

NOTICE OF A SPECIAL AND REGULAR MEETING OF THE CITY OF FRIENDSWOOD PLANNING AND ZONING COMMISSION, TO BE HELD MONDAY, JUNE 4, 2018, BEGINNING AT 5:30PM, IN THE COUNCIL CHAMBERS AND IMMEDIATELY FOLLOWING IN THE 2nd FLOOR CONFERENCE ROOM AT CITY HALL LOCATED AT 910 S. FRIENDSWOOD DRIVE, FRIENDSWOOD, TEXAS

Joint Work Session (5:30pm in the Council Chambers)

1. Discussion with City Council regarding proposed changes to the Zoning Ordinance

Joint Public Hearing (7pm in the Council Chambers)

1. Call to order
2. Receive comments from the public, both oral and written, regarding:
 - A. Zone change request for 2.504 acres out of Lot 12 Block 2 of Friendswood Subdivision, as recorded in Volume 238, page 14, of the Office of the County Clerk of Galveston County, Texas, located at 213 E. Heritage Dr., Friendswood, Galveston County, Texas, to change from Single Family Residential (SFR), Multi-Family Residential Low Density (MFR-L), and Multi-Family Residential Low Density / Specific Use Permit (MFR-L/SUP) to Planned Unit Development (PUD)
 - B. Proposed amendments to Appendix C, Zoning Ordinance Section 7.P.5. North American Industry Classification System (NAICS) Codes to change version reference from “1997” to the “current” North American Industry Classification System (NAICS) Codes; and Section 7.P.6. Permitted Use Table to update the reference to the 2017 NAICS Codes; to add NAICS Use #425 Wholesale Electronics markets and Agents and Brokers; and to add NAICS Use #447190, Other Gasoline Stations (gas stations without convenience stores; truck stops; and marine service stations)
 - C. Proposed amendments to Appendix C, Zoning Ordinance Section 7.Q.3. Area and Height exceptions, to allow stairs of an elevated house to encroach the front building line in certain situations
3. Adjournment

Regular Meeting (2nd floor conference room immediately following JPH)

1. Call to order
2. Communication from the public/committee liaisons
(To comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects be placed on a later regular Commission agenda for discussion and/or possible action.)
3. Consent agenda
These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner or citizen so

requests in which case the item would be removed from the consent agenda and considered separately.

- A. Minutes from May 17, 2018 regular meeting
- B. Friendswood Plaza Reserve B Replat

Action Items

According to the Planning and Zoning Rules of Procedure (R2010-09), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

4. Consideration and possible action regarding proposed amendments to Appendix C, Zoning Ordinance Section 7.P.5. North American Industry Classification System (NAICS) Codes to change version reference from “1997” to the “current” North American Industry Classification System (NAICS) Codes; and Section 7.P.6. Permitted Use Table to update the reference to the 2017 NAICS Codes; to add NAICS Use #425 Wholesale Electronics markets and Agents and Brokers; and to add NAICS Use #447190, Other Gasoline Stations (gas stations without convenience stores; truck stops; and marine service stations)
5. Consideration and possible action regarding proposed amendments to Appendix C, Zoning Ordinance Section 7.Q.3. Area and Height exceptions, to allow stairs of an elevated house to encroach the front building line in certain situations
6. Consideration and possible action regarding a zone change request for 2.504 acres out of Lot 12 Block 2 of Friendswood Subdivision, as recorded in Volume 238, page 14, of the Office of the County Clerk of Galveston County, Texas, located at 213 E. Heritage Dr., Friendswood, Galveston County, Texas, to change from Single Family Residential (SFR), Multi-Family Residential Low Density (MFR-L), and Multi-Family Residential Low Density / Specific Use Permit (MFR-L/SUP) to Planned Unit Development (PUD)
7. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

Thursday, June 21
Thursday, July 5
8. Communications from the Commission
 - a. Commissioners
Suggestions for future agenda items and general comments; updates from liaison assignments
 - b. Staff
Nothing at this time
9. Adjournment

Aubrey Harbin, LEED AP
Deputy Director of Community Development/City Planner

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretative services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (281) 996-3270 for further information.

I, Melinda Welsh, City Secretary of the City of Friendswood, do certify that the ABOVE NOTICE OF MEETING of the Friendswood Planning and Zoning Commission was posted in a place convenient to the general public in compliance with Chapter 551, Texas Government Code on the 31st day of May, 2018, at _____.

Melinda Welsh, City Secretary

<i>All meetings of the Planning & Zoning Commission are open to the public, except when there is a necessity to meet in an Executive Session (closed to the public) under the provisions of Section 551, Texas Government Code. The Planning & Zoning Commission reserves the right to convene into Executive Session to hear any of the above described agenda items that qualifies for an executive session by publicly announcing the applicable section number of the Open Meetings Act.</i>

Zone Change request – 213 E Heritage Dr. – to change from Single Family Residential (SFR), Multi-Family Residential Low Density (MFR-L), and Multi-Family Residential Low Density / Specific Use Permit (MFR-L/SUP) to Planned Unit Development (PUD)

1. [Rezoning Report](#)
2. [Application](#)
3. [Survey and Metes and Bounds Description](#)
4. [Deed](#)
5. [Aerial Map](#)
6. [Location Map](#)
7. [Zoning Map](#)
8. [Original SUP Ordinance 208](#)
9. [PUD Letter](#)
10. [Cover Sheet](#)
11. [Site Plan](#)
12. [Building elevations](#)
13. [Photometric plan and landscape plan](#)
14. [Provider Ambulance Agreement](#)

Rezoning Report

May 2018

Project: Friendswood Healthcare – Senior Care Facility

Address: 213 E. Heritage Dr.

Legal: 2.504 acres or 109,089 square feet of land out of Lot 12 Block 2 of Friendswood Subdivision, as recorded in Volume 238, page 14, of the Office of the County Clerk of Galveston County, Texas

Request: Zone classification change from Single Family Residential (SFR), Multi-Family Residential Low Density (MFR-L), and Multi-Family Residential Low Density / Specific Use Permit (MFR-L/SUP) to Planned Unit Development (PUD)

The skilled nursing facility will consist of approximately 49 units/84 beds to provide traditional assisted living and advanced memory care. The entire facility is housed in one building. Below is a breakdown of the units.

Proposed NAICS Use: 6231, Nursing Care Facility/Skilled Nursing Facilities

Proposed Units

Memory care	12 rooms/24 beds
Assisted Living semi-private rooms	16 rooms/32 beds
Assisted Living semi-private rooms	7 rooms/14 beds
Private rooms	14 rooms/14 beds

Applicable Zoning Ordinance Excerpts

Zoning Ordinance

Section 7. Schedule of District Regulations

J. PUD, planned unit development, general purpose and description. This district allows for greater flexibility in the design and coordination of a single use or mixed uses than in other districts because a specific ordinance is written for every PUD. A PUD is a unique zoning classification, and shall be granted only when the planning and zoning commission and city council determine that the applicant has submitted a complete application containing sufficient detail. An applicant is not entitled to a PUD as a matter of right. The city reserves the right to establish conditions as determined appropriate.

In no case shall a PUD be used for the sole purpose of circumventing the intent of city ordinances or plans. Unless standards for elements of site design are specifically described in a rezoning ordinance for a PUD, all design and development standards shall apply to all land development within a PUD district. The development must be planned as an integral unit and must protect nearby landowners from adverse impact with appropriate buffering and landscaping. A site plan is required for all PUDs.

The general purposes of all PUD, planned unit development districts, are several-fold:

1. To encourage unified design and development of tracts of land incorporating a variety of uses including, but not limited to, residential, commercial, office, and institutional;
2. To accommodate innovation in development by modifying the city's land use and development regulations;

3. To provide for and protect the public health, safety and general welfare of the city by assuring quality development in accordance with the city's comprehensive plan and other related goals;
4. To minimize the negative impact of developments, especially those related to drainage, environment, traffic, and a public services and related facilities;
5. To protect and enhance the aesthetic and visual qualities of development;
6. To provide development of sites in a suitable fashion when such development is restricted by such factors as site location and shape;
7. To promote economic development in accordance with the city's plans for such...

PUD Application Requirements per Section 7.J.7.(c)

- (a) Data describing all processes and activities involved with the proposed use;
- (b) Boundaries of the area covered by the site plan;
- (c) The location of each existing and proposed building and structure in the area covered by the site plan and the number of stories, height, roofline, gross floor area and location of building entrances and exits;
- (d) The location of existing drainage ways, and significant natural features;
- (e) Proposed landscaping and screening buffers;
- (f) The location and dimensions of all curb cuts, public and private streets, parking and loading areas, pedestrian walks, lighting facilities and outside trash storage facilities;
- (g) The location, height and type of each wall, fence, and all other types of screening;
- (h) The location, height and size of all proposed signs;
- (i) Utility and drainage plans;
- (j) Regulation matrix designating what zoning district the development will follow;
- (k) Data describing any variation from the typical development requirements...

Section 7. Supplementary District Regulations

H. Modification of standards proposed within a PUD.

1. Following adoption of a PUD ordinance pursuant to this section, all subsequent plans prepared for the development or any portion of the property within a PUD must substantially conform to the approved plan in accordance with the standards of the PUD ordinance, this section, and all other applicable ordinances of the city.
2. Provided, however, the city recognizes that market conditions may alter the development of a large PUD and hereby provides that alterations in the land area or square footage, as appropriate, covered by a category of use, may be varied by not more than 25 percent. In no case shall such variations change traffic or circulation patterns, substantially alter the number or arrangement of buildings, increase the height of buildings, lessen the amount or effectiveness of open space or landscaped buffers, or result in a greater impact on adjacent properties or neighborhoods. Percentage changes specified herein shall be the maximum change allowed; multiple changes exceeding those percentages shall not be approved administratively, but shall require the owner to submit an application for an amendment to the district standards.

Existing Use/Site Attributes:

The existing site was developed in the early 1970s as a nursing home (institution for the aged). A Specific Use Permit to allow the use was approved in 1974, as well as a couple of variances (detailed

below in Planning Analysis). Additional property for the parking lot was acquired at some point or not included in the original SUP. The current structure is a 26,000 square foot building. As part of the SUP ordinance, the owner dedicated a 60-foot right-of-way (E. Heritage Dr.) through the site, which still exists today.



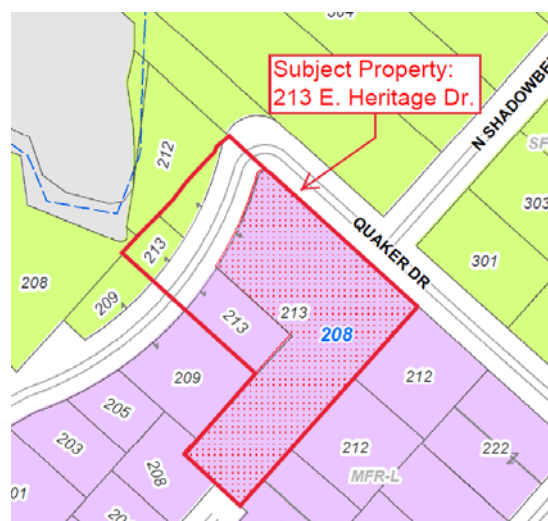
City of Friendswood GIS Aerial Map

Zoning History:

The current zoning of the property is Multi-Family Residential Low Density with a Specific Use Permit for an Institution for the Aged (MFR-L/SUP), Multi-Family Residential (MFR-L) and a small portion being zoned Single Family Residential (SFR).

Adjacent Zoning/Land Use:

The property fronts Quaker Drive and E. Heritage Dr. The zoning of tracts immediately adjacent to the subject property are zoned Multi-Family Residential-Low Density (MFR-L) and tracts across Quaker Dr and E. Heritage Ave. are zoned Single Family Residential (SFR).



City of Friendswood Zoning Map

Platting Analysis:

The property is eligible for a Certificate of Platting Exemption.

Planning Analysis:

The structure sustained damage during Hurricane Harvey and was substantially damaged (more than 50% of the tax value). The existing structure meets the current elevation requirements – 2 feet above base flood elevation. In order to issue building permits for reconstruction, the zoning must be corrected. Additional property for the existing parking lot was acquired at some point and was not included in the original SUP. Current zoning does not allow a nursing home use with a SUP in the MFR-L zoning; therefore, the applicant is requesting to change the zoning to a Planned Unit Development (PUD) due to the unique characteristics of the existing, developed tracts.

January 1974 – Specific Use Permit for Institution for the Aged approved with the following conditions:

1. There is to be no access to Shady Nook.
2. A sixty (60) foot right-of-way for Heritage Drive shall be deeded to the City.
3. A drainage culvert shall be installed, covered, and blacktopped on Quaker drive according to the City Engineer's specifications. The entire cost of the culvert and blacktop is to be borne by the Autumn Hills Corporation.
4. A screening hedge is to be planted between the parking area and the Fred Camp property.
5. A landscaped greenery buffer approximately 45 feet by 108 feet is to be maintained abutting Shady Nook.
6. Drainage of the back yard area and parking area is to be approved by the City Engineer with the City to pay for the difference in culvert size required to take the drainage off Shady Nook.

February 1974 – Variances issued for an addition

1. A variance to reduce the front building line of the proposed new addition from 25 feet to 15 feet 6 inches.
2. A variance to reduce the required off-street parking to a total of eighteen (18) cars in lieu of that required by the Zoning Ordinances and that an additional nine (9) nonconforming parking spaces be provided on Quaker Drive.

June 1974 – 60-ft Right-of-Way

A 60-foot right-of-way on Heritage Drive dedicated to the City (Volume 2561 Page 159)

Comprehensive Planning Analysis:

The Future Land Use Map identifies this property developing as Low Density Residential.

Infrastructure/Service Delivery Impacts**Storm Water Management and Floodplain Issues:**

The building and parking lot are existing; no additional impervious cover will be added therefore no additional detention will be required. The structure flooded during Hurricane Harvey and sustained substantial damage. The elevation of the existing building has been verified and meets the requirement of the City's Flood Ordinance by being a minimum of two feet above base flood elevation.

Utilities:

City water and sewer services are existing on the site.

Access:

The project has direct access to Quaker Dr. and E. Heritage Dr. which in turn connects to FM 518. The property also has access to Shady Nook for emergency purposes only.

Park/Open Space:

The development is existing; park fees will not apply.

Community & Economic Development Committee (CEDC) Recommendation:

pending



City of Friendswood – Community Development

910 S. Friendswood Drive
Friendswood, TX 77546
Phone: 281-996-3201 Fax: 281-996-3260
www.ci.friendswood.tx.us

Zone Change Application

4.24.2018

CURRENT ZONE OF PROPERTY:

MULTI-FAMILY RESIDENTIAL LOW DENSITY (MFR-L SUP)
SINGLE FAMILY RESIDENTIAL (SFR)
WITH A SUP

TYPE OF ZONE CHANGE (check one):

- ☐ Land Use Change to Zone: _____
☒ Planned Unit Development Option 1
☐ Planned Unit Development Option 2

- ☐ Specific Use Permit Option 1
☐ Specific Use Permit Option 2
SUP for Use(s) #: _____

PROPERTY IDENTIFICATION:

Address: 213 EAST HERITAGE DRIVE, FRIENDSWOOD, TX
Platted Land – Plat Name: FRIENDSWOOD SUBDIVISION Lot: Part 2 Block: 2
Unplatted Land – Attach a certified metes and bounds description

OWNER NAME: Friendswood Realty, LLC Phone: (615) 896-1191
Owner's Mailing Address: 206 Fortress Boulevard
City: Murfreesboro State: TN Zip: 37128 Fax: (615) 890-7978
Owner's Email Address: rsweeney@hsmcinc.us

AGENT'S NAME: RIC PEARSON Phone: 281.455.0987
Agent's Mailing Address: 704 3RD ST.
City: LEAGUE CITY State: TX Zip: 77573 Fax: _____
Agent's Email Address: ricpearson64@gmail.com

In authorizing an agent to represent the owner, the owner attests that his/her agent may make verbal or written representations and/or declarations on the owner's behalf and the owner understands and acknowledges that the City of Friendswood shall rely upon the agent's representations in matters pertaining to the above described property. The designation of an agent in this matter in no way absolves the owner of any of the owner's responsibilities outlined by the City of Friendswood. The owner must be the legal owner of record of the property at the time of submittal of the application.

The undersigned hereby request approval by the City Council on the above identified zone change.

Owner's Signature: [Signature] Date: 4/12/18
Agent's Signature: [Signature] Date: 4.12.18

Received By: <u>[Signature]</u>	Application Number: <u>2018-0010</u>
Date of Public Hearing: <u>5.7.18</u>	Received Date: <u>4.14.18 (revised)</u>
Property Owner Notices: <u>4.20.18</u>	Newspaper Notice: <u>4.16.18</u>
	Sign on Property: <u>4.20.18</u>

Zoning Information

This Property is Zoned "SFR" for Single Family Residential according to the City Manager's Office of Friendswood at 281-996-3250. The following information was obtained.

REGULATION MATRIX - RESIDENTIAL DISTRICTS

Circled letters (letters in parentheses) refer to paragraphs in section 7-Q.3

Yards - Minimum Feet													
	Units per Acre	Lot Area Minimum Square Feet	Lot Width	Front	Rear (a)	Side		Height Maximum Feet (b and c)	Parking Requirement Unit	Zero Lot Lines Y or N	Maximum Lot Coverage		
						Interior (d)	Exterior (Corner Lot)						
												Backing Up to an Abutting Side Yard	Backing Up to an Abutting Rear Yard
SFR Single Family Residential	2.7	11,600	90 A	25 B	25	10 F	25 A	20 C	35	2	No	35%	
SFR Single Family Residential	2.7	15,600	120 A	25 B	25	10	25 B	20 C	40	2	No	35%	
SFR - E Single Family Residential Estate	0.5	87,120	150 A	75	25	25	35	35	40	5	No	20%	
MFR - L Multi Family - Low	6 G	7,260 G	45 G	25 B	25	10 E, I	25 B	20 C	35	2	No	50%	
MFR - M Multi Family - Medium	9	--	--	25 B	0	10 E, I	25 B	20 C	35	2	No	50%	
MFR - H Multi Family - High	12	--	--	25 B	0	10 E, I	25 B	20 C	35	2	No	50%	
MHR Mobile Home	10	--	--	25 B	25	10 I	30	25 B	20	2.5	No	50%	

Zoning Manual 2006
Rev. 10-06

33

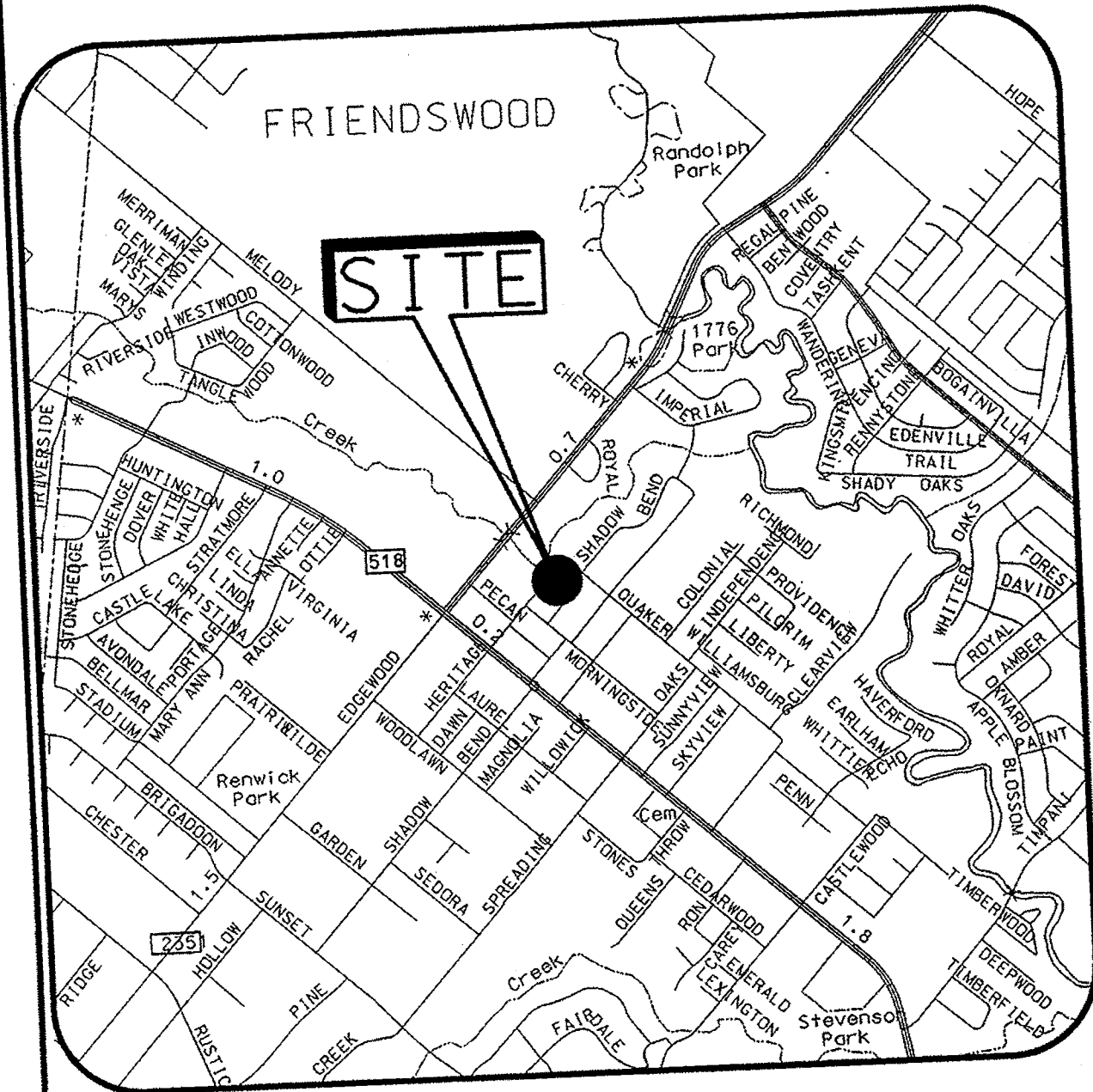
Miscellaneous Notes

- 1.) All field measurements matched record dimensions within the precision requirements of ALTA/ACSM specifications unless otherwise shown.
- 2.) There appeared to be no observable evidence of heavy construction within the past month.
- 3.) We are not aware of changes in street right-of-ways that are adjacent to this property.
- 4.) There appeared to be no signs of this site being used as a solid waste dump, sump, or sanitary landfill.
- 5.) All utilities shown were located by visible, above-ground evidence. We refer you to 1-800-DIG-TESS for location of all utilities prior to excavation.
- 6.) There is no observable evidence of cemetery or burial grounds on subject property.

LEGEND

C = CENTER OF LINE
AC = AIR CONDITIONER
BLDG = BUILDING
BL = BUILDING LINE
CB = CONTROL BOX
CLF = CHAIN LINK FENCE
CO = CLEAN OUT
CONC = CONCRETE
E = EAST
EB = ELECTRIC BOX
EC = EDGE OF CONCRETE
FF = FINISHED FLOOR
FH = FIRE HYDRANT
FND = FOUND
FP = FLAG POLE
GM = GAS METER
GP = GUARD POST
GTR = GUTTER
GR = GUARD RAIL
GUY = GUY WIRE
HCS = HANDICAPPED SIGN
GCCF = GALVESTON COUNTY CLERK'S FILE
GCCD = GALVESTON COUNTY DEED RECORDS
GCCF = GALVESTON COUNTY FIRM CODE
GCCR = GALVESTON COUNTY MAP RECORDS

LA = IRON ROD
LS = LIGHT STANDARD
MB = MAIL BOX
MWW = MANHOLE (WASTE WATER)
NG = NATURAL GROUND
N = NORTH
P.O.B. = POINT OF BEGINNING
PP = POWER POLE
PVM = PAVEMENT
RCP = REINFORCED CONCRETE PIPE
R.O.W. = RIGHT OF WAY
SL = STREET LIGHT
SPLE = SERVICE POLE (ELECTRIC)
S = SOUTH
S.F.T. = SQUARE FEET
SW = SAMPLE WELL
TB = TELEPHONE BOX
TC = TOP OF CURB
TOA = TOP OF ASPHALT
W = WEST
WM = WATER METER
WV = WATER VALVE



LOCATION MAP
(NOT TO SCALE)

FLOOD NOTE:

I have examined the Flood Insurance Rate Map No. 4854680005-E Dated: Sept. 22, 1999, the tract hereby surveyed lies within Zone "X" 500-year and "AE" inside the 100-year floodplain.

NOTE: This statement is based on scaling the location of said survey on the above reference map. This information is to determine flood insurance rates only, and not intended to identify specific flooding conditions.

Schedule B Items

5b Easement for public right-of-way along the Northeast 30 feet as shown on the plat of Friendswood Subdivision recorded in Volume 238, Page 14, and removed to Book 254-A, Page No. 18, in the Office of the County Clerk of Galveston County, Texas. (As plotted on Survey.)

5c. Right-of-way for Utility and Roadway 60 feet wide, granted to the City of Friendswood, by instrument recorded in Volume 2561, Page 159, in the Office of the County Clerk of Galveston County, Texas. (As plotted on Survey.)

5d. Right-of-way for Utility and Easement Agreement dated September 3, 1974, executed by and between Robert E. Gay, Trustee, Autumn Hills Convalescent Centers, Inc., and Fred Walter Camp and wife, Mary Elise Camp, recorded in Volume 2513, Page 449, in the Office of the County Clerk of Galveston County, Texas. (As plotted on Survey.)

5e. 1/2 of all the oil, gas and other minerals, the royalties, bonuses, rentals and all other rights in connection with same are excepted therefrom as the same are set forth in instrument recorded in Volume 597, Page 124, in the Office of the County Clerk of Galveston County, Texas. (This item does affect property, but is not plottable.)

Legal Description

A tract of land out of and being a part of Lot Twelve (12), in Block Two (2) of FRIENDSWOOD SUBDIVISION, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 238, page 14, in the office of the County Clerk of Galveston County, Texas, said tract of land being more fully described as follows:

2,504 acres or 109,089 square feet of land out of Lot 12 Block 2 of Friendswood Subdivision as recorded in Volume 238, Page 14, of the Office of the County Clerk of Galveston County, Texas, and being all of a call 1,9909 acre tract, and a call 3,850 square feet tract as described in a deed to Samuel B. Kelleit, dated December 30, 1995, recorded in Volume 2643, Page 89 of the Office of the County Clerk, Galveston County, Texas, (bearings based on Volume 2643, Page 89) said 2,504 acres being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8" iron rod with cap set for the most Northerly corner of said call 1.9909 acre tract, same being the most North corner of said Lot 12;

THENCE South 45 deg. 00 min. 00 sec. East, along the Northeasterly line of said Lot 12, a distance of 363.00 feet to an "X" in concrete found for corner;

THENCE South 45 deg. 00 min. 00 sec. West, along the Southeasterly line of said call 1.9909 acre tract, passing at a distance of 30.00 feet a point in the Southwesterly line of Quaker Drive (60.00 foot wide right-of-way) recorded in Volume 238, Page 14 of the office of the County Clerk Galveston County, Texas, and continuing a total distance of 408.00 feet to a "V" in concrete found for corner;

THENCE North 45 deg. 00 min. 00 sec. West, along the Southwesterly line of said call 1.9909 acre tract, a distance of 108.00 feet to a 5/8" inch iron rod with cap set for corner;

THENCE North 45 deg. 00 min. 00 sec. East, along the Northwesterly line of said call 1.9909 acre tract, a distance of 153.00 feet to a 5/8" iron rod with cap set for the most South corner of said call 3,850 square feet tract;

THENCE North 45 deg. 00 min. 00 sec. West, a distance of 255.00 feet to an established point for corner;

THENCE North 45 deg. 00 min. 00 sec. East, along the Northwesterly line of said 3,850 square feet tract, and the call 1.9909 acre tract passing at a distance of 255.00 to the PLACE OF BEGINNING and containing 2,504 acres (109,089 square feet) of land.

NOTE: THIS DESCRIPTION DESCRIBES ALL THE PROPERTY DESCRIBED IN THE LEGAL DESCRIPTION SUPPLIED IN TITLE COMMITMENT IDENTIFIED AS CHICAGO TITLE INSURANCE COMPANY'S PRO FORMA POLICY G.F. No. 09393458B

ALTA/ACSM Land Title Survey

213 Heritage, Friendswood,
Galveston County, Texas 77546
FHA Project No. 114-22029

I hereby certify to the U. S. Department of Housing and Urban Development (HUD): Chicago Title Insurance Company, Red Mortgage Capital, Inc. and Friendswood Realty, LLC, and to their successors and assigns that:

(a) I, or under my direct supervision, made an on the ground survey per record description of the land shown hereon located in Friendswood, Galveston County, Texas on June 30, 2009; last revised April 13, 2010, and it and this maps were made in accordance with the HUD Survey Instructions for Health Care Facilities Insured Under Section 232 LEAN Programs dated December 2008 and the requirements for an ALTA/ACSM Land Title Survey, as defined in the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys dated 2005."

(b) To the best of my knowledge, belief and information, except as shown hereon: There are no encroachments either way across property lines; title lines and lines of actual possession are the same; and the premises are subject to a 100/500 year return frequency flood hazard, and such flood condition is shown on the Federal Insurance Rate Map, Community Panel No. 4854680005-E.

Allen E. Munz
Registered Land Surveyor No. 1855
in the State of Texas
Date of Survey 6-30-09
Date of Last Revision: 4-13-10

R.W. Patrick & Associates, Inc.
519 Wisconsin Avenue
South Houston, Texas 77587
(713) 941-4812 Ext. 307
(713) 941-4817
www.rwpattick.com



JOB NO. S-76-09	SCALE N.T.S.	DRAWN BY FF	CHECKED BY AM	SHEET 1 OF 2
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R. W. PATRICK & ASSOCIATES, INC.
519 WISCONSIN (713) 941-4812 - www.rwpattick.com SOUTH HOUSTON, TEXAS

EMPIRIO GARZA
BOOK 1943, PAGE 283 GCDR

N 45°00'00" E - 255.00'

ESTABLISHED POINT
UNABLE TO SET
DUE TO OPEN DITCH

100 YEAR FLOOD
PLAIN CONTOUR
AS OF 8-24-09

EAST HERITAGE
60' ROADWAY & UTILITY R.O.W. ESMT.
VOL. 2561 - PG. 159 GCDR
PUBLIC ROADWAY
(CONCRETE PAVEMENT)

CONC. DRIVE

POINT OF BEGINNING
SET 3/4" I.R. W/ CAP

SCALE : 1" = 20'
0 10 20 40

ROBERT E. GAY, TRUSTEE
BOOK 2747, PAGE 348 GCDR &
GCCF No. 2005015555

5C
75' ROADWAY & UTILITY R.O.W. ESMT.
VOL. 2515 - PG. 449 GCDR
ASPHALT PAVEMENT

QUAKER DRIVE
(CALLED 60' PUBLIC R.O.W.)
S 45°00'00" E - 363.00'

BENCH MARK
CITY OF FRIENDSWOOD - MON. E-459
ELEVATION - 26.34' (NGVD 1929) (ADJ. 1978)
USGS Bench mark disk (PID - AW1002), 0.25 miles
SW along F.M. 528 from the intersection of F.M.
518 in Friendswood, thence 0.55 miles NW along
Sunset Drive, thence 0.05 miles SW along
Briarwood Avenue to the mark on the right, just
before a one story brick and frame house on the
outside of a pasture fence, 46.0 feet NW of the
center of the avenue, 13.2 feet NNW of utility pole
No. F121750A, 1.7 feet SE of a barbed wire fence
The mark is 1 foot SE from a witness post. The
mark is about level with the avenue.

FRIENDSWOOD
HEALTH CARE CENTER
SIGN

N. SHADOW BEND

PARKING SCHEDULE (AS STRIPED)
49 Regular Spaces
01 Handicapped Spaces

SURVEY OF:
2.504 Acres
109,089 Sq. Ft.

1-STORY BRICK BLDG
(APPROX. 27,398 SQ. FT.)
(APPROX. 8.6' HIGH)
(FINISHED FLOOR AS NOTED)

WILLIAM &
CATHERINE WHIPKEY
GCCF No. 9010898

SHADY NOCK RD.
ASPHALT PAVEMENT

SET 3/4" I.R.
W/ CAP

N 45°00'00" E - 153.00'

S 45°00'00" W - 408.00'

HSU LIVING TRUST
GCCF No. 2001018360

JOB NO. S-76-09	SCALE 1" = 20'	DRAWN BY FF	CHECKED BY AM	SHEET 2 OF 2
R. W. PATRICK & ASSOCIATES, INC. 519 WISCONSIN (713) 941-4812 - www.rwpattick.com SOUTH HOUSTON, TEXAS				

**SPECIAL WARRANTY DEED**

0939345BB

THE STATE OF TEXAS)

)

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF GALVESTON)

)

THAT **HSMTX/FRIENDSWOOD, LLC**, a Texas limited liability company, by and through it duly authorized officers, hereinafter referred to as **Grantor**, whether one or more, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration in hand paid by the Grantee herein, the receipt and sufficiency of which is hereby expressly acknowledged, has GRANTED, SOLD and CONVEYED, and by these presents does hereby GRANT, SELL and CONVEY unto **FRIENDSWOOD REALTY, LLC**, a Tennessee limited liability company, herein referred to as **Grantee**, whether one or more, the following described realty property situated in Galveston County, Texas, to-wit:

A tract of land out of and being a part of Lot Twelve (12), in Block Two (2) of FRIENDSWOOD SUBDIVISION, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 238, page 14, in the office of the County Clerk of Galveston County, Texas, said tract of land being more fully described as follows:

2.504 acres or 109,089 square feet of land out of Lot 12, Block 2 of Friendswood Subdivision, as recorded in Volume 238, page 14, of the Office of the County Clerk of Galveston County, Texas, and being all of a call 1.9909 acre tract, and a call 3,850 square feet tract as described in a deed to Samuel B. Kellett, dated December 30, 1995, recorded in Volume 2643, page 89 of the Office of the County Clerk, Galveston County, Texas (bearings based on Volume 2643, page 89) said 2.504 acres being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 iron rod with cap set for the most Northerly corner of said call 1.9909 acre tract, same being the most North corner of said Lot 12;

THENCE South 45 deg. 00 min. 00 sec. East, along the Northeasterly line of said Lot 12, a distance of 363.00 feet to an "X" in concrete found for corner;

THENCE South 45 deg. 00 min. 00 sec. West, along the Southeasterly line of said call 1.9909 acre tract, passing at a distance of 30.00 feet a point in the Southwesterly line of Quaker Drive (60.00 foot wide right-of-way) recorded in Volume 238, page 14 of the Office of the County Clerk, Galveston County, Texas, and continuing a total distance of 408.00 feet to a "V" in concrete found for corner;

THENCE North 45 deg. 00 min. 00 sec. West, along the Southwesterly line of said call 1.9909 acre tract, a distance of 108.00 feet to a 5/8 inch rod with cap set for corner;

Return to: R. L. Buckalew
AmeriPoint Title
617 Caroline
Houston, TX 77002

THENCE North 45 deg. 00 min. 00 sec. East, along the Northwesterly line of said call 1.9909 acre tract, a distance of 153.00 feet to a 5/8 iron rod with cap set for the most South corner of said call 3,850 square feet tract;

THENCE North 45 deg. 00 min. 00 sec. West, a distance of 255.00 feet to an established point for corner;

THENCE North 45 deg. 00 min. 00 sec. East, along the Northwesterly line of said 3,850 square feet tract, and the call 1.9909 acre tract passing at a distance of 255.00 to the PLACE OF BEGINNING and containing 2.504 acres (109,089 square feet) of land.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Grantee, and the Grantee's successors and assigns forever; and Grantor does hereby bind Grantor, and Grantor's successor and assigns to WARRANT AND FOREVER DEFEND all and singular the said premises unto the Grantee, and Grantee's successors and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through, or under Grantor, but not otherwise.

This conveyance is made and accepted subject to all restrictions, easements, rights of way, all oil, gas and other mineral reservations and royalty interests, and all oil, gas and other mineral leases, maintenance and assessment charges and any liens securing the same, set back line, zoning laws, ordinances of municipal and other governmental authorities, and all covenants and agreements, if any, relating to the hereinabove described property, but only to the extent the same are in force and effect and shown of record in the office of the County Clerk of the County in which the herein conveyed property is located.

(Remainder of Page Intentionally Left Blank)

EXECUTED this 30th day of July, 2010.

HSMTX/Friendswood, LLC, a Texas
limited liability company

By: Eric P Sweeney
Name printed: Eric P Sweeney
Title: President

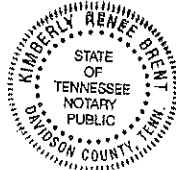
THE STATE OF Tennessee)
COUNTY OF Davidson)

This instrument was acknowledged before me on the 30 day of July, 2010, by
Eric P. Sweeney, the President of
HSMTX/FRIENDSWOOD, LLC, a Texas limited liability company, for and on behalf of said
limited liability company.

Kimberly Brent
NOTARY PUBLIC

My Comm. Expires:

1/9/2012



NOTARY PUBLIC
AT LARGE
Kimberly Renee Brent
My Commission Expires
January 9, 2012
STATE OF TENNESSEE

Address of Grantee:
Friendswood Realty, LLC
206 Fortress Blvd.
Murfreesboro, TN 37218

Prepared in the Law Office of:
Scott W. Fielding, Attorney
SHERRARD & ROE PLC
424 Church Street, Suite 2000
Nashville, Tennessee 37219
(615) 742-4200

EXHIBIT "A"

A tract of land out of and being a part of Lot Twelve* (12), in Block Two (2) of FRIENDSWOOD SUBDIVISION, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 238, page 14, in the office of the County Clerk of Galveston County, Texas, said tract of land being more fully described as follows:

2.504 acres or 109,089 square feet of land out of Lot 12 Block 2 of Friendswood Subdivision as recorded in Volume 238, Page 14, of the Office of the County Clerk of Galveston County, Texas, and being all of a call 1.9909 acre tract, and a call 3,850 square feet tract as described in a deed to Samuel B. Kellett, dated December 30, 1995, recorded in Volume 2643, Page 89 of the Office of the County Clerk, Galveston County, Texas, (bearings based on Volume 2643, Page 89) said 2.504 acres being more particularly described by metes and bounds as follows:

BEGINNING at a $\frac{5}{8}$ inch iron rod with cap set for the most Northerly corner of said call 1.9909 acre tract, same being the most North corner of said Lot 12;

THENCE South 45 deg. 00 min. 00 sec. East, along the Northeasterly line of said Lot 12, a distance of 363.00 feet to an "X" in concrete found for corner;

THENCE South 45 deg. 00 min. 00 sec. West, along the Southeasterly line of said call 1.9909 acre tract, passing at a distance of 30.00 feet a point in the Southwesterly line of Quoker Drive (60.00 foot wide right-of-way) recorded in Volume 238, Page 14 of the office of the County Clerk Galveston County, Texas, and continuing a total distance of 408.00 feet to a "V" in concrete found for corner;

THENCE North 45 deg. 00 min. 00 sec. West, along the Southwesterly line of said call 1.9909 acre tract, a distance of 108.00 feet to a $\frac{5}{8}$ inch iron rod with cap set for corner;

THENCE North 45 deg. 00 min. 00 sec. East, along the Northwesterly line of said call 1.9909 acre tract, a distance of 153.00 feet to a $\frac{5}{8}$ inch iron rod with cap set for the most South corner of said call 3,850 square feet tract;

THENCE North 45 deg. 00 min. 00 sec. West, a distance of 255.00 feet to an established point for corner;

THENCE North 45 deg. 00 min. 00 sec. East, along the Northwesterly line of said 3,850 square feet tract, and the call 1.9909 acre tract passing at a distance of 255.00 to the PLACE OF BEGINNING and containing 2.504 acres (109,089 square feet) of land.

NOTE: The Company does not represent
that the above acreage or square
footage calculations are correct.

FILED AND RECORDED



OFFICIAL PUBLIC RECORDS

Mary Ann Daigle

2010040672

August 17, 2010 10:17:16 AM

FEE: \$28.00

Mary Ann Daigle, County Clerk
Galveston County, TEXAS



Disclaimer: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Gov. C. §2501.102. The user is encouraged to independently verify all information contained in this product. The City of Friendswood makes no representation or warranty as to the accuracy of this product or to its fitness for a particular purpose. The user: (1) accepts the product AS IS, WITH ALL FAULTS; (2) assumes all responsibility for the use thereof; and (3) releases the City of Friendswood from any damage, loss, or liability arising from such use.

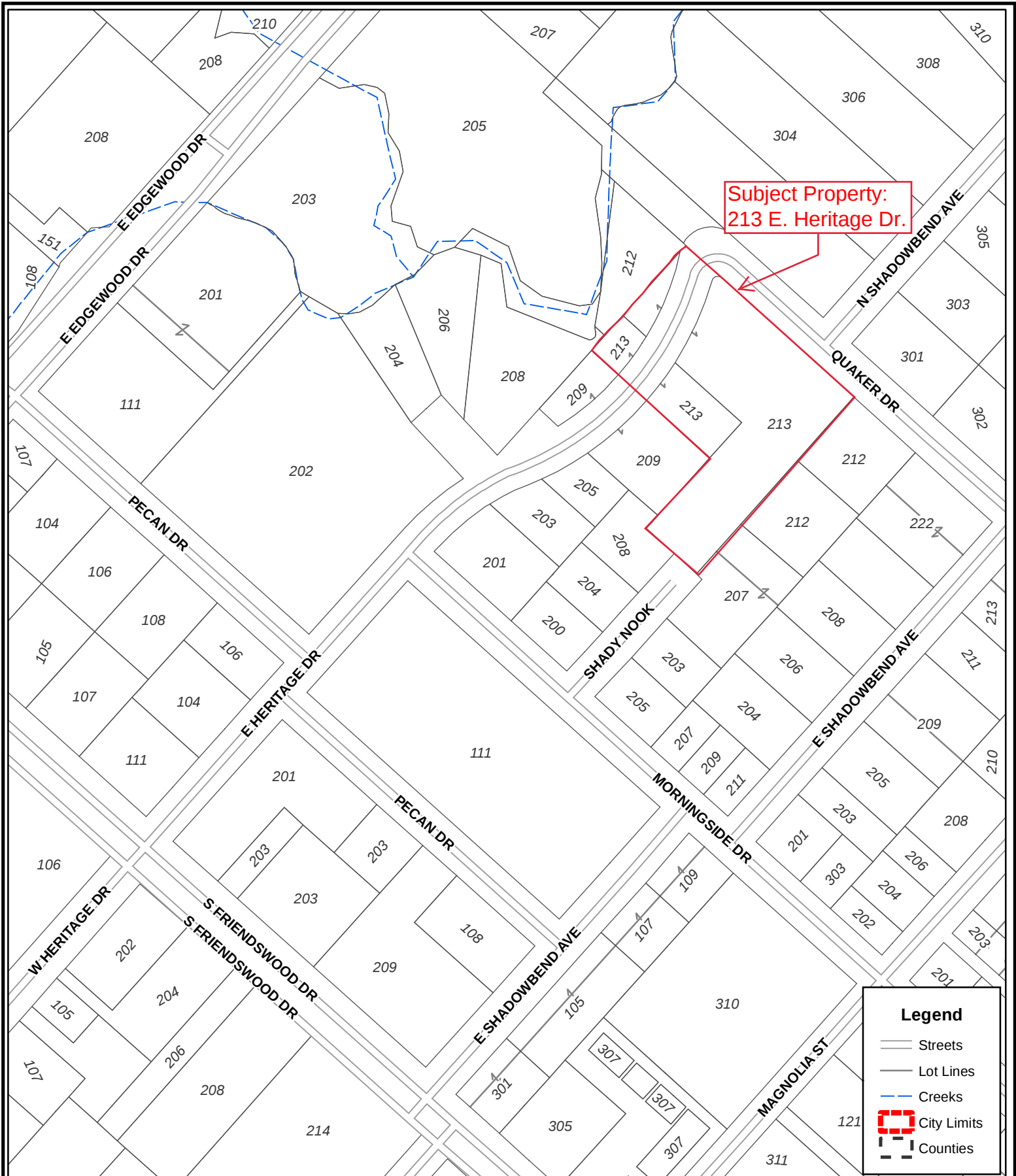


City of Friendswood
910 South Friendswood Drive
Friendswood, Texas 77546
(281) 996-3200
www.ci.friendswood.tx.us

Friendswood GIS Mapping



1" = 63'



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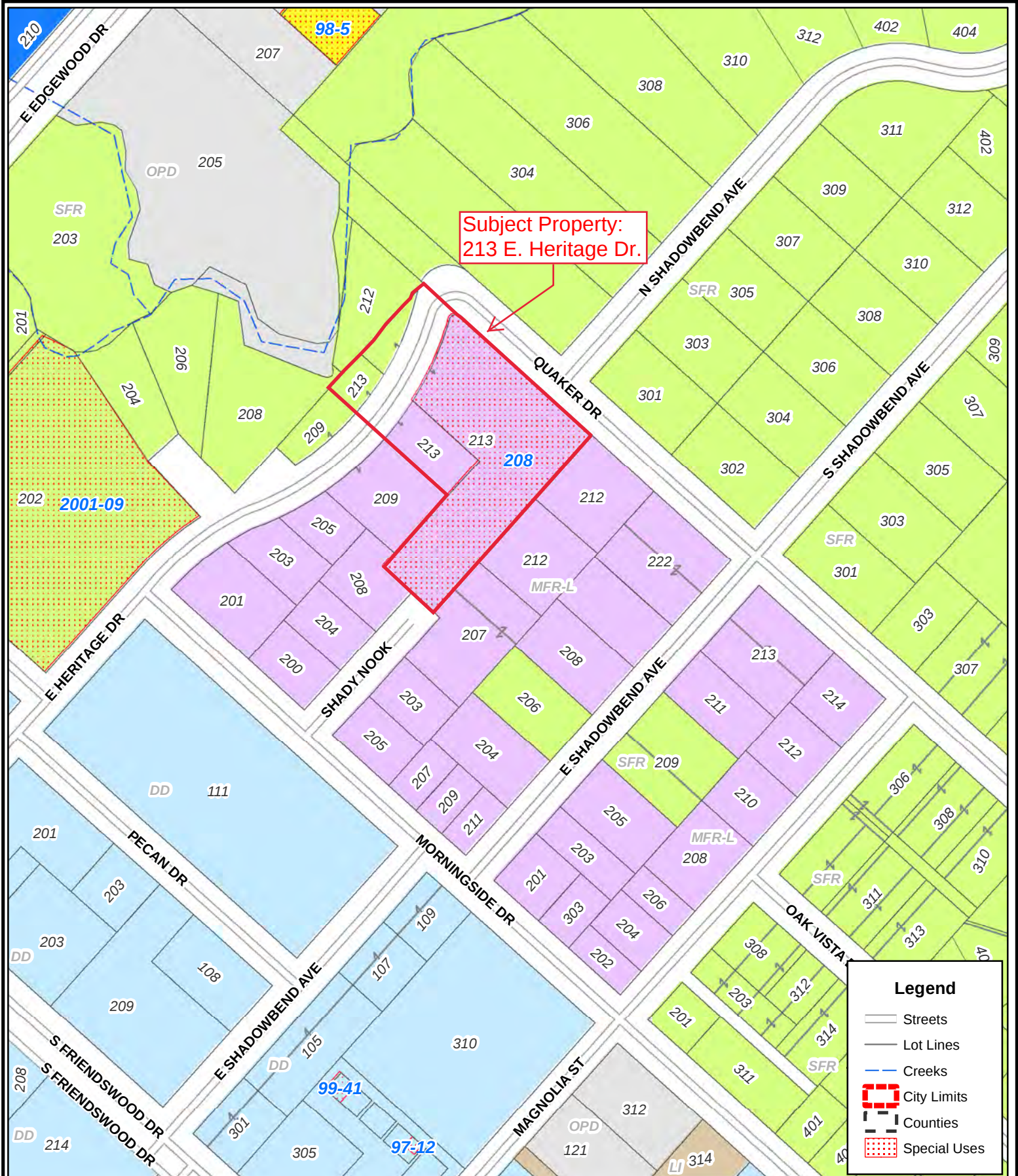


City of Friendswood
 910 South Friendswood Drive
 Friendswood, Texas 77546
 (281) 996-3200
www.ci.friendswood.tx.us

Friendswood GIS Mapping



1" = 200'



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Friendswood GIS Mapping



1" = 200'

ORDINANCE NO. 208

AN ORDINANCE CHANGING THE ZONING OF CERTAIN PROPERTY FROM R-2 TO SPECIFIC USE (INSTITUTION FOR THE AGED); CHANGING THE ZONING MAP ACCORDINGLY; COMPLYING WITH ORDINANCE 174 OF THE CITY OF FRIENDSWOOD KNOWN AS THE ZONING ORDINANCE; AND SETTING FORTH CERTAIN CONDITIONS RELATIVE TO REZONING

WHEREAS, the City Council finds that the Friendswood Zoning Commission conducted a public hearing on the 8th day of November, 1973 to consider the question of granting a Specific Use Permit on the hereinafter described tract of land from R-2 to Specific Use (Institution for the Aged); and

WHEREAS the hearing was duly called as provided by the laws of the State of Texas and Ordinance No. 174 of the City of Friendswood, and at such hearing all persons attending were allowed to be heard on the question of whether or not the rezoning of the tract from R-2 to Specific Use would affect the public health, safety, morals, convenience or general welfare and whether or not such rezoning would violate the rights of any interested persons; and

WHEREAS, as a result of the said public hearing and recommendation from the Friendswood Zoning Commission, the City Council finds that such rezoning is not detrimental to the community based on compliance by the owner with certain conditions, to wit:

1. There is to be no access from Shady Nook Street.
2. A sixty (60) foot right-of-way for Heritage Drive shall be deeded to the City.
3. A drainage culvert shall be installed, covered, and blacktopped on Quaker Drive according to the City Engineer's specifications. The entire cost of the culvert and blacktop is to be borne by the Autumn Hills Corporation.
4. A screening hedge is to be planted between the parking area and the Fred Camp property.
5. A landscaped greenery buffer approximately 45 feet by 108 feet is to be maintained abutting Shady Nook.
6. Drainage of the back yard area and parking area is to be approved by the City Engineer with the City to pay for the difference in culvert size required to take the drainage off Shady Nook.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FRIENDSWOOD, STATE OF TEXAS:

Section 1. That the zoning of the following described property be and the same is hereby changed from R-2 to Specific Use (Institution for

the Aged) within the meaning of the Zoning Ordinance, and on compliance with conditions listed hereinabove:

Being a 1.815 acre tract of land out of Lot 12, Block 2, Friendswood Subdivision in the J. R. Williams or Sarah McKissick League, situated in Galveston County, Texas, according to a map or plat thereof recorded in Book 254-4, Page 4 in the map records in the office of the County Clerk of Galveston County, Texas, and being more particularly described by metes and bounds as follow to wit:

BEGINNING at the intersection of the Northwesterly line of Lot 12 in Block 2 of said Friendswood Subdivision and the Southwesterly line of Quaker Drive;

THENCE S 45° E and along the Southwesterly line of Quaker Drive a distance of 363.00 feet to a point for corner;

THENCE S 45° W a distance of 378.00 feet to a point for corner;

THENCE N 45° W a distance of 108.00 feet to a point for corner;

THENCE N 45° E a distance of 228.00 feet to a point for corner;

THENCE N 45° W a distance of 255.00 feet to a point for Corner;

THENCE N 45° E a distance of 150.00 feet to the place of beginning.

Containing 1.815 acres of land.

Section 2. That the official zoning map of the City be revised to show the tract rezoned from R-2 to Specific Use (Institution for the Aged) and the date of final passage of this ordinance.

Section 3. That compliance with the abovementioned conditions shall be a precedent to issuance of a Certificate of Zoning Compliance by the City of Friendswood.

Section 4. This ordinance shall in no wise reduce, amend, supplement or change any provision of any ordinance of the City of Friendswood other than to accomplish the rezoning of the tract described in Section 1. herein from R-2 to Specific Use and impose the findings and limitations ordained herein.

PASSED FOR FIRST READING this 17th day of December, 1973

PASSED FOR SECOND READING this 7th day of January, 1974

PASSED, APPROVED AND FINALLY ADOPTED this 21st day of January,

ATTEST:

Bobbie C. Henry
City Secretary

Ralph L. Lowe
Mayor

APPROVED AS TO FORM:

City Attorney

bh

Recd. to ROW received and filed Nov. 1974
BCZL

CORRESPONDANCE

planRVW

PLANNING-RESEARCH-ARCHITECTURAL DESIGN

704 Third Street, League City TX 77573

Tel: 281.455.0987

TO: Ms. Becky Summers
Development Coordinator
CITY OF Friendswood
910 South Friendswood Drive
Friendswood, TX 77646

DATE: March 26, 2018

RE: **Application to Change Zoning from SUP to PUD**
FRIENDSWOOD HEALTHCARE – SENIOR CARE FACILITY
2.504 Acre Tract on East Heritage
1809 East Heritage, Friendswood, TX 77646

PROJECT NO.: 1808

Dear Ms. Summers

Attached for your review is the PUD application package for the above referenced property. The property is currently zoned under a SUP. A request is being made to change the zoning for the subject tract to PUD (Planned Unit Development) to allow an overall master planning of a Skilled Nursing Facility on a 2.504 Acre Tract on East Heritage, Friendswood, Texas.

The Facility will consist of approximately 49 unit Skilled Nursing Facility from traditional assisted living to advanced memory care. The entire facility is housed in one building, on grade.

Residents will have access to a library, salon, lounge areas, dining halls as well as daily re-habilitation and specialized therapy. Breakfast, lunch and dinner will be provided in one of the two dining halls planned by the onsite nutritionist, and prepared and served by the chef and kitchen staff. Scheduled trips, indoor and outdoor activities will coordinated by the Activities Director. There are multiple units to choose from within the facility.

Total Units:

Proposed Rooms – 2018 Floor Plan

Memory Care (semi-private):	12 rooms / 24 beds
100 hall (semi-private):	16 rooms / 32 beds
200 hall (semi private):	07 rooms / 14 beds
Private wing:	14 rooms / 14 beds
Total:	49 rooms / 84 beds

Staff Ratio:

Center staffs 3 Shifts
Minimum Staffing Ratio*

1st and 2nd shift (day)
1 Licensed nurse to 20 patients
1 C.N.A. to 10 patients

3rd shift (night)
1 Licensed nurse to 30 patients
1 C.N.A. to 20 patients

CORRESPONDANCE

The facility is surrounded by mature landscaping to provide a relaxing and positive backdrop to all of the facility and allows numerous outdoor activities.

With this facility licensed as a "Skilled Nursing Facility" there will be a Director, a Director of Nursing, a M.D.S. Director, and a Dietician, as well as support staff, and other rehabilitation, and therapy staff.

Repairs

All walls, finishes, flooring, electric, mechanical, plumbing, and security systems and fixtures that were affected by the recent flooding will be replaced and repaired as required. Windows although not directly affected by the flooding will be replaced to meet current energy code in both insulation and reflectivity.

Fire and Life Safety

Existing fire and sprinkler system will be inspected, modified and repaired to meet all fire, sprinkler and life safety codes. Generators will also be upgraded and replaced to provide required power requirements for emergency use.

Security

The entire facility will utilize state of the art systems which both monitor and protect residents. Every resident will have a bracelet system which tracks their location, and prevents them from accessing certain areas gaining access to egress doors without notifying staff.

Traffic

We will gladly work with staff to provide a more safe, and logical means of egress throughout the site. Since the access is both public and private we look forward creating a positive solution.

Landscaping

The site has many mature trees and shrubs. All desirable landscaping is to remain. Some landscaping features will be pruned for both aesthetic and practical reasons.

Drainage

Storm water runoff from the development will drain into the current designed and utilized systems.

Water/Sewer

The proposed development will utilize the current water and sewer lines, taps, meters, grease traps, etc.

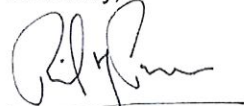
Project Phasing

The project will be revitalized in one major phase in order to eliminate stress on any residents.

Attached contract for EMS as well as Evacuation services.

We appreciate your attention with this matter and should you have any questions, please contact me at 281.455.0987.

Sincerely,



planRVW

03.26.18

Date

FRIENDSWOOD
HEALTH CARE CENTER

PROJECT DESCRIPTION

PROPOSED RENOVATION AND REPAIR OF A EXISTING 1-STORY SLAB-ON-GRADE
S.N.F. FACILITY, BRINGING IT UP TO CURRENT BUILDING CODES WITH PARKING,
UTILIZING EXISTING LANDSCAPING, CIVIL WORK, AND DRAINAGE.

213 E. HERITAGE DRIVE
FRIENDSWOOD, TEXAS

CITY OF FRIENDSWOOD, TEXAS

ARCHITECTURAL

- A0.0 – COVER SHEET WITH SHEET NO. & KEY MAP
- A0.1 – CODES, FIXT. COUNTS, GEN. NOTES & STDS.
- A1.1 – ARCHITECTURAL SITE & PAVING PLAN
- A1.2 – PHOTOMETRICS FIRE PLAN
- A2.1 – FLOOR PLAN, PLAN NOTES & ROOF PLAN
- A2.2 – FLOOR PLAN, PLAN NOTES & ROOF PLAN
- A2.3 – FLOOR PLAN, PLAN NOTES & ROOF PLAN
- A2.4 – FLOOR PLAN, PLAN NOTES & ROOF PLAN
- A3.1 – BUILDING ELEVATIONS & ELEV. DETAILS

■ PUB/SD 35%	03.26.18
□ DD 65%	0
□ CD 95%	0
□ PERMIT	0
△ REVISION 1	0
△ REVISION 2	0
△ REVISION 3	0
△ REVISION 4	0

PlanRVW.com

DESIGN, PLANNING, PERMITTING,
CODE REVIEW, DESIGN/BUILD.

281.455.0887 info@planrvw.com

FRIENDSWOOD HEALTH CARE CENTER
213 E. HERITAGE DRIVE FRIENDSWOOD, TEXAS

4/09/18

Planning

Written dimensions on these drawings shall have precedence over scale dimensions. Contractors, Sub Contractors, and vendors shall be responsible for all dimensions and conditions on this job and this office must be notified of any variation from the dimensions and conditions shown on these drawings.

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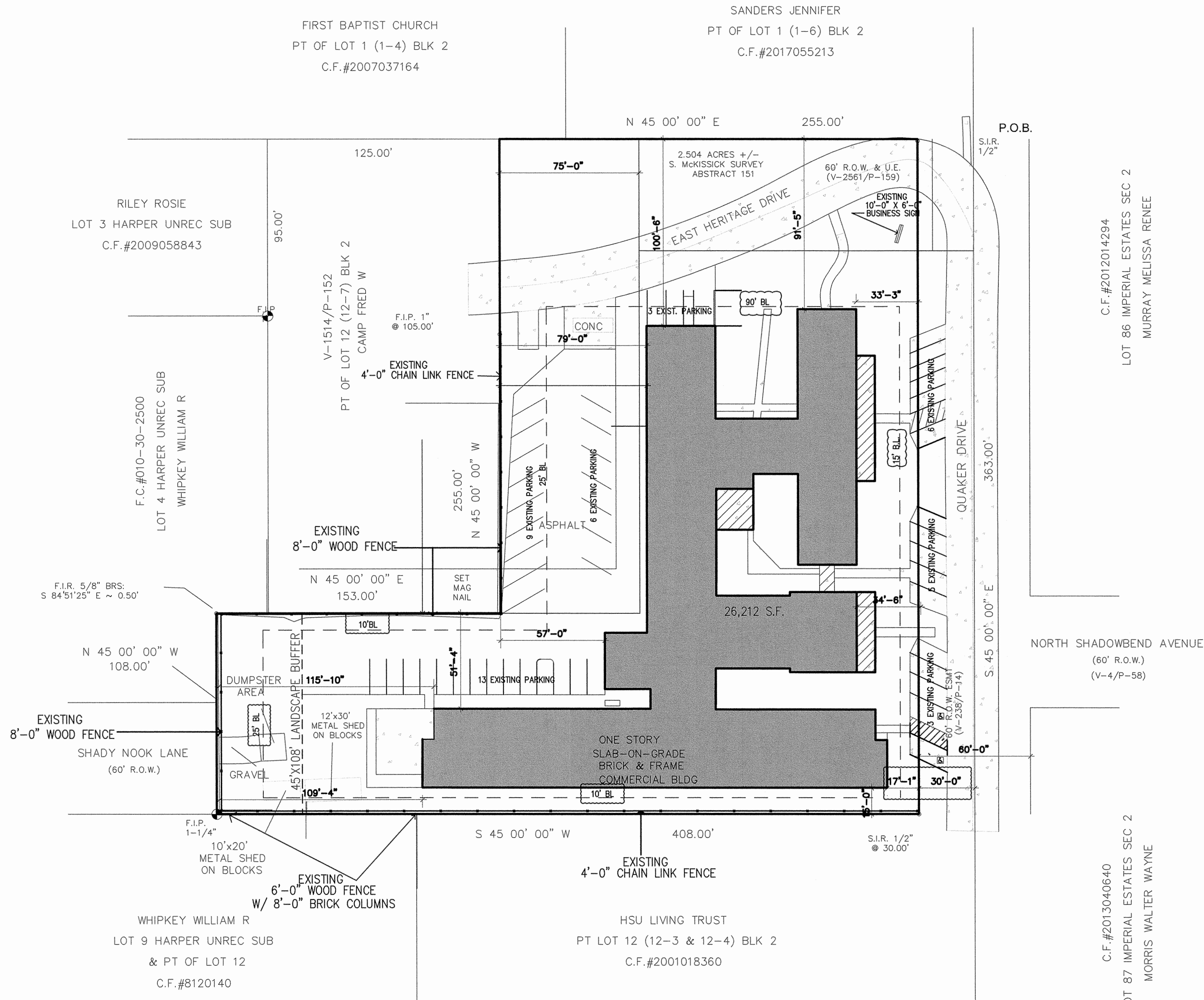
DWG. NAME: COVER SHEET	
A0.0	
PROJECT: 1808 213 E HERITAGE	DRAWN: LIC
FILE: Friendswood Healthcare PUB.doc	REVISION: RMP

02 DRAWING INDEX

01 KEY MAP

8.1008 233 BRETAN Friendswood HealthCare PUD SITE PLAN ARE INFORMATION AND DATA CONTAINED IN THIS DRAWING ARE STRICTLY CONFIDENTIAL AND ARE SUPPLIED ON THE UNDERSTANDING THAT THEY WILL BE HELD CONFIDENTIALLY & NOT REPRODUCED, COPIED OR DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF PLANR.VW, LLC

01 SITE DEVELOPMENT PLAN



1" = 40.0'

KEY NOTES

SITE NOTES

SD PUD 35%	03.26.18
DD 65%	0
CD 95%	0
PERMIT	0
REVISION 1	0
REVISION 2	04.12.18
REVISION 3	04.19.18
REVISION 4	0

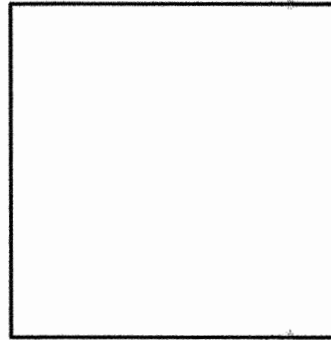
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DESIGN, PLANNING, PERMITTING,
CODE REVIEW, DESIGN/BUILD.

281.455.0987 info@planrvw.com

FRIENDSWOOD HEALTH CARE CENTER

213 E. HERITAGE DRIVE FRIENDSWOOD, TEXAS

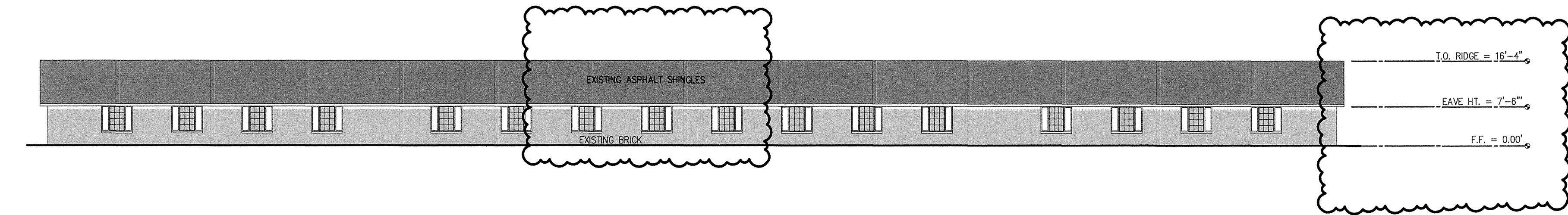


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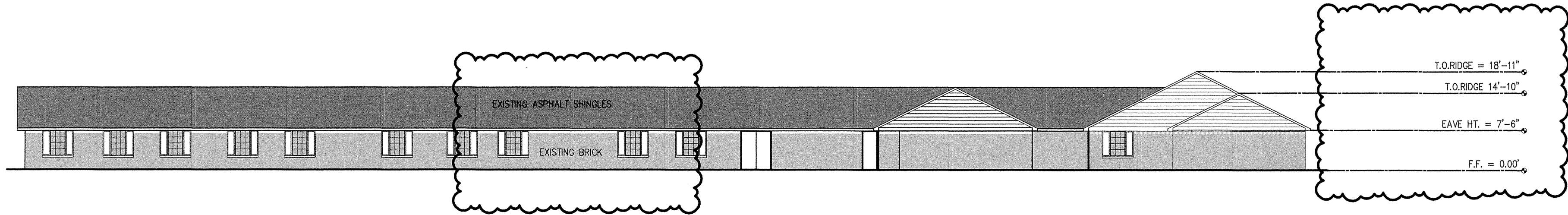
DWG. NAME:	SITE PLAN
PROJECT:	FRIENDSWOOD HEALTH CARE CENTER
FILE:	FRIENDSWOOD HEALTH CARE CENTER - RVP
DATE:	04.19.18
BY:	RVP
CHECKED BY:	
DATE:	

E:\1808 213 E HERITAGE\Friendswood Healthcare P18.doc
INFORMATION AND DATA CONTAINED IN THIS DRAWING ARE STRICTLY CONFIDENTIAL AND ARE SUPPLIED ON THE UNDERSTANDING THAT THEY WILL BE HELD CONFIDENTIALLY & NOT REPRODUCED, COPIED OR DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF PLAN REVIEW, LLC



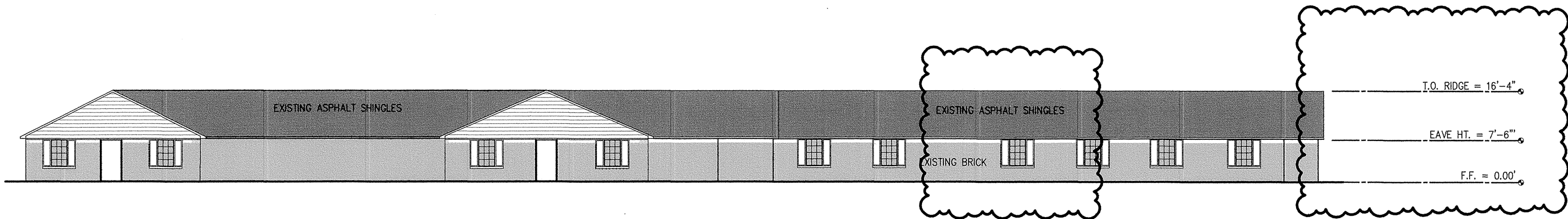
04 WEST ELEVATION

1/16" = 1'-0"



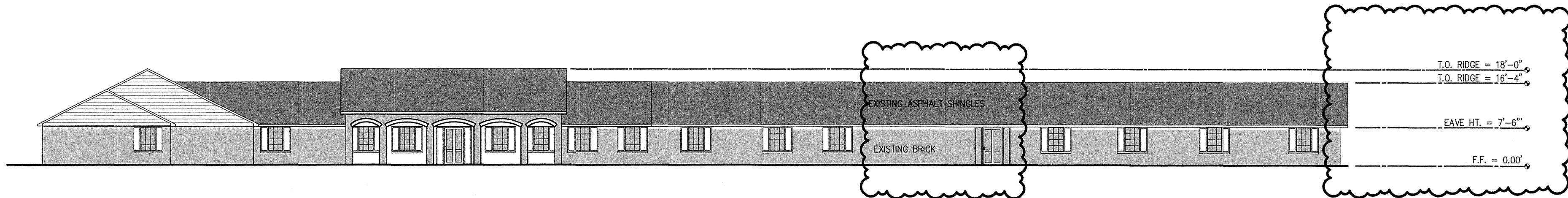
03 SOUTH ELEVATION

1/16" = 1'-0"



02 EAST ELEVATION

1/16" = 1'-0"



01 SOUTH ELEVATION

1/16" = 1'-0"

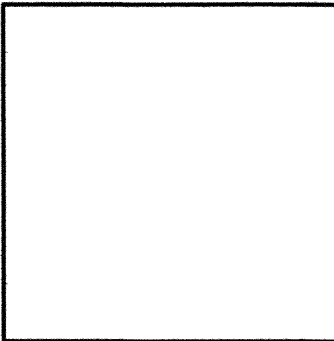
KEY NOTES

ELEV. NOTES

■ PLO/SD SET	03.26.18
□ 00 65%	0
□ 00 95%	0
□ PERMIT	0
△ REVISION 1	0
△ REVISION 2	0
△ REVISION 3	0
△ REVISION 4	0

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281.455.0887 info@planrvw.com

FRIENDSWOOD HEALTH CARE CENTER
213 E. HERITAGE DRIVE, FRIENDSWOOD, TEXAS

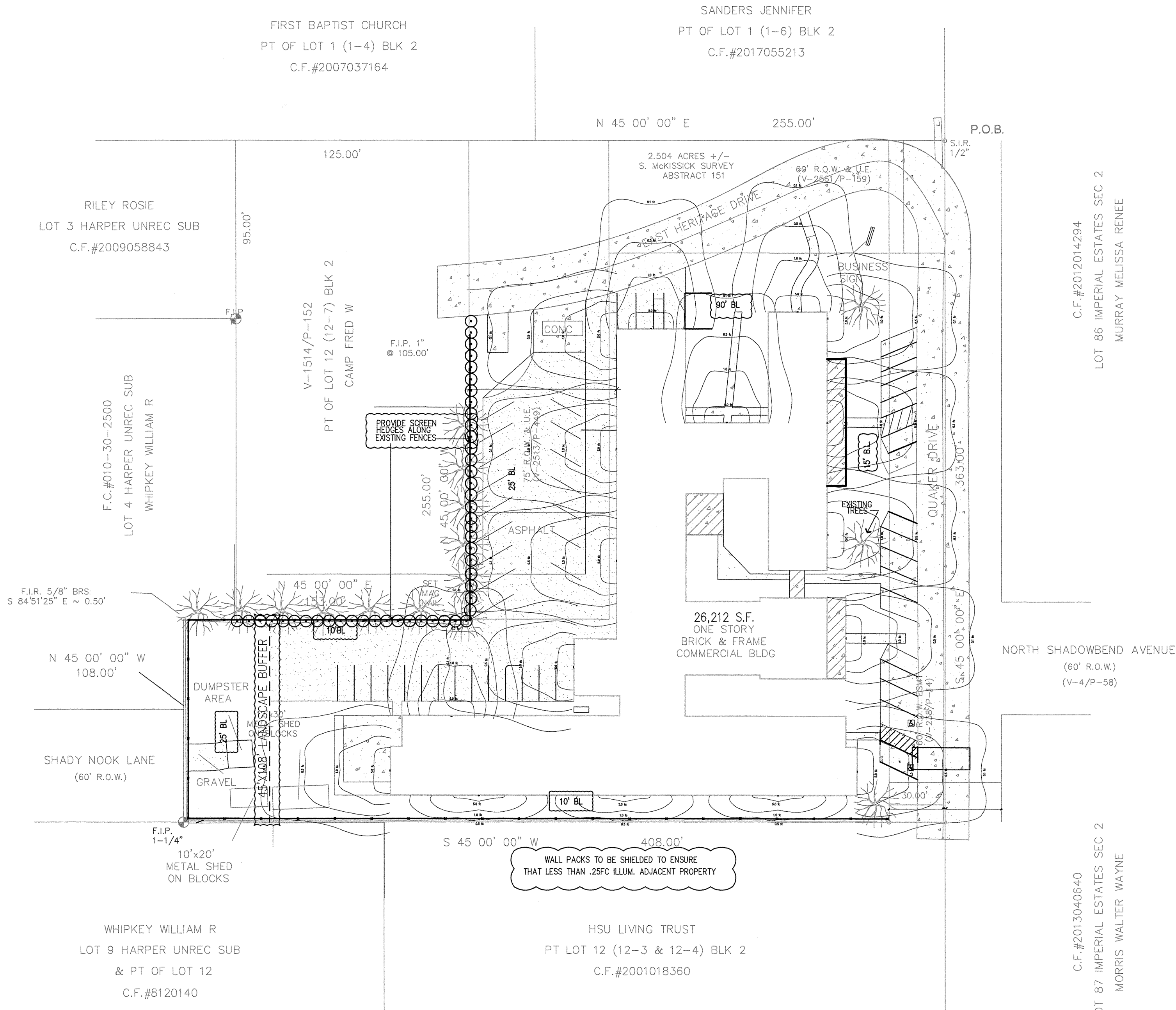


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DWG. NAME: ELEVATION PLANS	
A3.1	
PROJECT: 1808 213 E HERITAGE	DRAWN: LG
FILE: Friendswood Healthcare P18.doc	VER: RMP

R:\108 213 HERITAGE\Friendswood Healthcare PUD SITE PLAN.dwg
INFORMATION AND DATA CONTAINED IN THIS DRAWING ARE STRICTLY CONFIDENTIAL AND ARE SUPPLIED ON THE UNDERSTANDING THAT THEY WILL BE HELD CONFIDENTIALLY & NOT REPRODUCED, COPIED OR DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF PLAN REVIEW, LLC

01 PHOTOMETRICS PLAN



KEY NOTES

SITE NOTES

SD PUD 35%	03.26.18
DD 65%	0
CD 95%	0
PERMT	0
REVISION 1	0
REVISION 2	04.12.18
REVISION 3	0
REVISION 4	0

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DESIGN, PLANNING, PERMITTING,
CODE REVIEW, DESIGN/BUILD.

281.455.0987 info@planrvw.com

FRIENDSWOOD HEALTH CARE CENTER

213 E. HERITAGE DRIVE FRIENDSWOOD, TEXAS

Written dimensions on these drawings shall have precedence over scale dimensions. Contractors, Sub-Contractors and vendors shall be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown on these drawings.

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DWG. NAME: PHOTOMETRICS PLAN	
A1.2	
PROJECT: FRIENDSWOOD HEALTH CARE CENTER	DRAWN: LC
FILE: FRIENDSWOOD HEALTHCARE CENTER	REV: RMP

PROVIDER AMBULANCE AGREEMENT

As stated herein, **FMR, Inc.**, headquarter 4625 North Freeway # 213, Houston, Texas, 77022 hereinafter referred to as "**FMR, Inc.**", and **Health Services Management of Texas, LLC** hereinafter referred to as "Facility" agree that **First Medical Respond** will be the first call provider of Emergency and Non-Emergency transportation services including but not limited to Basic Life Support (BLS), Advance Life Support (ALS), Mobile Intensive Care Services (MICU), Van, Wheelchair Lift and Laydown unit services effective under the terms as stated.

I. DUTIES OF First Medical Respond

1. **First Medical Respond** will stay committed to exemplifying courteous and complete customer service which will not only include **First Medical Respond's** patients but **First Medical respond's** patient's family as well. **First Medical respond** has always and will continue to keep our staff of trained professionals personal appearance and accountability such as (uniform, grooming, hygiene, conduct, etc.) a priority.
2. **First Medical respond** will, upon request by Facility, provide a comprehensive range of ALS, BLS, MICU and wheelchair services, including but not limited to; (a) transportation of a patient between facilities; (b) transportation of a patient between a facility and a patient's home, (c) Dialysis treatments, Physician and other clinical appointments, (d) transportation for a patient from the site of an EMERGENCY; subject to the conditions and limitations of this Agreement. Services will be provided to patient as authorized by Facility and subject to **First Medical respond** policies, procedures and the availability of qualified personnel.
3. **First Medical respond** will endeavor to make transportation services available twenty-four (24) hours a day, seven (7) days a week. **First Medical respond** shall respond as soon as possible to all ambulance services requests.
4. **First Medical respond** agrees to use its best efforts in providing transportation services in accordance with generally accepted medical practices in effect at the time of service. **First Medical respond** will maintain its licenses as issued by the Texas Department of Health-bureau of Emergency Management, for the duration of this contract, and will show proof of such licenses and will notify Facility of any changes in regard to its license status (i.e. suspensions, cancellations, updates, etc.)
5. **First Medical respond** will at all times, maintain certified EMT-B, EMT-I, EMT-P's aboard its ambulances when providing services for Facility and will have a minimum of two state certified Emergency Medical Technicians on each ambulance providing services to the hospital. **First Medical respond** agrees to furnish a list of all **First Medical respond** employees, and applicable certification levels to Facility upon request.
6. **First Medical respond 's** drivers will each have emergency ambulance drivers permits, issued by the appropriate government agency, and such permits will be in the possession of that driver at all times and available for inspection by Facility upon request.
7. **First Medical respond** will have and maintain auto commercial liability insurance for its service as required by the state of Texas for the duration of this contract and will notify the Facility representative immediately upon any changes in status of their insurance policies.

8. **First Medical respond** shall maintain, at its sole expense, a valid policy of insurance evidencing general and professional liability coverage in amounts consistent with industry standards. **First Medical respond** will provide evidence of insurance indicating such coverage upon request by Facility.
9. **First Medical respond** agrees that all personnel including subcontractors will follow **First Medical respond's** standard employment policies and procedures to verify that all personnel meet applicable licensing requirements. **First Medical respond**, if applicable, will maintain direct responsibility as an employer for payment of wages and other compensation, and for any applicable mandatory withholdings and contributions including but not limited to federal, state and local income taxes, social security taxes, worker's compensation unemployment insurance. **First Medical respond reserves the right to choose and/or subcontract to other ambulance service(s) for backup, if necessary.**
10. **First Medical respond** agrees to bill facility on the 1st until the 15th of each month for services rendered for the previous month.
11. **First Medical respond** agrees to bill patients with Medicare, Medicaid, Private and for Public Insurance that have costs and are in the guidelines of the insurer's policy, **First Medical respond** will bill these entities and all other sources of these patients for services until exhausted, prior to billing the responsible party unless otherwise specified.
12. **First Medical Respond** agree to provide services for all the facilities listed on *Exhibit "C"*.

II. DUTIES OF FACILITY

1. In exchange for authorized services provided to Facility's patients, Facility agrees to pay **First Medical respond** the applicable amounts specified in Exhibit "A" of this Agreement.
2. Facility agrees to provide necessary patient information, such as name, date of birth, SS#, address, phone numbers and any other form of information necessary to **First Medical respond** in order for **First Medical respond** to bill Facility and payers other than facility including but not limited to Medicare, Medicaid, private insurance and secondary insurance.
3. Facility agrees to contact **First Medical respond** at the address and phone number as indicated herein for dispatch of ambulance transportation. Facility must inform **First Medical respond** at time of call if an MICU unit is needed. Facility will make an effort to give twenty-four (24) hours notice when canceling or rescheduling requests for **First Medical Respond** services.
4. Facility agrees that all amounts as indicated on Exhibit A attached herein are due and payable to **First Medical respond** within thirty (30) days from the date of invoice by **First Medical respond**. Facility will send payments to address printed on **First Medical respond's** invoice.
5. In the event that **First Medical respond** has been unable to collect payment from an individual who received Ambulance Services under this Agreement after billing that patient for a period of ninety (90) days, Facility shall pay for any outstanding monies owed **First Medical respond** for said patient.

6. Facility agrees to maintain, at its sole expense, a valid policy of insurance evidencing general and professional liability coverage arising from the acts or omission of Facility, its agents, and its employees in amounts consistent with Facility's industry standards. Facility shall be liable and responsible for any acts or omissions by its agents and employees and which cause (or are alleged to have caused) damage or injury to **First Medical respond** , its employees or Facility's patients.

7. Facility agrees to call First Medical Respond as a first Provider for Ground Ambulance Services.

RELATIONSHIP OF PARTIES

1. No relationship of employer is created by this Agreement. Facility and **First Medical respond** are separate and independent entities. Neither party will be considered as; the agent of the other party for any purposes whatsoever. The relationship between Facility and **First Medical respond** is purely contractual and neither Facility nor **First Medical respond** nor the subcontractors, employees, servants, agents or representatives of either shall be considered the employee, servant, agent or representative of the other. As independent contracting Parties, Facility and **First Medical respond** maintain separate and independent management, and each has full, unrestricted authority and responsibility regarding its own organization and structure.

2. Facility and **First Medical respond** agree that each shall comply with all applicable requirements of Municipal, County, State and Federal authorities, all applicable Municipal and County ordinances and regulations, and all applicable State and Federal Statutes and regulations now or hereafter in force and effect to the extent that they directly or indirectly bear upon the subject matter of this Agreement, These include, without limitation of the foregoing, applicable requirements under any State fair employment practices or similar laws declaring discrimination in employment based upon race, color, creed, religion, sex, sexual preference or national origin or any other category protected by law as illegal and, if applicable, Title VII of the Civil Rights Act of 1964 or any applicable rule or regulation promulgated pursuant to any such laws herein above described.

3. Facility shall not be liable under any contract or obligations of **First Medical respond** , except as otherwise provided pursuant to this Agreement, or for any act of omission/co mission of **First Medical respond** or its officers, employees, or agents. **First Medical respond** agrees to indemnify and hold harmless Facility from any and all losses, claims, liabilities, damages, costs, arid expenses that are caused by or arise out of any omission, fault, negligence, or other misconduct by provider, its employees, independent contractors, or volunteers in connection with this agreement.

First Medical respond shall not be liable under any contracts or obligations of Facility, except as otherwise provided pursuant to this Agreement, or for any act of omission/co-mission of Facility or its officers, employees, or agents. Facility agrees to indemnify and hold harmless **First Medical respond** for any and all losses, claims, liabilities, damages, costs, and expenses (including reasonable attorney fees) that are caused by or arise out of any omission, fault, negligence, or other misconduct by Facility, its employees, independent contractors, or volunteers in connection with this Agreement.

4. In accordance with Title VI of the Civil Rights Act of 1964 and its implementing regulation, both parties will provide service, treatment, or employment to all persons without regard to race, color, or natural origin. In accordance with Section 504 of the Rehabilitation Act of 1973 and its Implementing regulation, neither party will discriminate on the basis of handicap in providing service, treatment or employment.

In accordance with the Age Discrimination Act of 1975 and its implementing regulation, neither party will discriminate on the basis of age in providing service, treatment or employment unless age is a factor necessary to the normal operation or the achievement of any statutory objective.

IV. GENERAL PROVISIONS

1. Facility and **First Medical respond** agree that clinical records will be regarded as confidential, and both parties will comply with all applicable federal, state and local laws and regulations regarding such records. **First Medical respond** agrees to cooperate with Facility to facilitate the information and record exchange necessary for utilization management, peer review and other programs required for Facility's operation.
2. To the extent required by Section 1861 (v) (I) (I) of the Social Security Act, as amended, and by valid regulation which is directly applicable to that section, **First Medical Respond** agrees to make available upon valid written request from the Secretary of HHS, the Comptroller General, or any other duly authorized representatives, this Agreement and the books and records of **First Medical respond** to the extent that such books, documents, and records are necessary to certify the nature and extent of **First Medical respond's** costs for services provided by **First Medical respond** . Such books, documents, and records shall be preserved and available for four (4) years after the furnishing of services by **First Medical respond** (its officers, shareholders or employees).

This paragraph is intended to assure compliance with Section 1861 of the Social Security Act, as amended, and regulations directly pertinent to that Act. The obligations of **First Medical respond** under this paragraph are strictly limited to compliance with those provisions, and shall be given effect only to the extent necessary to insure compliance with those provisions. In the event that the requirements of those provisions are reduced or eliminated, the obligations of the parties under this paragraph shall likewise be reduced or eliminated.

3. All **First Medical respond** business, medical and other records, and all information generated by or relating to **First Medical respond** shall remain the sole property of **First Medical respond** . Facility agrees to keep such information strictly confidential. Facility shall not duplicate or permit the duplication of or release of any portion of such information except as expressly permitted by **First Medical respond** .

V. DURATION OF AGREEMENT AND RENEWAL

1. This Agreement will be in effect for two (2) years and will be automatically renewed at the end of the first term and each subsequent year unless terminated in accordance with the terms of Section 6.

VI. TERMINATION AND DEFAULT

1. This Agreement may be terminated at any time with or without cause, by providing at least thirty (30) days advance written notice of the termination date to the other party. The date of termination will occur 30 calendar days from the date in which notice of termination is received.

2. Either party may terminate this agreement upon breach by the other party of any material provision of this agreement, provided such breach continues for (30) days after receipt by the breaching party of written notice of such breach from the non-breaching party.
3. Upon the effective date of any termination of this Agreement, all rights and obligations of the parties under this Agreement shall cease except with respect to rights and obligations, which have accrued or expressly survive termination.
4. If this Agreement is suspended or terminated, **First Medical respond** will make its best efforts to transfer patients to an ambulance provider designated by Facility or selected by the patient according to **First Medical respond's** transfer policy. Facility will be responsible for the payment of services rendered by **First Medical respond** after termination and prior the transfer of patients at 100% of billed charges.
5. Upon the termination or expiration of this Agreement under any circumstances, Facility shall immediately return to **First Medical respond** all such information and materials, and will not use thereafter, appropriate or reproduce such information or disclose such information to any third party.

VII. MISCELLANEOUS

1. This Agreement constitutes the entire understanding of the Parties hereto and supersedes any and all written or oral agreements, representation or understandings. Any oral representation or modifications concerning this Agreement shall be of no force and effect. Modifications, discharges, amendments or alterations to this Agreement shall not be effective unless signed by both Parties. Furthermore, neither this Agreement nor any modifications, discharges, amendments or alterations thereof shall be considered executed by, or binding upon **First Medical respond** until signed by an officer of **First Medical respond**. If however, State or Federal laws or regulations change, and affect any provisions of this Agreement, this Agreement shall be deemed amended to conform with those changes in the laws or regulations effective the date such laws or regulations become effective,
2. Each of the Attachments referred to herein is fully incorporated into this Agreement by this reference.
3. Representative of **First Medical respond** and Facility upon mutual agreement, may meet at any time to discuss changes or amendments to this Agreement.
4. It is understood that any provision of this Agreement which is in violation of any State or Federal law(s) or regulation(s) shall be null and void, and any such provision shall be renegotiated by the Parties or deemed stricken from this Agreement or deemed amended to conform to the law or regulation pursuant to the terms of this Agreement. The invalidity or none enforceability of any terms or provisions hereof shall in no way affect the validity or enforce ability of any other terms or provisions.
5. This Agreement shall be governed by and construed in accordance with the laws of the State of Texas and any action arising out of it shall be instituted and prosecuted only in the Municipal or Superior Court of Harris County, Texas U.S.A.

6. The waiver by either Party or a breach or violation of any provision of this Agreement will not be deemed a waiver of any subsequent breach of the same or a different provision. To be effective, a waiver must be in writing, and signed by the parties Hereto.

7. If any term, provision, covenant or condition of this Agreement is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provision shall continue in full force and effect, and shall in no way be affected, impaired or invalidated.

8. Any notice or demand required under this Agreement will be in writing; will be personally served or sent by certified mail, return receipt requested, postage prepaid or by a recognized overnight carrier which provides proof of receipt; and will be sent to the addresses below. Either party may change the address to which notices are sent by sending written notice of such change of address to the other Party in accordance with the provisions as stated in this paragraph. The addresses for the Parties for the purposes of such communication are:

FMR, Inc.
dba First Medical Respond
4625 North Free Way # 213
Houston, Tx. 77022
(713) 691-5455 (phone)
(713) 691-5727 (fax)

AND

Health Services Management of Texas, L.L.C
13415 Medical Complex Dr # 101
Tomball, Texas 77375

9. **First Medical Respond** and Facility each acknowledge a duty to maintain the confidentiality of the payment terms of this Agreement, except where disclosure is required by law.

10. The section headings used herein are for reference and convenience only, and shall not enter into the interpretation hereof. Any exhibits, tables or schedules referred to herein and/or attached or to be attached are incorporated herein to the same extent as if set forth in full herein.

11. Where agreement, approval, acceptance or consent by either Party is required by any provision of this Agreement, such action shall not be unreasonably delayed or withheld.

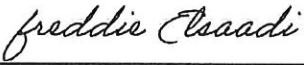
12. This Agreement may be amended at any time by mutual agreement of the parties, but any such amendment must be in writing, dated and signed by the parties and attached hereto.

13. Neither Party may assign this Agreement without the prior written consent of the other Party, and such consent will not be unreasonably withheld. No such consent will be required for assignment to an entity owned by or under common control with assignor. In any event, the assigning Party will remain fully responsible for compliance with all of the terms of this Agreement.

Having read and presented all information contained herein as accurate, true and within the current guidelines and policies of **First Medical Respond** and Facility, Both parties hereby agree to acknowledge their understanding of the mutual promises written above by executing this Agreement.

Agreed to and contracted this

FMR, INC.
dba First Medical Respond



Signature

Freddie Elsaadi
Chief Executive Officer

Date : _____

Tax # 20-8993021

Signature

Print Name: _____

Print Title: _____

Date: _____

Tax ID # _____

First Medical Respond

Exhibit "A"

BLS Non Emergency	(A0428)	\$ 155.00
BLS/ALS Mileage	(A0425)	\$ 5.00
Wheelchair lift/ Van Service		\$ 20.00
WheelChair Mileage		\$2.50

Update payment Term (10/10, N/30)

Wheelchair Transport Services:

Wheelchair Services are available Monday through Saturday from 5:00 Am until 6:00 pm . Sunday required advance notice.

All rates are based on one-way trips only.

MEDICARE AND PRIVATE PAY PATIENTS:

First Medical Respond agrees to bill all Medicare B, private pay and other third party patients directly.

First Medical Respond agrees to bill Facility for all Medicare part A patients and non-coverage charge services for all patient at the above fee schedule. Facility agrees to reimburse **First Medical Respond** according the above fee schedule.

Facility agrees to pay **First Medical Respond** for services rendered to:

- (1). Patients who have authorized for services by the facility administrator or designee but who do not meet medical necessity under Medicare guidelines.
- (2). Patients who have insurance coverage which requires prior authorization for transports but for which facility did not obtain prior authorization.
- (3). Patients who don't have insurance benefit for services not cover under patient insurance.
- (4). Patients Who are in patient at hospital as (DRG) for Medicare or commercial policy.

Facility will be responsible to provide **First Medical Respond** all documents required for all patients need services.

First Medical Respond

Exhibit "C"

List of all Facilities will be served by First Medical Respond:

1. West Janisch Health Care Center
2. Richmond Health Care Center
3. Sugar Land Health Care Center.
4. Friendswood Health Care Center (When they open)
5. Lawrence steet Health Care Center (After 90 days from the initial start)
6. Tomball Retirement Center (After 90 days from the initial start)



FRIENDSWOOD CITY COUNCIL AGENDA ITEM FORM

This form should be completed and forwarded to the City Manager's Office as soon as possible prior to the first date that the item is expected to be placed on the Friendswood City Council agenda.

Date requested for City Council consideration: June 4, 2018

Date Submitted: May 22, 2018

Dept. Clearances: Aubrey Harbin

Prepared by: Aubrey Harbin

Subject: Proposed Amendments to Appendix C, Zoning Ordinance Section 7.P.5. North American Industry Classification System (NAICS) Codes to change version reference from "1997" to the "current" North American Industry Classification System (NAICS) Codes; and Section 7.P.6. Permitted Use Table to update the reference to the 2017 NAICS Codes; to add NAICS Use #425 Wholesale Electronic Markets and Agents and Brokers; and to add NAICS Use #447190, Other Gasoline Stations (gas stations without convenience stores; truck stops; and marine service stations)

Originating Department: Community Development

City Attorney Review: Yes

Proceeding: Joint Public Hearing

Degree of importance: Critical ☐ Significant ☐ Elective ☐

Expenditure Required: Amount Budgeted:

Appropriation Required: Source of Funds:

FINANCE APPROVAL: N/A

MK

Morad Kabiri
City Manager

SUMMARY / ORIGINATING CAUSE

Review of the Permitted Use Table and NAICS code is required by ordinance when staff determines that the NAICS codes have been updated. This typically occurs every five years, but it has been the practice of staff and the Commission to review the PUT annually.

NAICS Version Update:

The North American Industry Classification System (NAICS) is a reference book that staff uses to determine business uses. Since 1997, Canada, Mexico and the United States have collaborated in producing five-year revisions to NAICS in order to keep the classification system current with changes in economic activities. The most recent update was in 2017. Currently Section 7.P.5 references the 1997 version.

The proposal is to change this to "current" version and add the year reference in the actual Permitted Use Table (Section 7.P.6.)

Staff has reviewed the NAICS changes from the 2012 to 2017 edition, and none of the changes effect the reference numbers used in the Permitted Use Table.

Permitted Use Table Changes:

The numbering structure of NAICS is hierarchical. The first two digits of the number designate the NAICS sectors that represent general categories of economic activities. There are 20 sectors. The third digit designates the subsector, the fourth digit designates the industry group, the fifth digit designates the NAICS industry, and sixth digit designates the national industry. A zero as the sixth digit generally indicates that the NAICS industry and the US industry are the same.

In the Permitted Use Table, all NAICS reference numbers are expanded to at least three digits. Some are expanded further to define more specific uses/industries.

NAICS Use 425 Wholesale Electronic Markets and Agents and Broker is missing from the table. Proposal is to add it in order to be consistent, and allow it as Office Use Only (O) in Community Shopping Center (CSC), Office Park District (OPD), and Downtown District (DD) and Permit (P) the use in Light Industrial (LI), Industrial (I) and Business Park (BP) (duplicated where NAICS Uses 423 and 424 are allowed).

NAICS Use 447 Gasoline Stations includes truck stops and as currently written would allow at truck stop to be developed in the Community Shopping Center (CSC) zoning district along our major thoroughfares. Staff had an inquiry for a truck stop on FM 2351 which initiated this proposed change. Proposal is to expand the 447 use to 447190, Other Gasoline Stations and allow Office Use Only (O) in Office Park District (OPD) and Downtown District (DD) and required a Specific Use Permit (S) in Light Industrial (LI) and Industrial (I).

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Recognizing the 2017 codes will keep the Zoning Ordinance and the uses identified in the Permitted Use Table updated.

Adding NAICS Use 425 is just for consistency as all of the industry classification numbers should be expanded to at least three digits.

Adding NAICS Use 447190 will limit where truck stops, gas stations without convenience stores, and marine service stations would be allowed. Use 447 would still be applicable to gas stations with convenience stores.

RECOMMENDATIONS

The Planning and Zoning Commission and staff both recommend the proposed changes. P&Z will make a formal recommendation following the Joint Public Hearing.

ATTACHMENTS

[NAICS Summary of changes from 2012 to 2017](#)

[Proposed changes to Zoning Ordinance Section 7 P 5](#)

[Proposed changes to Zoning Ordinance Section 7 P 6](#)

[Description of NAICS Use 425](#)

[Description of NAICS Use 447 and 447190](#)

Summary of NAICS Changes from 2012 to 2017 Edition

2017 NAICS codes in **bold** indicate pieces of the 2017 industry came from more than one 2012 NAICS industry.

2012 NAICS codes in *italics* indicate the 2012 industry split to two or more 2017 NAICS industries.

2017 NAICS codes in **red** indicate a new code, but unchanged industry title and description.

2017 NAICS	2012 NAICS	Permitted Use Table	Change required Y/N
211120 Crude Petroleum Extraction	<i>211111 Crude Petroleum and Natural Gas Extraction – crude petroleum extraction</i>	211 Oil and Gas Extraction	No
211130 Natural Gas Extraction	<i>211111 Crude Petroleum and Natural Gas Extraction – crude petroleum extraction</i>	211 Oil and Gas Extraction	No
212230 Copper, Nickel, Lead and Zinc Mining	212231 Lead Ore and Zinc Ore Mining 212234 Copper Ore and Nickel Ore Mining	212 Mining, Except Oil	No
333914 Measuring, Dispensing, and Other Pumping Equipment Manufacturing	333911 Pump and Pumping Equipment Manufacturing 333913 Measuring and Dispensing Pump Manufacturing	333 Machinery Manufacturing	No
335220 Major Household Appliance Manufacturing	335221 Household Cooking Appliance Manufacturing 335222 Household Refrigerator and Home Freezer Manufacturing 335224 Household Laundry Equipment Manufacturing	335 Electrical Equipment, Appliance, and Component Manufacturing	No

	335228 Other Major Household Appliance Manufacturing		
452210 Department Stores	452112 Department Store (except Discount Dept. Stores) 452112 Discount Dept. Stores – significant perishable grocery sales	452 General Merchandise Stores	No
452331 Warehouse Clubs and Supercenters	452112 Discount Dept. Stores – significant perishable grocery sales 452910 Warehouse Clubs and Supercenters	452 General Merchandise Stores	No
452319 All Other General Merchandise Stores	452990 All Other General Merchandise Stores	452 General Merchandise Stores	No
517311 Wired Telecommunications Carriers	517110 Wire Telecommunications Carriers	517 Telecommunications	No
517312 Wireless Telecommunications Carriers (except Satellite)	517210 Wireless Telecommunications Carriers (except Satellite)	517 Telecommunications	No
532281 Formal Wear and Costume Rental	532220 Formal Wear and Costume Rental	532 Rental and Leasing Services	No
532282 Video Tape and Disc Rental	532230 Video Tape and Disc Rental	532 Rental and Leasing Services	No
532283 Home Health Equipment Rental	532291 Home Health Equipment Rental	532 Rental and Leasing Services	No
532284 Recreational Goods Rental	532292 Recreational Goods Rental	532 Rental and Leasing Services	No
532289 All Other Consumer Goods Rental	532299 All Other Consumer Goods Rental	532 Rental and Leasing Services	No
541713 Research and Development in Nanotechnology	541711 Research and Development in Biotechnology – nanobiotechnologies	541 Professional, Scientific, and Technical Services	No

	research and experimental development laboratories 541712 Research and Development in the Physical, Engineering and Life Sciences (except Biotechnology) – except nanotechnology research and experimental development laboratories		
541714 Research and Development in Biotechnology (except Nanobiotechnology)	541711 Research and Development in Biotechnology – except nanobiotechnologies research and experimental development laboratories	541 Professional, Scientific, and Technical Services	No
541715 Research and Development in the Physical, Engineering, and Life Sciences (except Nanotechnology and Biotechnology)	541712 Research and Development in the Physical, Engineering and Life Sciences (except Biotechnology) – except nanotechnology research and experimental development laboratories	541 Professional, Scientific, and Technical Services	No

Zoning Ordinance

Section 7.

P. *Permitted uses.*

1. *Use of land and buildings.* Buildings, structures, land or premises shall be used only in accordance with the uses specifically permitted in the zoning district classification for the site subject to compliance with parking regulations, height and area requirements, special conditions and all other requirements of the zoning ordinance.

2. *Permitted use table.* The permitted uses in each specific zoning district are shown by means of symbols in the permitted use tables on the following pages. The letter "P" in the zoning district column opposite the listed permitted use means the use is permitted as a use of right in that district. The letter "S" in the zoning district column opposite the permitted use means the use is permitted in that zoning district only obtaining a specific use permit as set forth in section 9-G. No primary use shall be permitted in any district unless the letter "P" or the letter "S" appears opposite the listed permitted use. The letter "O" in the zoning district column means that the permitted use is for office functions only. Parking requirements are in section 8-F. The letters "NP" in the PUD-Mixed Use zoning district column means those uses so specified are not permitted under any circumstance.

3. *Uses not listed.* Primary uses not listed in the permitted use table may be permitted in any district where similar uses are permitted. The function and locational requirements of the unlisted use must be consistent with the purpose and description of the zoning district, compatible with the permitted uses in the district, and be similar in traffic-generating capacity, noise, vibration, dust, odor, glare and heat producing characteristics.

4. *Accessory use.* A use which is customarily incidental to that of the primary existing use, which is located on the same lot or premises as the primary existing use, and which has the same zoning district classification shall be permitted as an accessory use without being separately listed as a permitted use.

5. *North America Industry Classification System (NAICS) Codes.* The activity descriptions in the ~~(1997)~~ current NAICS Codes prepared by United States Executive Office of the President, Office of Management and Budget, shall be used to determine the primary establishment uses when reference is made in the tables to a designated standard industrial classification. Every January, community development staff shall determine if the manual has been revised. If the manual has been revised, such revisions and changes will be summarized in a written report and presented to the planning and zoning commission. The commission will make recommendations to council regarding adoption of the revised manual and appropriate changes to the zoning ordinance permitted use table. The commission may recommend that an ad hoc committee review and propose revisions to the permitted use table.

Appendix C, Zoning Ordinance

Section 7.P.6. Permitted Use Table

	2017 NAICS Industry Descriptions	SFR and SFR -E	MFR - GHD	MFR -L	MFR -M	MFR -H	MH R	CS C	N C	LN C	OP D	D D	A -1	L 1	I	B P
	Sexually Oriented Businesses (Ch.62)														S	
11	Agriculture, Forestry, Fishing and Hunting															
111	Crop Production							O	O		O	O	P			
1114	Greenhouse, Nursery and Floriculture Production										O	O	P	S	S	O
112	Animal Production							O	O		O	O	P			
113	Forestry and Logging										O	O	P	S	P	
1133	Logging										O	O	S		S	
114	Fishing, Hunting and Trapping										O	O	P			
115	Support Activities for Agriculture and Forestry							O	O		O	O	P		O	
21	Mining															
211	Oil and Gas Extraction										O	O	S	S	S	

212	Mining, Except Oil and Gas										O	O	S	S	S	
213	Support Activities for Mining										O	O	S	S	S	
22	Utilities															
221	Utilities										O	O		S	P	O
23	Construction															
236	Construction of Buildings							O	O		O	O		P	P	P
237	Heavy and Civil Engineering Construction							O	O		O	O		P	P	S
238	Specialty Trade Contractors							O	O		O	O		P	P	P
31-33	Manufacturing															
311	Food Manufacturing							O			O	O		S	S	S
31181 1	Retail Bakeries							P	P			P				
312	Beverage and Tobacco Product Manufacturing							O			O	O		S	S	S
313	Textile Mills							O			O	O		S	S	S
314	Textile Product Mills							O			O	O		S	S	S

315	Apparel Manufacturing						O			O	O		S	S	S
316	Leather and Allied Product Manufacturing						O			O	O		S	P	S
3161	Leather and Hide Tanning and Finishing						O			O	O		O	S	O
321	Wood Product Manufacturing						O			O	O		S	P	S
322	Paper Manufacturing						O			O	O		O	S	O
323	Printing and Related Support Activities						S			O	S		P	P	P
323113	Commercial Screen Printing						P	S		O	P		P	P	P
324	Petroleum and Coal Products Manufacturing						O			O	O		S	S	S
325	Chemical Manufacturing						O			O	O		S	S	S
325412	Pharmaceutical Preparation Manufacturing						O			O	O		P	P	P
326	Plastics and Rubber Products Manufacturing						O			O	O		S	P	S

3262	Rubber Product Manufacturing							O			O	O		O	P	O
327	Nonmetallic Mineral Product Manufacturing							O			O	O		O	P	O
331	Primary Metal Manufacturing							O			O	O		O	S	O
332	Fabricated Metal Product Manufacturing							O			O	O		S	P	S
333	Machinery Manufacturing							O			O	O		S	P	S
334	Computer and Electronic Product Manufacturing							O			O	O		P	P	P
335	Electrical Equipment, Appliance and Component Manufacturing							O			O	O		P	P	P
33591	Battery Manufacturing							O			O	O		O	S	O
336	Transportation Equipment Manufacturing							O			O	O		S	P	S
337	Furniture and Related Products Manufacturing							O			O	O		S	P	S
339	Miscellaneous Manufacturing							O			O	O		P	P	S

3391	Medical Equipment and Supplies Manufacturing							O			O	O		P	P	P
42	Wholesale Trade															
423	Merchant Wholesalers, Durable Goods							O			O	O		P	P	P
424	Merchant Wholesalers, Nondurable Goods							O			O	O		P	P	P
425	Wholesale Electronic Markets and Agents and Brokers							O			O	O		P	P	P
44-45	Retail Trade															
4411	Automobile Dealers							O			O	O		P	P	O
4412	Other Motor Vehicle Dealers							O			O	O		P	P	O
4413	Automotive Parts, Accessories and Tire Stores							P	S		O	O		P	P	P
442	Furniture and Home Furnishing Stores							P	P		O	P		S	S	P
443	Electronics and Appliance Stores							P	P		O	P		S	S	P
444	Building Material and Garden							P	P		O	P		P	P	P

	Equipment and Supplies Dealers							S	S		O	O		S	S	S
444190	Other Building Material Dealers							S	S		O	O		S	S	S
445	Food and Beverage Stores							P	P		O	P		S		S
446	Health and Personal Care Stores							P	P		O	P		P		P
447	Gasoline Stations							P	P		O	P		P	P	
447190	Other Gasoline Stations										O	O		S	S	
448	Clothing and Clothing Accessory Stores							P	P		O	P				P
451	Sporting Good, Hobby, Book and Music Stores							P	P		O	P				P
452	General Merchandise Stores							P	P		O	P		P	P	P
453	Miscellaneous Store Retailers							P	P		O	P		P	P	P
4533	Used Merchandise Stores							P	P			P		P	P	P
45393	Manufactured (mobile) Home Dealers										O	O			S	

45399	All Other Miscellaneous Store Retailers							P	P			P		P	P	P
454	Nonstore Retailers							S	S		O	S		S	S	S
48-49	Transportation and Warehousing															
481	Air Transportation										O	O		O	O	O
482	Rail Transportation										O	O		S	P	S
483	Water Transportation										O	O		O	S	O
484	Truck Transportation										O	O		P	P	S
485	Transit and Ground Passenger Transportation							S	S		O	S		S	S	S
486	Pipeline Transportation	S	S	S	S	S	S	S	S		S	S	S	S	S	S
487	Scenic and Sightseeing Transportation							S			O	P				P
488	Support Activities for Transportation							S	S		O	O		S	P	P
48841	Motor Vehicle Towing										O	O		S	P	O
491	Postal Service							P	P		O	P		P	P	P
492	Couriers and Messengers							P	P		O	P		P	P	P

493	Warehousing and Storage										O	S		P	P	P
51	Information															
511	Publishing Industries										O	S		P	P	P
512	Motion Picture and Sound Recording Industries							S			O	S		S	S	S
515	Broadcasting (except internet)							S	S		O	O		P	P	P
517	Telecommunications							S	S		O	S		P	P	P
517911	Telecommunication Resellers							P	P		O	P		P	P	P
518	Data Processing, Hosting and Related Services							S	S		O	S		S	P	P
519	Other Information Services							S	S		O	S		S	P	P
52	Finance and Insurance															
521	Monetary Authorities - Central Bank							P	P		P	P		P		P
522	Credit Intermediation and Related Activities							P	P		P	P		P		P

52229 8	All Other Nondepository Credit Intermediation(i.e., pawn shops)						S			O	S		S	P	P
523	Securities, Commodity Contracts, and Other Financial Investments and Related Activities						P	P		P	P		P		P
524	Insurance Carriers and Related Activities						P	P		P	P		P		P
525	Funds, Trusts, and Other Financial Vehicles						P	P		P	P		P		P
53	Real Estate and Rental and Leasing														
531	Real Estate						P	P		P	P		P	P	P
53113	Lessors of Miniwarehouses and Self-Storage Units						O	O		O	O		O	P	P
532	Rental and Leasing Services						P	S		O	P		P	P	P
53212	Truck, Utility Trailer and RV Rental						O	O		O	O		O	P	P
533	Lessors of Nonfinancial Intangible Assets						P	P		P	P		P	P	P

[illegible]

[illegible]

62331 1	Continuing Care Retirement Communities (with on-site nursing)	S1	S1					S	S		O	S				
62331 2	Assisted Living Facilities for the Elderly (without on-site nursing)	S1	S1					S	S		O	S				
624	Social Assistance							S			O	S				S
6244	Child Day Care Services (Child Care Centers)							P	P		O	P				
6244	Child Day Care Services (Registered and/or Licensed Child Care Home)	P	P													
71	Arts, Entertainment and Recreation															
7111	Performing Arts							P			O	P				P
7112	Spectator Sports							S			O	O				P
7113	Promoters of Performing Arts, Sports and Similar Events							P			O	P				P
712	Museums, Historical Sites and Similar Institutions	S	S	S	S	S	S	P	S		O	P	S	S	S	S
7131	Amusement Parks and Arcades											S		S	P	

7132	Gambling Industries																
7139	Other Amusement and Recreation Industries										S			S	P		
713940	Fitness and Recreational Sports Centers							P	S			S			P	P	
72	Accommodation and Food Services																
7211	Traveler Accommodation							S			O	S			S	S	S
7212	RV (recreational vehicle) Parks and Recreational Camps										O				S	S	
7213	Rooming and Boarding Houses							S			O	S			S	S	S
7223	Special Food Services							P	P		O	P			P		P
7224	Drinking Places (more than 75% sales of alcoholic beverages)							S				S			S		S
7225	Restaurants and Other Eating Places							P	P		O	P			P		P
81	Other Services (Except Public Administration)																
8111	Automotive Repair and Maintenance							P	S		O	S			S	P	

81112	Automotive Body, Paint, Interior and Glass Repair							S	S		O	S		S	P	
8112	Electronic and Precision Equipment Repair and Maintenance							S			O	O		S	P	P
8113	Commercial and Industrial Machinery and Equipment (except Automotive and Electronic Repair and Maintenance)							S			O	O		S	P	P
8114	Personal and Household Goods Repair and Maintenance							S			O	O		S	P	P
8121	Personal Care Services							P	P		P	P		P		P
8122	Death Care Services							S	S		O	S		S		S
8123	Dry cleaning and Laundry Services							P	P		P	P		P		P
8129	Other Personal Services							P	P		P	P		P		P
8131	Religious Organizations	S	S	S	S	S	S	S	S		O	S	S			
8132	Grantmaking and Giving Services							O	O		O	O		O		O

8133	Social Advocacy Organizations							O	O		O	O		O	P	O
8134	Civic and Social Organizations							O	O		O	O		O	P	O
8139	Business, Professional, Labor, Political, and Similar Organizations							O	O		O	O		O		O
814	Private Households	P	P	P	P	P	P					P	P	(a)		
92	Public Administration															
921	Executive, Legislative, and Other General Government Support							P			O	P		P		P
922	Justice, Public Order and Safety Activities							P			O	P		P		P
92214	Correctional Institutions														S	
923	Administration of Human Resource Programs							P			O	P		P		P
924	Administration of Environment Quality Programs							P			O	P		P		P
925	Administration of Housing Programs,							P			O	P		P		P

	Urban Planning, and Community Development																
926	Administration of Economic Programs							P				O	P		P		P
927	Space Research and Technology							P				O	P		P		P
928	National Security and International Affairs							P				O	P		P		P

- Merchant wholesale distribution of grains, field beans, livestock, and other farm product raw materials--are classified in Industry Group 4245, Farm Product Raw Material Merchant Wholesalers;
- Merchant wholesale distribution of chemicals; plastics materials and basic forms and shapes; and allied products--are classified in Industry Group 4246, Chemical and Allied Products Merchant Wholesalers;
- Merchant wholesale distribution of petroleum and petroleum products--are classified in Industry Group 4247, Petroleum and Petroleum Products Merchant Wholesalers;
- Merchant wholesale distribution of beer, ale, wine, and distilled alcoholic beverages--are classified in Industry Group 4248, Beer, Wine, and Distilled Alcoholic Beverage Merchant Wholesalers;
- Merchant wholesale distribution of pet foods--are classified in Industry 424490, Other Grocery and Related Products Merchant Wholesalers;
- Merchant wholesale distribution of religious statuary--are classified in Industry 423490, Other Professional Equipment and Supplies Merchant Wholesalers; and
- Merchant wholesale distribution of knitting yarns (except industrial)--are classified in Industry 424310, Piece Goods, Notions, and Other Dry Goods Merchant Wholesalers.

425 Wholesale Electronic Markets and Agents and Brokers

Industries in the Wholesale Electronic Markets and Agents and Brokers subsector arrange for the sale of goods owned by others, generally on a fee or commission basis. They act on behalf of the buyers and sellers of goods. This subsector contains agents and brokers as well as business-to-business electronic markets that facilitate wholesale trade.

4251 Wholesale Electronic Markets and Agents and Brokers

42511 Business to Business Electronic Markets

See industry description for 425110.

425110 Business to Business Electronic Markets

This industry comprises business-to-business electronic markets bringing together buyers and sellers of goods using the Internet or other electronic means and generally receiving a commission or fee for the service. Business-to-business electronic markets for durable and nondurable goods are included in this industry.

Cross-References.

Establishments primarily engaged in bringing together buyers and sellers of goods using the Internet in a business-to-consumer or consumer-to-consumer environment are classified in Industry 454110, Electronic Shopping and Mail-Order Houses.

42512 Wholesale Trade Agents and Brokers

See industry description for 425120.

425120 Wholesale Trade Agents and Brokers

This industry comprises wholesale trade agents and brokers acting on behalf of buyers or sellers in the wholesale distribution of goods. Agents and brokers do not take title to the goods being sold but rather receive a commission or fee for their service. Agents and brokers for all durable and nondurable goods are included in this industry.

Illustrative Examples:

Independent sales representatives

Manufacturers' sales representatives

T—Canadian, Mexican, and United States industries are comparable.

Cross-References. Establishments primarily engaged in--

- Retailing specialized health and personal care merchandise via electronic home shopping, mail-order, or direct sale--are classified in Subsector 454, Nonstore Retailers;
- Retailing food supplement products--are classified in U.S. Industry 446191, Food (Health) Supplement Stores;
- Retailing prescription or nonprescription drugs and medicines--are classified in Industry 446110, Pharmacies and Drug Stores;
- Retailing eyeglasses and contact lenses--are classified in Industry 446130, Optical Goods Stores;
- Retailing perfumes, cosmetics, and beauty supplies--are classified in Industry 446120, Cosmetics, Beauty Supplies, and Perfume Stores;
- Retailing orthopedic shoes--are classified in Industry 448210, Shoe Stores; and
- Retailing orthopedic and prosthetic appliances that are made on the premises--are classified in U.S. Industry 339113, Surgical Appliance and Supplies Manufacturing.

447 Gasoline Stations

Industries in the Gasoline Stations subsector retail automotive fuels (e.g., gasoline, diesel fuel, gasohol, alternative fuels) and automotive oils or retail these products in combination with convenience store items. These establishments have specialized equipment for storing and dispensing automotive fuels.

4471 Gasoline Stations**44711 Gasoline Stations with Convenience Stores**

See industry description for 447110.

447110 Gasoline Stations with Convenience Stores

This industry comprises establishments engaged in retailing automotive fuels (e.g., diesel fuel, gasohol, gasoline) in combination with convenience store or food mart items. These establishments can either be in a convenience store (i.e., food mart) setting or a gasoline station setting. These establishments may also provide automotive repair services.

Cross-References. Establishments primarily engaged in--

- Retailing automotive fuels without a convenience store--are classified in Industry 447190, Other Gasoline Stations; and
- Retailing a limited line of goods, known as convenience stores or food marts (except those with fuel pumps)--are classified in Industry 445120, Convenience Stores.

44719 Other Gasoline Stations

See industry description for 447190.

447190 Other Gasoline Stations

This industry comprises establishments known as gasoline stations (except those with convenience stores) primarily engaged in (1) retailing automotive fuels (e.g., diesel fuel, gasohol, gasoline, alternative fuels) or (2) retailing these fuels in combination with activities, such as providing repair services; selling automotive oils, replacement parts, and accessories; and/or providing food services.

Illustrative Examples:

Gasoline stations without convenience stores
Truck stops

Marine service stations

T—Canadian, Mexican, and United States industries are comparable.

Cross-References. Establishments primarily engaged in--

- Repairing motor vehicles without retailing automotive fuels--are classified in Industry Group 8111, Automotive Repair and Maintenance; and
- Retailing automotive fuels in combination with a convenience store or food mart--are classified in Industry 447110, Gasoline Stations with Convenience Stores.

448 Clothing and Clothing Accessories Stores

Industries in the Clothing and Clothing Accessories Stores subsector retail new clothing and clothing accessories from fixed point-of-sale locations. Establishments in this subsector have similar display equipment and staff that is knowledgeable regarding fashion trends and the proper match of styles, colors, and combinations of clothing and accessories to the characteristics and tastes of the customer.

4481 Clothing Stores

This industry group comprises establishments primarily engaged in retailing new clothing.

44811 Men's Clothing Stores

See industry description for 448110.

448110 Men's Clothing Stores

This industry comprises establishments primarily engaged in retailing a general line of new men's and boys' clothing. These establishments may provide basic alterations, such as hemming, taking in or letting out seams, or lengthening or shortening sleeves.

Cross-References. Establishments primarily engaged in--

- Retailing men's and boys' clothing via electronic home shopping, mail-order, or direct sale--are classified in Subsector 454, Nonstore Retailers;
- Retailing custom men's clothing made on the premises--are classified in Industry Group 3152, Cut and Sew Apparel Manufacturing;
- Retailing new men's and boys' accessories--are classified in Industry 448150, Clothing Accessories Stores;
- Retailing specialized new apparel, such as raincoats, leather coats, fur apparel, and swimwear--are classified in Industry 448190, Other Clothing Stores;
- Retailing new clothing for all genders and age groups--are classified in Industry 448140, Family Clothing Stores;
- Retailing secondhand clothes--are classified in Industry 453310, Used Merchandise Stores; and
- Providing clothing alterations and repair--are classified in Industry 811490, Other Personal and Household Goods Repair and Maintenance.

44812 Women's Clothing Stores

See industry description for 448120.

448120 Women's Clothing Stores

This industry comprises establishments primarily engaged in retailing a general line of new women's, misses', and juniors' clothing, including maternity wear. These establishments may provide basic alterations, such as hemming, taking in or letting out seams, or lengthening or shortening sleeves.

Cross-References. Establishments primarily engaged in--

- Retailing women's clothing via electronic home shopping, mail-order, or direct sale--are classified in Subsector 454, Nonstore Retailers;

T—Canadian, Mexican, and United States industries are comparable.



FRIENDSWOOD CITY COUNCIL AGENDA ITEM FORM

This form should be completed and forwarded to the City Manager's Office as soon as possible prior to the first date that the item is expected to be placed on the Friendswood City Council agenda.

Date requested for City Council consideration: June 4, 2018

Date Submitted: May 22, 2018

Dept. Clearances: Aubrey Harbin

Prepared by: Aubrey Harbin

Subject: Proposed amendments to Appendix C, Zoning Ordinance Section 7. Q. 3. Area and Height exceptions, to allow stairs of an elevated house to encroach the front building line in certain situations

Originating Department: Community Development

City Attorney Review: Yes

Proceeding: Joint Public Hearing

Degree of importance: Critical ☐ Significant ☒ Elective ☐

Expenditure Required:

Amount Budgeted:

Appropriation Required:

Source of Funds:

FINANCE APPROVAL: N/A

MK

Morad Kabiri
City Manager

SUMMARY / ORIGINATING CAUSE

As a result of homeowners elevating their homes due to flooding, we have had a new issue arise. To date, two applications have been submitted for the Zoning Board of Adjustment regarding stairs encroaching the front building line. In both cases, the owners are rebuilding their homes on the existing foundation/footprint of the homes. With the home elevated, it requires stairs to access the structure and in some cases the stairs are extending past the front building line.

According to several definitions in the Zoning Ordinance, stairs are subject to the front building setback, which is most commonly 25 feet, but on some lots may be greater. Staff anticipates more of these situations.

Zoning Ordinance

Section 20. Definitions

D. Building. Any structure designed or built for the support, enclosure, shelter, or protection of persons, animals, chattels or property of any kind.

E. Building area. The surface of the lot covered or occupied by all structures placed thereon, excluding only driveways, walkways and uncovered patios.

F. Building line. A line parallel or approximately parallel to the street line and beyond which buildings may not be erected.

X. Structure. Anything constructed or erected with a fixed location on the ground or attached to something having a fixed location on the ground.

CC. Yard. An open space, other than a court, on a lot, unoccupied and unobstructed from the ground upward except for fences and walls.

DD. Yard, front. A yard extending across the full width of the lot, the depth of which is the minimum horizontal distance between the front lot line and a line parallel thereto on the lot as specified in each zoning district.

The proposed amendment to Section 7.Q.3. Area and Height Exceptions would exempt uncovered stairs from having to be behind the front building line, similar to sidewalk or flatwork leading to a front door, in the following situations:

g. Stairs in Certain Situations. In residential zoning districts that have minimum front yard requirements, uncovered stairways associated with a residential use may project into the required front yard but shall remain a minimum of 10 feet from the front property line, if:

1. A building is being elevated or reconstructed on an existing foundation to meet or exceed current City floodplain standards; and
2. The stairway projection into the required front yard is limited to the minimum area required to meet elevation standards; and
3. The stairway, at its widest point, shall not exceed 10 feet.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

The proposed amendments would provide relief for some owners elevating and/or rebuilding their homes as a result of Harvey and not require them to go through the variance process with ZBOA.

RECOMMENDATIONS

The Planning and Zoning Commission and staff have discussed the proposed changes and are in favor of the changes, provided the change only allows for uncovered stairs without columns or posts. Additionally, the stairs may only encroach the minimum area required to meet elevation standards, and if an application exceeds that standard, then they would be required to apply for a variance. P&Z will make a formal recommendation following the Joint Public Hearing.

ATTACHMENTS

[Proposed amendments to Sec 7 Q 3](#)

REGULATION MATRIX - RESIDENTIAL DISTRICTS

Circled letters (letters in parentheses) refer to paragraphs in section 7-Q.3

	Units per Acre	Lot Area Minimum Square Feet	Lot Width	Yards - Minimum Feet					Height Maximum Feet (b and e)	Parking Requirement Unit	Zero Lot Lines Y or N	Maximum Lot Coverage
				Front	Rear (a)	Side						
						Interior (d)	Exterior (Corner Lot)					
							Backing Up to an Abutting Side Yard	Backing Up to an Abutting Rear Yard				
SFR Single Family Residential	2.7	11,600	90 A	25 B	25	10 F	25 A	20 C	40	K	No	35%
SFR Single Family Residential	2.7	15,600	120 A	25 B	25	10	25 B	20 C	40	K	No	35%
SFR - E Single Family Residential Estate	0.5	87,120	150 A	75	25	25	35	35	40	K	No	20
MFR - L Multi Family - Low	6 G	7,260 G	45 G	25 B	25	10 E, I	25 B	20 C	40	K	No	50

MFR - M Multi Family - Medium	9	—	—	<u>25</u> B	0	10 E, I	<u>25</u> B	<u>20</u> C	40	K	No	<u>50</u>
MFR - H Multi Family - High	12	—	—	<u>25</u> B	0	10 E, I	<u>25</u> B	<u>20</u> C	40	K	No	<u>50</u>
MHR Mobile Home	10	—	—	<u>25</u> B	<u>25</u>	10 I	<u>30</u>	<u>25</u> B	<u>20</u>	K	No	<u>50</u>
A I	—	—	—	<u>25</u> B	<u>25</u>	10 I	<u>25</u> B	<u>20</u> C	40	K	No	10%
MFR-GHD Garden Home District	6	6,000	60	<u>20</u> B, H	<u>20</u>	0 D, J	5 B, H	4 C, H	40	K	Yes D	<u>50</u>

A.Lots of less than 120 feet wide require curbs. Lots 120 feet wide or greater may use open ditches.

B.Thirty-five feet on thoroughfares.

C.Twenty-five feet on thoroughfares.

D.Zero set-back on side only, minimum five-foot separation between buildings.

E.Ten foot minimum separation between buildings.

F.Lots currently in existence with less than 90 feet of width that have structures already built upon them may continue with the same existing set back for additions provided they are not less than a minimum of five feet.

G.Developer must elect either units per acre or lot area. Two family residential units on two lots are required when lot area is elected.

H.Front yard and exterior side yard setbacks shall be measured from the edge of the street ROW or the edge of the Drainage Utility/Access easement (if streets are private) whichever is greater.

I.Twenty-five feet when abutting land zoned single-family residential (SFR) district.

J.Ten feet when abutting land zoned anything other than MFR - GHD (Garden Home District).

K.Parking is required in accordance with the Parking Group Table in the Design Criteria Manual.

3. Area and height exceptions.

a. Unattached accessory buildings or structures less than 25 feet in height, as measured from the adjacent grade to the highest point of any portion of such building or structure, may be located in required rear or side yards within residential districts, provided they are set back not less than five feet from any interior side lot line, 20 feet from any side lot line adjacent to a side street, and ten feet from any rear lot line.

b. A building structure may not exceed 40 feet in height measured from the minimum habitable floor elevation; provided, however, that:

1. Buildings or structures in Community Shopping Center (CSC), Neighborhood Commercial (NC), Office Park (OPD), Light Industrial (LI), Industrial (I), Business Park (BP) districts may exceed 40 feet in height when:

a. The building setback from the nearest property line is equal to the building height. Further, the building or structure shall fit under an imaginary line that is not greater than 45.0 degrees at the property line from a horizontal line established at the minimum habitable floor elevation. Provided, however, no building or structure on property adjacent to a residential zone shall have a height that exceeds 50 feet unless a specific use permit shall have been granted therefore in accordance with subsection 9.G. of this appendix.

b. Buildings or structures of 40 feet or less in height shall meet the setback requirements as defined in this appendix.

2. Exceptions: Structures located within a General PUD or PUD-Mixed Use shall be exempt from the height limitations contained herein. Height limitations for buildings or structures located within a General PUD or PUD-Mixed Use application will be as established in the Ordinance authorizing and approving the Planned Unit Development.

3. The maximum height allowed for structures within the Downtown District (DD) is 70 feet as measured in accordance with the method prescribed in [Section 20](#), Definitions, subsection OO, Height.

c. Interior side yards shall not be required for abutting properties in the same zoning district if both properties are developed as a unit under a common development plan.

d. When individual attached townhouses or condominiums are to be sold separately, there shall be no minimum lot area requirements provided that the total land area of the project, including the land on which the units are located and the land held in common ownership by the unit owners, is equal to the total minimum land area required per dwelling unit or lot in the district in which the project is located.

e. The height regulations of this section shall not apply to belfries, chimneys, church spires, conveyors, cooling towers, elevator bulkheads, fire towers, storage towers, flagpoles, monuments, ornamental towers or spires, cranes, construction equipment,

smokestacks, stage towers and scenery lofts, tanks, water towers, ham radio and television antennas, microwave relay, radio and television transmission towers and items similar to those listed herein. The total combined maximum height for these items and the structure is 50 feet overall height, measured from the first finished floor to the highest point, unless otherwise approved by the planning and zoning commission.

f. Minimum front yard setbacks for lots with predominant frontage on the curved radius of a cul-de-sac shall be 15 feet.

g. Stairs in Certain Situations. In residential zoning districts that have minimum front yard requirements, uncovered stairways associated with a residential use may project into the required front yard but shall remain a minimum of 10 feet from the front property line, if:

1. A building is being elevated or reconstructed on an existing foundation to meet or exceed current City Flood Ordinance regulations; and
2. The stairway projection into the required front yard is limited to the minimum area required to meet elevation standards per the adopted building code(s); and
3. The stairway, at its widest point, shall not exceed 10 feet.



PLANNING & ZONING COMMISSION

**MINUTES OF A
REGULAR MEETING
HELD THURSDAY, MAY 17, 2018
AT 7:00 PM**

**CITY HALL
COUNCIL CHAMBERS
910 S. FRIENDSWOOD DRIVE
FRIENDSWOOD, TEXAS**

Regular Meeting

1. The Regular Meeting was called to order at 7:00pm with the following people in attendance:

Chairman Rhonda Neel
Commissioner Richard Sasson
Commissioner Eric Guenther
Becky Summers, Development Coordinator
Aubrey Harbin, City Planner/Director of CDD

Commissioner Brett Banfield
Commissioner Joe Matranga
Commissioner Dick Clark
Mary K. Fischer, City Attorney

2. Communication from the public/committee liaisons
(To comply with the provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects to be placed on a later regular Commission agenda for discussion and/or possible action.)

None.

3. Consent agenda
These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner or citizen so requests in which case the item would be removed from the consent agenda and considered separately.

a. Minutes from April 19, 2018 regular meeting

Motion to approve: Sasson

Second: Matranga

Vote: 6 to 0 Unanimous

Motion passed

Action Items

According to the Planning and Zoning Rules of Procedure (R2010-09), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

4. Consideration and possible action regarding proposed changes to **Zoning Ordinance Section 7.P.5. North American Industry Classification System (NAICS) Codes to change version reference from “1997” to the “current” North American Industry Classification System (NAICS) Codes**

Motion to approve: Sasson

Second: Neel

Vote: 6 to 0 Unanimous

Motion passed

Harbin explained the Ordinance Subcommittee had discussed and vetted the proposed change. She said staff’s recommendation was to change using the specific year of NAICS reference to “current.” She said the reference book was updated every five years and staff does look at the changes on an annual basis.

Sasson asked the City Attorney if she agreed with using the term “current” to which Fischer answered staff reviews the changes annually and she did not see any issues. Sasson said he understood other reference codes were also referred to as “current” to which Fischer confirmed it was more efficient.

5. Consideration and possible action regarding proposed changes to **Zoning Ordinance Section 7.P.6. Permitted Use Table, specifically to update to the 2017 NAICS Codes and to consider adding NAICS Use #425 Wholesale Electronic Markets and Agents and Brokers and to expand NAICS Use #447 Gasoline Stations to further define NAICS Use #447190 Other Gasoline Stations (gas stations without convenience stores, truck stops and marine service stations)**

Motion to approve: Clark

Second: Banfield

Vote: 6 to 0 Unanimous

Motion passed

Harbin explained the Permitted Use Table references the 2017 NAICS which enables the reader to know which version of the reference book is being used even though the ordinance will read “current.” She said while reviewing the PUT, staff found use 425 had been inadvertently left off during the last review.

Harbin said an inquiry had recently been made to develop a truck stop and staff found that truck stops fell under the broad category of gasoline stations. Staff’s recommendation is to expand use 447 to 447190 to allow more supervision of intensive uses such as truck stops. Sasson and Clark said the subcommittee agreed with the changes after much discussion to vet any possible unintended consequences.

Matranga asked if expanding uses from three to six digits creates issues. Harbin answered that several other uses are expanded under categories. She explained the number expansion just makes the uses more specific.

6. Consideration and possible action regarding proposed changes to **Zoning Ordinance Section 7. Q. 3. Area and Height exceptions, to allow stairs of an elevated house to encroach the front building line in certain situations**

Motion to approve: Sasson

Second: Clark

Vote: 6 to 0 Unanimous

Motion passed

Harbin said post hurricane several people were demolishing their homes and rebuilding elevated structures on the same lot. She said the elevation requires adding stairs to reach the main level and most homes are built right at the front building line causing the stairs to encroach. Harbin explained these residents are already handling enough issues and the City wanted to find a way to alleviate the need to request a variance in these specific situations. Harbin said staff modelled the ordinance language after the City of Galveston since they have many raised homes.

Sasson said the subcommittee grilled staff and agreed with the proposed language. He said the change seemed to be expedient and least intrusive for the citizens.

Clark voiced concern with the “minimum area required” wording. Harbin said the terms were discussed with the Building Official. Summers said the International Residential Code outlines specific stair requirements for tread and risers.

7. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

Motion to combine the regular and special meeting on June 4: Neel

Second: Clark

Vote: 6 to 0 Unanimous

Motion Passed

8. Communications from the Commission

a. Commissioners - No comments.

b. Planning Subcommittee Update – No comments.

c. Ordinance Subcommittee Update – No comments.

d. Council Liaison - Liaison pending – none present.

e. Staff – Harbin stated that liaison Jim Hill had termed out and that Council would be looking at new liaison schedules. She said the April DRC report had been emailed out prior to the meeting. Harbin also said the Commission would be looking to replace members, as well.

9. The meeting was adjourned at 7:24 pm.

These minutes respectfully submitted by:

Becky Summers

Becky Summers

Development Coordinator/P&Z Secretary

Friendswood Plaza Reserve B Partial Replat

1. [Compliance memo](#)
2. [Plat page 1](#)

Memo

To: Planning and Zoning Commission

From: Becky Summers, Development Coordinator

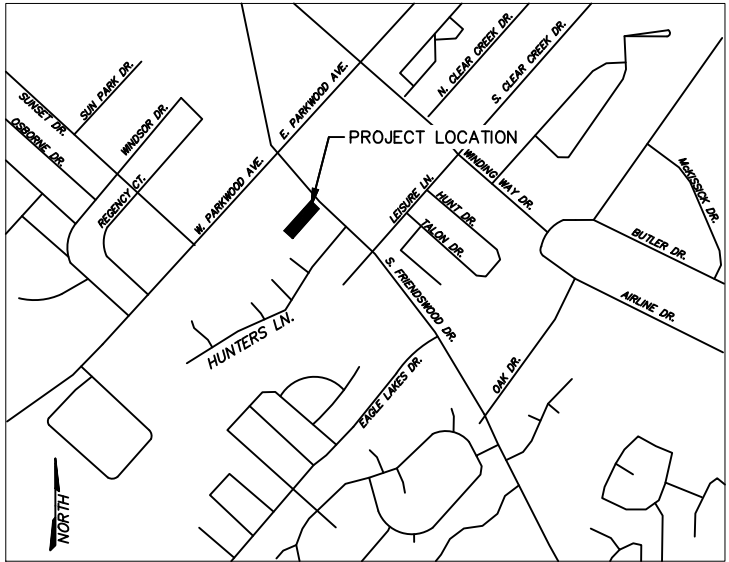
Date: May 30, 2018

Re: Friendswood Plaza Reserve B
Replat

Project Description: Changing the use of Reserve B from drainage to commercial use. The drainage will be installed in underground pipes and conveyed to a regional detention system.

The plan has been reviewed by staff in the following departments: Planning, Public Works/Engineering, Fire Marshal, and Police Department. The proposed project appears to be in compliance with current City code.

The plan is subject to review and approval by the Planning and Zoning Commission.



THE STATE OF TEXAS, COUNTY OF GALVESTON
THIS IS TO CERTIFY THAT JEROME M. KARAM, PRESIDENT OF JMK 5 HOLDINGS, LLC, AM THE LEGAL OWNER OF THE
LAND SHOWN ON THIS PLAT, BEING THE TRACT OF LAND AS CONVEYED TO US BY DEED DATED AND RECORDED IN
CLERK'S FILE NO. 201008440 OF THE DEED RECORDS OF GALVESTON COUNTY, TEXAS, AND DESIGNATED HEREIN AS
REPLAT OF FRIENDSWOOD PLAZA RESERVE "B" SUBDIVISION IN THE CITY OF FRIENDSWOOD, TEXAS.

FURTHER, I, THE UNDERSIGNED, DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS,
PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN ON THIS PLAT FOR THE PURPOSE AND
CONSIDERATION THEREIN EXPRESSED.

FURTHER OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC
UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY
AN ADDITIONAL ELEVEN FEET, SIX INCHES (11'6") FOR TEN FEET (10' 0") PERMETER GROUND EASEMENTS OR SEVEN
FEET, SIX INCHES (7'6") FOR FOURTEEN FEET (14' 0") PERMETER GROUND EASEMENTS OR FIVE FEET, SIX INCHES
(5'6") FOR SIXTEEN FEET (16' 0") PERMETER GROUND EASEMENTS FROM A PLANE SIXTEEN (16' 0") ABOVE THE
GROUND LEVEL UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENT THAT ARE DESIGNATED
WITH AERIAL EASEMENTS (U, E, AND A, E) AS INDICATED AND DEPICTED HEREON WHEREBY THE AERIAL EASEMENTS
TOTALS TWENTY-ONE, SIX INCHES (21' 6") IN WIDTH.

FURTHER OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC
UTILITY PURPOSE FOREVER UNOBSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY
AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8'
0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS, OR SEVEN FEET (7' 0") FOR SIXTEEN FEET
(16' 0") BACK-TO-BACK GROUND EASEMENT FROM A PLANE SIXTEEN (16' 0") ABOVE GROUND LEVEL UPWARD,
LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH
AERIAL EASEMENTS (U, E, AND A, E) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENTS TOTALS
THIRTY FEET (30' 0") IN WIDTH.

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THIS REPLAT DOES NOT ATTEMPT TO AMEND OR REMOVE ANY
COVENANTS OR RESTRICTIONS.

WITNESS MY HAND IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS THIS _____ DAY OF _____, 2018.

JEROME KARAM, PRESIDENT
JMK 5 HOLDINGS, LLC

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JEROME KARAM, KNOWN TO ME TO
BE THE PERSON WHOSE NAME IS SUBSCRIBED TO BE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY
EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 2018.

NOTARY IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

CITY OF FRIENDSWOOD

THIS IS TO CERTIFY THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF FRIENDSWOOD, TEXAS, HAS
APPROVED THIS PLAT AND SUBDIVISION OR REPLAT OF FRIENDSWOOD PLAZA RESERVE "B" IN CONFORMANCE WITH ALL
OF THE EXISTING RULES AND REGULATIONS OF THE CITY AS ADOPTED BY THE CITY COUNCIL AND AUTHORIZED THE
RECORDING OF THIS PLAT THIS _____ DAY OF _____, 2018.

BY: BECKY SUMMERS, DEVELOPMENT COORDINATOR

BY: RHONDA NEEL, CHAIRMAN

I, PATRICK DONART, P.E., C.F.M. - DIRECTOR OF PUBLIC WORKS/CITY ENGINEER
OF THE CITY OF FRIENDSWOOD, TEXAS DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL
OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE CITY OF FRIENDSWOOD, TEXAS, AND
FURTHER IT COMPLIES WITH ALL OF THE ORDINANCES AS CURRENTLY ADOPTED BY THE CITY COUNCIL.

PATRICK DONART, P.E., C.F.M. - DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

STATE OF TEXAS
COUNTY OF GALVESTON

I, DWIGHT D. SULLIVAN, COUNTY CLERK, GALVESTON COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WAS
FILED FOR RECORD IN MY OFFICE ON _____, 2018, AT _____ O'CLOCK, _____ M, AND DULY RECORDED
ON _____, 20 _____ AT _____ O'CLOCK, _____ M. INSTRUMENT # _____ GALVESTON COUNTY
RECORDS.

WITNESS MY HAND AND SEAL OF OFFICE, AT GALVESTON, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.
DWIGHT D. SULLIVAN
COUNTY CLERK
GALVESTON COUNTY, TEXAS

BY: _____ DEPUTY

KNOW ALL MEN BY THESE PRESENTS:
THAT I, CASEY FAIRCLOTH, DO HEREBY CERTIFY THAT I MADE AN ACTUAL AND ACCURATE SURVEY OF THE PLATTED LAND,
AND THAT THE CORNER MONUMENTS SHOWN ON THE FOREGOING PLAT WERE PROPERLY PLACED UNDER MY PERSONAL
SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION AND DEVELOPMENT ORDINANCE OF THE CITY OF FRIENDSWOOD, TEXAS.

CASEY W. FAIRCLOTH
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6262



APPROVED BY THE GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT

DIRECTOR DATE
DIRECTOR DATE

THIS IS TO CERTIFY THAT THE ABOVE WAS SIGNED BASED ON THE RECOMMENDATION OF THE
DISTRICT'S ENGINEER HAVING REVIEWED ALL SHEETS PROVIDED AND FOUND THEM TO BE IN
GENERAL COMPLIANCE WITH THE DISTRICT'S "DRAINAGE CRITERIA MANUAL". THIS APPROVAL IS
ONLY VALID FOR THREE HUNDRED SIXTY-FIVE (365) CALENDAR DAYS. PLEASE NOTE THAT THIS
DOES NOT NECESSARILY MEAN THAT THE PLAT HAS BEEN COMPLETELY CHECKED AND VERIFIED.
THIS PLAT AS SUBMITTED WAS PREPARED, SIGNED, AND SEALED BY A PROFESSIONAL LAND
SURVEYOR LICENSED TO PRACTICE SURVEYING IN THE STATE OF TEXAS, WHICH CONVEYS
RESPONSIBILITY AND ACCOUNTABILITY TO THAT SURVEYOR.

LEGAL DESCRIPTION

Being a 1.140 acre tract of land located in the Sarah McKissick League, A-151, Galveston County, Texas and
being all of Restricted Reserve "B" of the Final Plat of Friendswood Plaza as recorded in Volume 18, Page
377 of the Galveston County Map Records; and being more particularly described by metes and bounds as
follows:

BEGINNING at a TxDOT Disc in concrete found for the easterly corner of said Reserve "B" being in the
southwesterly right-of-way line of F.M. 518, a.k.a. South Friendswood Drive (140 R.O.W.);

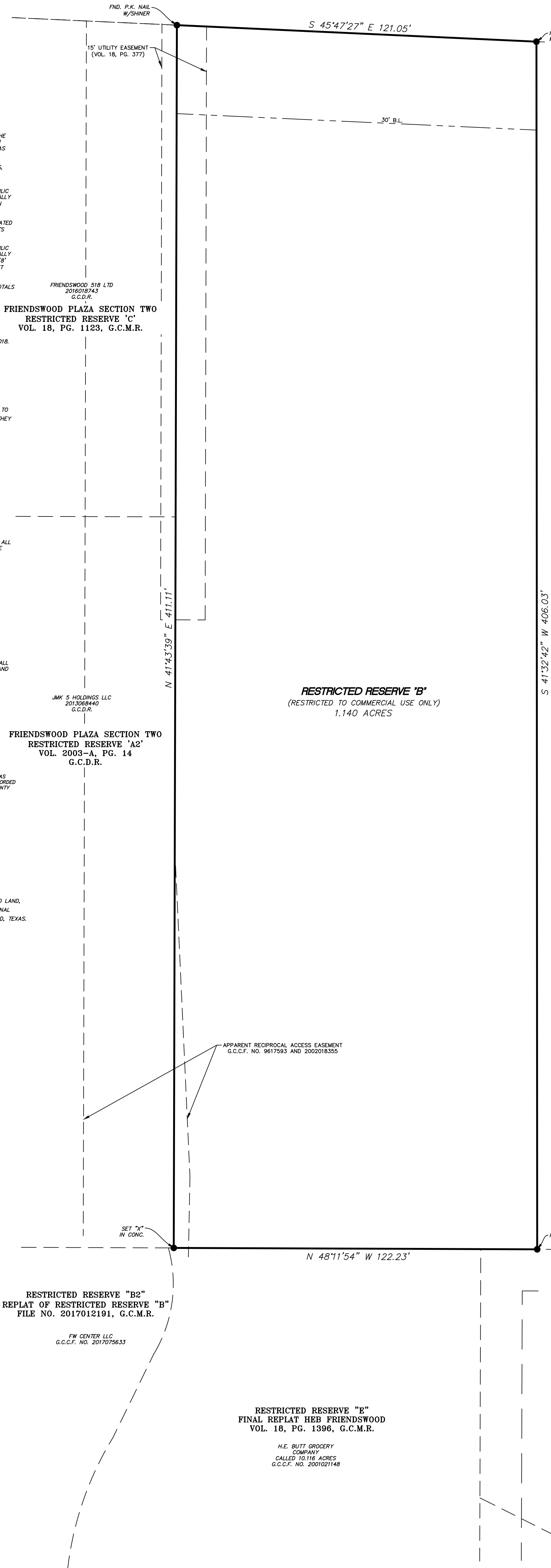
THENCE S 41°32'42" W along the southeast line of said Reserve "B" a distance of 406.03 feet to a 5/8 inch iron
rod found in the north line of Lot 3, Hunters Creek Estates as recorded in File No. 2009005429 of the
Galveston County Map Records;

THENCE N 48°11'54" W along the southwest line of said Reserve "B" and with the northeast line of said Lot 3,
and the northeast line of Restricted Reserve "E" of the Final Replat HEB Friendswood as recorded in Volume
18, Page 1396, G.C.M.R., a distance of 122.23 feet to a "X" in concrete set for corner, and being the south
corner of Restricted Reserve "A2" of Friendswood Plaza Section Two, as recorded in Vol 2003-a, Page 14,
G.C.D.R.;

THENCE N 41°43'39" E, along the northwest line of said Restricted Reserve "B" and with the southeast line of
said Restricted Reserve "A2"; and the southeast line of Restricted Reserve "C" of said Friendswood Plaza, a
distance of 411.11 feet to a P.K. Nail with shiner found for the northwest corner of said Restricted Reserve
"B"; and being in the southwest right-of-way line of said F.M. 518;

THENCE with the southwest right-of-way line of said F.M. 518, and along the northeast line of said Restricted
Reserve "B"; a distance of 121.05 feet to the POINT OF BEGINNING of the herein described tract and
containing 1.140 acres of land, more or less.

F.M. 518 (S. FRIENDSWOOD DR.)
(CALLED 140' WIDE)



GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT'S NOTES

1. BUILDINGS, FENCES OR OTHER STRUCTURES SHALL NOT BE ERECTED IN GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT RIGHT-OF-WAYS OR DRAINAGE EASEMENTS. FURTHERMORE, NO PERMANENT IMPROVEMENTS INCLUDING LANDSCAPING, PAWING, TREES, SPRINKLERS, UTILITIES, PLAYGROUND EQUIPMENT, PARK BENCHES, TABLES, SPORT FIELDS, PIERS, OR SIDEWALKS SHALL BE CONSTRUCTED WITHIN SAID RIGHT-OF-WAYS OR DRAINAGE EASEMENTS WITHOUT THE APPROVAL OF THE DISTRICT.
2. THE DETENTION AND DRAINAGE FACILITIES ARE TO BE MAINTAINED BY THE PROPERTY OWNERS.
3. NO BUILDING PERMIT SHALL BE ISSUED FOR ANY LOT WITHIN THIS SUBDIVISION UNTIL A DETENTION AND DRAINAGE PLAN HAS BEEN APPROVED BY THE GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT.
4. ADDITIONAL DRAINAGE EASEMENTS MAY BE REQUIRED AT THE TIME A DRAINAGE PLAN IS SUBMITTED TO THE GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT FOR APPROVAL.
5. PLANTINGS, FLOWER BEDS, OR OTHER LANDSCAPING IS NOT PERMITTED IN SIDE LOT DRAINAGE OR DETENTION EASEMENTS.
6. NO BUILDING PERMIT SHALL BE APPLIED FOR UNTIL ALL DRAINAGE AND DETENTION FACILITIES ARE CONSTRUCTED, INSPECTED AND APPROVED BY THE DISTRICT.
7. NO PERMANENT IMPROVEMENTS INCLUDING LANDSCAPING, PAWING, TREES, SPRINKLERS, UTILITIES, PLAYGROUND EQUIPMENT, PARK BENCHES, TABLES, SPORT FIELDS, PIERS, OR SIDEWALKS SHALL BE CONSTRUCTED WITHIN SAID RIGHT-OF-WAYS OR DRAINAGE EASEMENTS WITHOUT THE APPROVAL OF THE DISTRICT.

GENERAL NOTES

1. U.E. - INDICATES UTILITY EASEMENT
2. B.L. - INDICATES BUILDING LINE
3. W.L.E. - INDICATES WATER LINE EASEMENT
4. S.S.E. - INDICATES SANITARY SEWER EASEMENT
5. S.T.M.S.E. - INDICATES STORM SEWER EASEMENT
6. A.E. - INDICATES AERIAL EASEMENT
7. D.E. - INDICATES DRAINAGE EASEMENT
8. G.C.C.F. - INDICATES GALVESTON COUNTY CLERK'S FILE
9. G.C.M.R. - INDICATES GALVESTON COUNTY MAP RECORDS
10. G.C.D.R. - INDICATES GALVESTON COUNTY DEED RECORDS
11. I.E./P.U.E. - INDICATES INGRESS/EGRESS AND PUBLIC UTILITY EASEMENT
12. ALL OF THE PIPELINE EASEMENTS ARE SHOWN HEREON.
13. SIDEWALKS AND ADA RAMPS ARE REQUIRED ALONG ALL CURB AND OUTTER STREETS PER THE APPROVED SIDEWALK ACCESSIBILITY PLAN. THE DEVELOPER MUST INSTALL SIDEWALKS AND ADA RAMPS ALONG RESERVES AND COMMON AREAS PRIOR TO THE CITY COUNCIL'S ACCEPTANCE OF SUBDIVISION INFRASTRUCTURE. WHEN SIDEWALKS ARE REQUIRED THEY SHALL BE A WIDTH OF NO LESS THAN FOUR FEET AND COMPLY WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
14. NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE PERMITTED TO BE BUILT NEARER THAN 150 FEET AWAY FROM AN WELL OR RELATED FACILITY, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE WELL OR FACILITY.
15. EXCEPT FOR LOW-PRESSURE DISTRIBUTION SYSTEM PIPELINES AS DEFINED IN CHAPTER 26, OF THE FRIENDSWOOD CITY CODE, NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE ERECTED OR MOVED TO A LOCATION NEARER THAN 50 FEET TO ANY PIPELINE, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE PIPELINE.
16. THE CITY OF FRIENDSWOOD SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE STREETS (DRIVEWAYS, SIDEWALKS, AND EMERGENCY ACCESS EASEMENTS), WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES (DETENTION PONDS, DRAINAGE EASEMENTS, OUTFALLS AND SWALES), RECREATIONAL AREAS, RESERVES AND OTHER PRIVATE FACILITIES THAT ARE WITHIN PRIVATE EASEMENTS; THE PROPERTY OWNER, SHALL BE RESPONSIBLE FOR THESE ITEMS. THE CITY OF FRIENDSWOOD SHALL BE RESPONSIBLE FOR MAINTENANCE OF PUBLIC STREETS, SIDEWALKS, STREET SIGNS, WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES, DRAINAGE EASEMENTS, OUTFALLS AND SWALES THAT ARE WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN PUBLIC AND/OR EXCLUSIVE EASEMENTS. THE MAINTENANCE OF STREET LIGHTS SHALL BE THE RESPONSIBILITY OF TEXAS NEW MEXICO POWER.
17. ALL UTILITY COMPANIES HAVE BEEN CONTACTED AND THE EASEMENTS SHOWN ON THE PLAT CONSTITUTE ALL OF THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES FOR THEIR OPERATIONS.
18. THE FINISHED FLOOR ELEVATIONS OF ALL STRUCTURES SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATIONS ESTABLISHED BY FEMA, AND AS PRESCRIBED IN THE FLOOD DAMAGE PREVENTION ORDINANCE OF THE CITY OF FRIENDSWOOD, TEXAS.
19. ANY AND ALL RIGHT OF WAY ISLANDS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT, EVEN IF NOT SHOWN ON THE FACE OF THE PLAT, SHALL BE MAINTAINED BY THE PROPERTY OWNER.
20. THIS BOUNDARY SURVEY SHALL CLOSE TO WITHIN 1:10,000.
21. ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END STREETS WHERE SUCH STREETS ADJUT ADJACENT ACREAGE TRACTS THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THERETO SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS OR SUCCESSORS.
22. THIS PROPERTY IS SUBJECT TO AN EASEMENT FOR UNDERGROUND STORM SEWER PIPE AS AGREED UPON IN FILE NUMBER 9617594, D.R.G.C., SAID EASEMENT CAN NOT BE PLOTTED.
23. CPL FROM STEWART TITLE LISTS THE FOLLOWING ITEMS THAT DO NOT IMPACT THIS TRACT:
- BUILDING SET BACK LINE 25 FEET IN WIDTH, RECORDED PLAT IN VOLUME 16, PAGE 377, G.C.M.R. (REPLACED WITH 30' B.L. BY THIS PLAT)
- SIGNAGE AGREEMENT - G.C.C.F. NO. 9617595 - DOES NOT AFFECT
24. RECDROP ACCESS EASEMENT SHOWN IS APPROXIMATE AND IS BASED ON CURRENT LOCATION OF DRIVE, NO LIMITS OF RECDROP ACCESS EASEMENT WERE NOT SPECIFICALLY DESCRIBED IN G.C.C.F. NO. 9617593 AND 2002018355.

798 REAL ESTATE CORP
CALLED 2.7052 ACRES
FILE NO. 201205456
G.C.D.R.

RESTRICTED RESERVE "B"
(RESTRICTED TO COMMERCIAL USE ONLY)
1.140 ACRES

FRIENDSWOOD PLAZA SECTION TWO
RESTRICTED RESERVE "A2"
VOL. 2003-A, PG. 14
G.C.D.R.

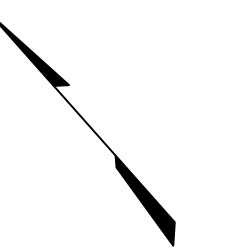
JMK 5 HOLDINGS LLC
2013068440
G.C.D.R.

HUNTERS CREEK ESTATES PRIVATE
CLERKS FILE NO. 2009005429, M.R.G.C.

RESTRICTED RESERVE "E"
FINAL REPLAT HEB FRIENDSWOOD
VOL. 18, PG. 1396, G.C.M.R.

H.E. BUTT GROCERY
COMPANY
CALLED 10.116 ACRES
G.C.C.F. NO. 200102148

LOT 3



LEGEND
--- UTILITY EASEMENT
--- BUILDING LINE

REPLAT OF FRIENDSWOOD PLAZA-RESERVE "B"

-BEING-
A TRACT OF LAND LOCATED IN THE SARAH MCKISSICK
LEAGUE, A-151
GALVESTON COUNTY, TEXAS
1.140 ACRES

REASON FOR REPLAT:
(1) CHANGE RESTRICTED RESERVE USE FROM
DETENTION TO COMMERCIAL
(2) ADJUST FRONT BUILDING LINE TO 30' PER CITY ORDINANCE

OWNER:
JEROME M. KARAM
308 W. PARKWOOD AVE, STE. 104-A
FRIENDSWOOD, TEXAS 77546
281-482-7233

SURVEYOR:
CORNERSTONE SURVEY GROUP, LLC
907 S. FRIENDSWOOD DRIVE, SUITE 203
FRIENDSWOOD, TEXAS 77546
281-993-3777

NO.	DATE	REVISION	BY	APPD.
1	5/2/18	SUBMIT FOR PRELIMINARY REVIEW	AJT	CMF
2	5/21/18	ADDRESSED COMMENTS FROM CITY REVIEW	AJT	CMF

JOB NO.: 18-0045
DRAWN BY: CMF
BEARING BASE: TEXAS COORDINATE SYSTEM
OF 1983, SOUTH CENTRAL ZONE 4204
FIELD DATE: 03/05/2018
DATE SUBMITTED: 04/27/2017
SHEET 1 OF 1



CORNERSTONE SURVEY GROUP, LLC
907 S. FRIENDSWOOD DRIVE, SUITE 203
FRIENDSWOOD, TEXAS 77546
TBPLS FIRM #10194306