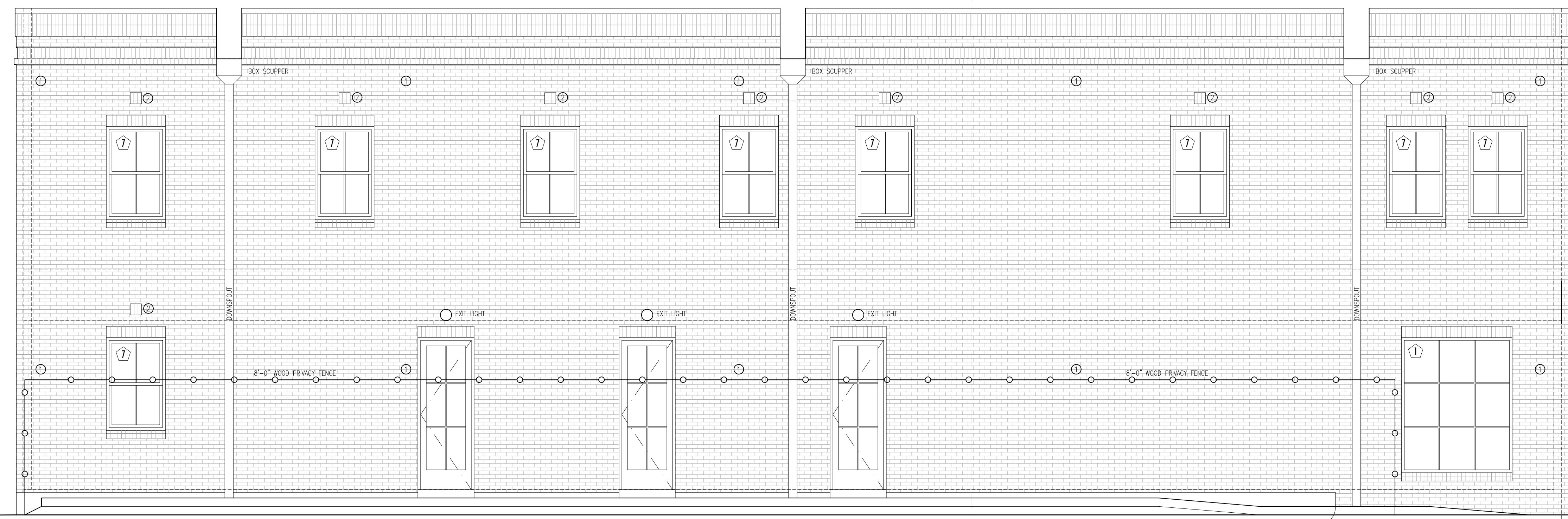
HEADER: 8'-6"

SECOND LEVEL SUB-FLOOR HT: 13'-0"

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 9'-0"

F.F.: +18.5" ABOVE TOP OF CURB



TOP OF PARAPET: 28'-6" ABOVE GROUND LEVEL F.F.
(30'-0" ABOVE LOWEST ADJACENT GRADE)

ROOF SURFACE LOW END

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 8'-6"

SECOND LEVEL SUB-FLOOR HT: 13'-0"

CEILING/ PLATE HEIGHT: 10'-0"

HEADER: 9'-0"

F.F.: +18.5" ABOVE TOP OF CURB

2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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tko@kennedy-architecture.com

REGISTERED ARCHITECT
STATE OF TEXAS
NO. 27223
EXPIRES: 12/31/26

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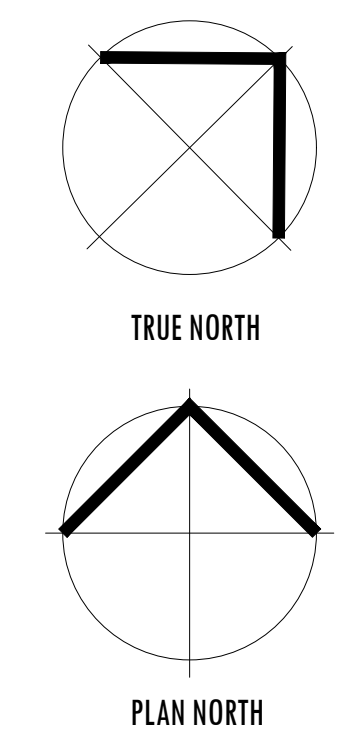
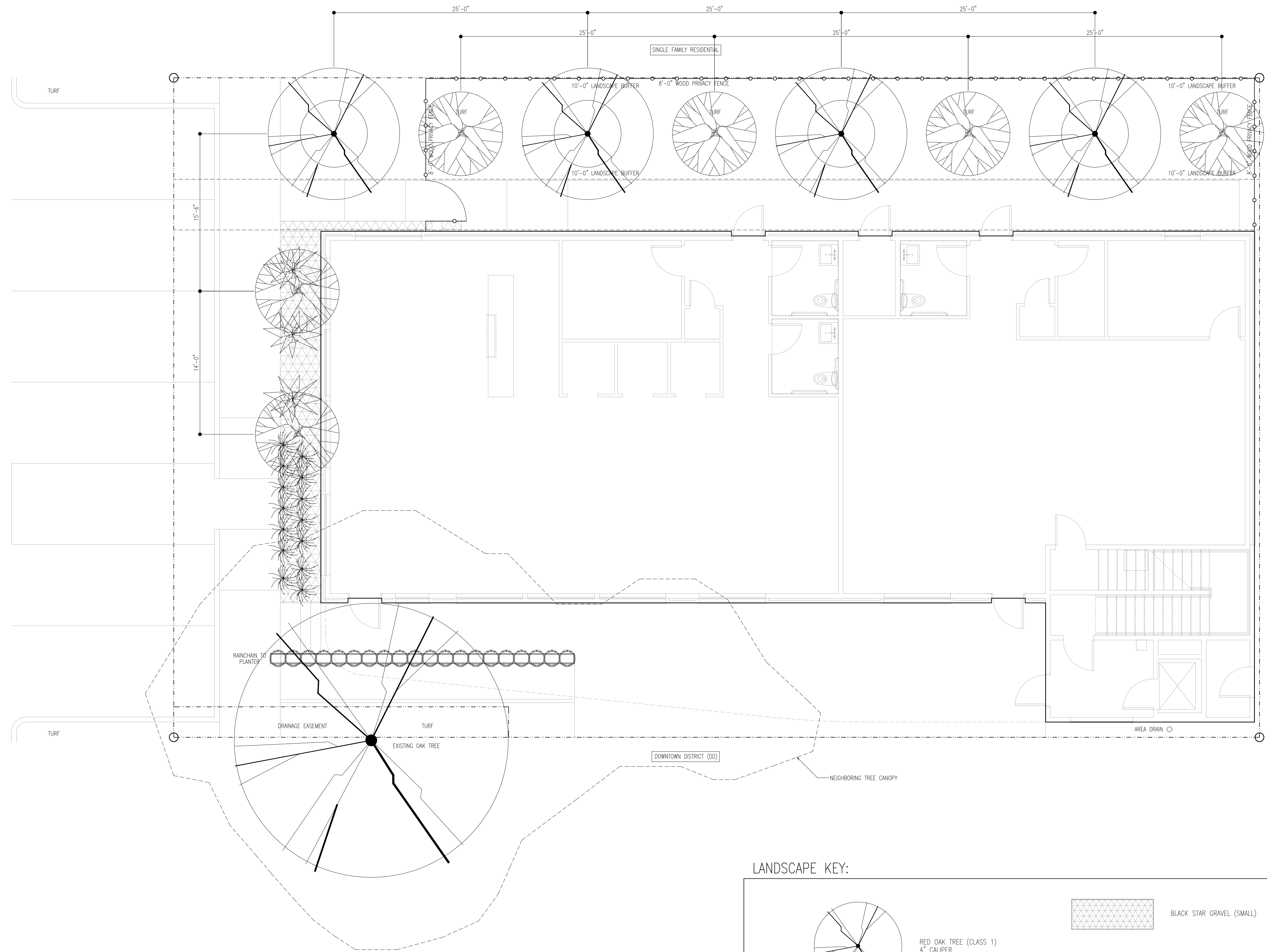
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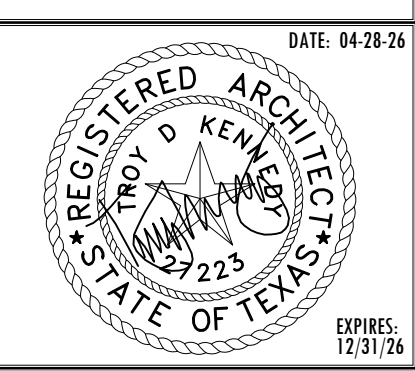
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ISSUED FOR: PERMIT 04-14-26

ELEVATIONS
SHEET NUMBER
A2-1



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ISSUED FOR:
 PERMIT 04-14-26
 PERMIT SET REVISIONS 001 04-28-26

LANDSCAPE PLAN
 SHEET NUMBER
A0-1

1 LANDSCAPE PLAN
 SCALE: 3/16" = 1'-0"

LANDSCAPE - DOWNTOWN DISTRICT	
PARKING (SMALL LOT):	240 SF X 10% 24 SF LANDSCAPE REQ. 1,382 SF LANDSCAPE PRO.
TREES:	1 TREE : 250 SF 1 TREE REQ.
LANDSCAPE BUFFER:	1 TREE : 25 LINEAR FT 3 TREES REQ. 3 TREES PRO.
LAUREL (STREET FRONT) - 67'	5 TREES REQ. 7 TREES PRO.
RESIDENTIAL - 107'	
TOTAL REQ.:	9 TREES AT 2" CALIPER 18 CALIPER INCHES REQ.
TOTAL PRO.:	10 TREES 4X4" CALIPER + 6X2" CALIPER 28 CALIPER INCHES PRO. PROJECT IS 10 CALIPER INCHES EXCESS OF THE REQUIREMENT

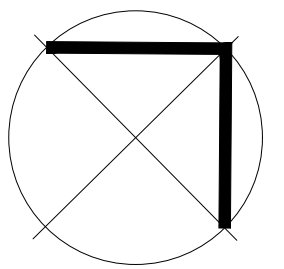
LANDSCAPE KEY:

	RED OAK TREE (CLASS 1) 4" CALIPER COUNT: 4 (25'-0" O.C.)		BLACK STAR GRAVEL (SMALL)
	WAX MYRTLE (CLASS 1) 2" CALIPER COUNT: 6 (25'-0" O.C.)		8' WOODEN PRIVACY FENCE
	BLUE AGAVE 3 GALLON		
	MEXICAN FEATHERGRASS 3 GALLON		
	DICHONDRA SILVER FALLS 2 GALLON		

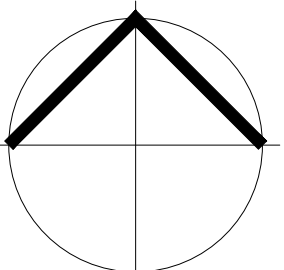
- AREAS NOT DENOTED WITH A HATCH ARE ASSUMED TO BE SAN AUGUSTINE SOG
- PLANTING BEDS NOT DELINEATED WITH BLACK STAR, WILL RECEIVE BLACK HARDWOOD MULCH
- PROVIDE IRRIGATION TO ALL LANDSCAPE AREAS
- PERIMETER YAUPON HOLLY TO BE AT 25'-0" O.C. TO MEET THE CITY OF FRIENDSWOOD SCREENING REQ.

NEIGHBORING ZONING: RESIDENTIAL (SR)
0.25 FT/CANDLE MAX. AT PROPERTY LINE

NEIGHBORING ZONING: DOWNTOWN DISTRICT (DD)
1.0 FT/CANDLE MAX. AT PROPERTY LINE

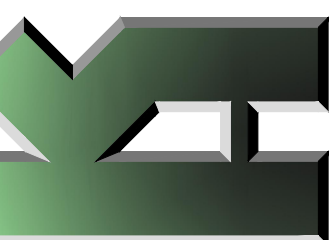


TRUE NORTH



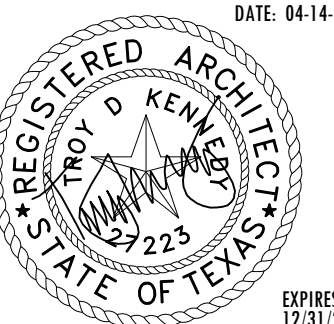
PLAN NORTH

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DATE: 04-14-26



EXPIRES: 12/31/26

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ISSUED FOR :

PERMIT 04-14-26

PHOTOMETRIC PLAN

SHEET NUMBER

A0-3

1 PHOTOMETRIC PLAN
SCALE: 1/4" = 1'-0"

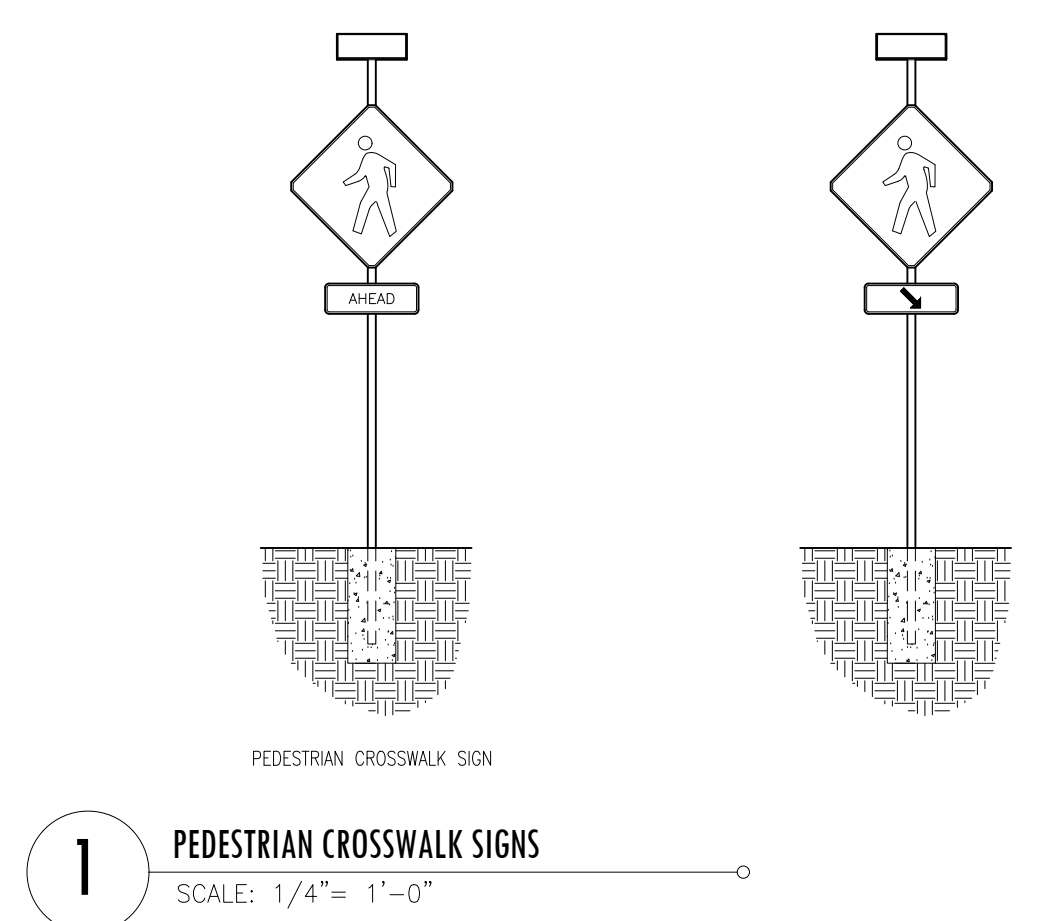
- LIGHTING/POWER KEY:
- ⊗ WAC 10" WALL SCONCE, MODEL #WS-W17310-40-WT LED 13W DAMP LOCATION, MATTE BLACK FINISH, WALL MOUNT HT. 10'
 - ⊕ HALO 4" CANLESS DOWNLIGHT, MODEL #HS4R, LED ML4 SERIES 12.9W DAMP LOCATION, MATTE BLACK FINISH, SURFACE MOUNT HT. 10'
 - ▲ LUMARK TCR TRACER FLOOD, MODEL #TCRS5M-WH-7030 LED 5W DAMP LOCATION, MATTE BLACK FINISH, GROUND KNUCKLE MOUNT

NOTE: ALL EXTERIOR LIGHTS TO BE SHIELDED SO THAT LIGHT DOES NOT ILLUMINATE ABOVE 45° ANGLED TOWARDS THE GROUND.

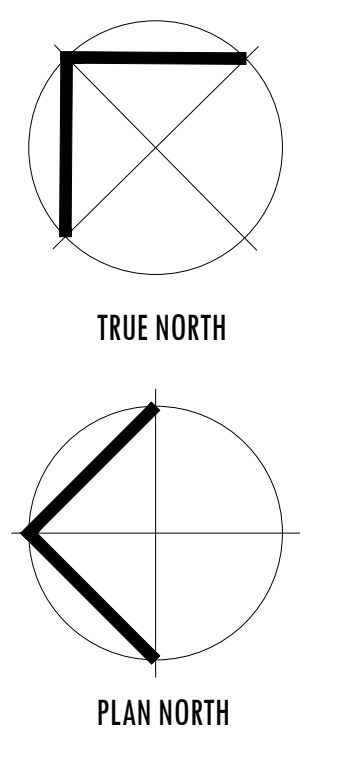


1 SITE PLAN SIDEWALK
SCALE: 1" = 20'-0"

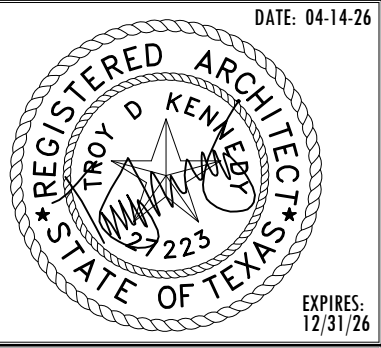
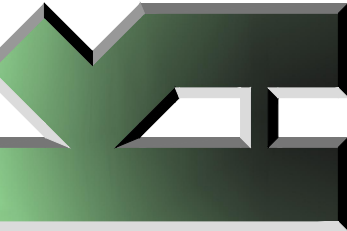
PARKING REQUIRED
 RETAIL (04:1000) @ 3,105 SF = 12 SPACES REQ.
 BUSINESS (03.8:1000) @ 3,489 SF = 13 SPACES REQ.
 TOTAL PARKING PROVIDED = 6 SPACES
 SHARED PARKING PER APPROVED D.M.F., BASED ON HOURS OF USE = 19 SPACE DEFICIT
 SHARED PARKING WILL BE AT THE 311 LAUREL MIXED USE DEVELOPMENT
 GROUND LEVEL RETAIL (04:1000) @ 7,000 SF = 28 SPACES REQ.
 SECOND LEVEL OFFICE (03.8:1000) @ 7,500 SF = 29 SPACES REQ.
 TOTAL REQUIRED PARKING: 57 SPACES
 TOTAL PARKING TO BE PROVIDED: 90 SPACES
 DEFICIT FROM 405 LAUREL = 9 SPACES + 57 SPACES = 66 SPACES (24 SURPLUS)
 DEFICIT FROM 403 LAUREL = 19 SPACES + 66 SPACES = 85 SPACES (5 SURPLUS)



1 PEDESTRIAN CROSSWALK SIGNS
SCALE: 1/4" = 1'-0"



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ISSUED FOR :	
PERMIT	04-14-26

SITE PLAN SIDEWALK
 SHEET NUMBER
A0-4



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2026

Subject: Receive an update on the recent amendments to Appendix B "Subdivisions" regarding plat approvals and to Appendix C "Zoning" regarding site plan approvals.

Action:

SUMMARY / ORIGINATING CAUSE

Follow up on the recent amendments to the Subdivision and Zoning Ordinances regarding the delegation of staff to approve plats and site plans and the minor administrative changes to both codes. The proposals were presented to City Council on May 4.

Subdivision Ordinance - Appendix B

City Council voted to make only the minor administrative changes to the Subdivision Ordinance and the Planning and Zoning Commission to continue reviewing and approving plats.

Zoning Ordinance - Appendix C

City Council voted to authorize staff to approve site plans and to make the minor administrative changes. The Commission will still review and consider any site plans requesting alternate landscape plans, screening plans, etc.

Staff is working on some options to communicate to the Commission and to the public the commercial site plans that get approved by staff....more to come on that.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2026

Subject: Receive the April 2026 DRC Report, April 2026 Business Report, Council Liaison updates concerning action taken by the City Council on Planning and Zoning related items, and Commissioner comments concerning items of community interest and/or requesting future agenda items.

Action:

SUMMARY / ORIGINATING CAUSE

The April 2026 DRC Report and April 2026 Business Report are attached.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. April 2026 DRC Report
2. Friendswood Monthly Business Report April 2026

COMMUNITY DEVELOPMENT DEPARTMENT
MONTHLY DRC REPORT
APRIL 2026



Project	Current Zoning	Zone Change Required? Y/N	Issues discussed	Location
<p>Catholic High School Beamer Rd</p> <p>Board is searching for a site for a catholic high school campus; several being considered</p>	<p>Industrial (I)</p>	<p>Yes – Specific Use Permit (SUP)</p>	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> Zone change – SUP for school <input type="checkbox"/> Meets Future Land Use Map <input checked="" type="checkbox"/> Plat required <input type="checkbox"/> Eligible for Certificate of Platting Exemption <input checked="" type="checkbox"/> Site plan approval required <input type="checkbox"/> Community Overlay District (150 ft) <input type="checkbox"/> Downtown District <input type="checkbox"/> Water service available <input type="checkbox"/> Sewer service available <input checked="" type="checkbox"/> On-site detention required <input type="checkbox"/> May be eligible for regional detention <input type="checkbox"/> High hazard flood zone(s) <input checked="" type="checkbox"/> Pipelines and abandoned active oil wells <input type="checkbox"/> TxDOT Permits required <p>Misc Notes: Concerns with this site is fitting in the aesthetics of the proposed building in an industrial area; mixing school traffic with the industrial traffic in the area; wells and pipelines throughout the property (abandoned and active), and floodplain regulations (minor concern).</p>	



CITY OF FRIENDSWOOD

MONTHLY BUSINESS REPORT - APRIL 2026

Click [here](#) to access the Current Development Projects presentation/story map.

Certificates of Occupancy Issued (new, additions, alterations, name, owner and occupant changes)

Business	Address	Permit	Zoning
Castle Biosciences	1500 W Parkwood Ave Suite 300	ALTER	CSC
Castle Biosciences	1500 W Parkwood Ave Suite 100	ALTER	CSC
Power Fit Eats	214 S Friendswood Dr. Suite A	ALTER	DD
PetroQuip	3280 W Parkwood Ave	ALTER	LI
Castle Biosciences	1500 W Parkwood Ave	NEW	CSC
Kessinger Counseling Group	1414 S Friendswood Dr Suite B312	TO	NC
Lucas & Lucas	107 Shadwell Lane Suite 201	TO	PUD
LPCS Counseling & Consulting	107 Shadwell Lane Suite 202	TO	PUD
Reset Medical	400 W Parkwood Ave Suite 116	TO	CSC
EverElle Boutique LLC	607 S Friendswood Dr. Suite 19	TO	DD
Ascend Solutions	311 S Friendswood Dr. Suite 203	TO	DD

New commercial permits issued:

Jain Retail Center – Friendswood City Center 3715 FM 528 (sitework permit only)

New multi-family permits issued:

None

Commercial Add/Alter/Demo permits issued:

Azahar Mexican Restaurant 1788 S Friendswood Dr Interior remodel

Zone Changes:

Autumn Creek FLUM Correction	Garden Home and Garden Home/Low Density to Low Density Residential
Autumn Creek Zoning Correction	GHD and GHD/SFR to SFR
2350 S Friendswood Drive	SFR to CSC

Denotes Location in the Downtown District (DD) Boundary

Community & Economic Development Committee (CEDC)

Mission: To champion a vibrant and competitive economy by providing leadership and resources for business attraction, retention, and expansion to enhance the quality of life.

Meeting days – first Wednesday of each month at 4pm; 2nd floor conference room at City Hall

- Continue to work on Strategic Goals
- Small Business Event Program on Monday, April 27 was a success!

Friendswood Downtown Economic Development Corporation (FDEDC)

Type 4B Sales Tax Corporation

Meeting days – second Tuesday of each month at 4pm; Council Chambers

- Removing overhead communication lines on northeastern side of S Friendswood Dr.
 - May 4 – Council approved expenditure to AT&T for a quote
 - May 4 – Council approved expenditure to Comcast to proceed with removal of lines
- The remainder of the DD street signs have been installed; additional wayfinding signs have been installed in the medians. Purchased Downtown banners for the light poles.
- Considering options for additional banners and holiday decorations including the 4th of July for America’s 250th celebration!
- [FDEDC Projects](#) – a new story map highlighting the projects that FDEDC has completed! A link will be added to the City’s web site soon.

Miscellaneous:

- TIRZ (Tax Increment Reinvestment Zone) #1/PID (Public Improvement District) – Friendswood City Center on FM 528 – 124 acres; approved by City Council December 2023
- TIRZ (Tax Increment Reinvestment Zone) #2 – Friendswood Parkway/FM 528 – 3 – 326.52 acres; approved by City Council June 2024; Castle Biosciences (participant)
- Comprehensive Plan Update – survey is closed; CPAC meeting #3 was held April 30; consultant is working on drafting objectives and recommendations for the plan