

NOTICE OF A REGULAR MEETING OF THE CITY OF FRIENDSWOOD PLANNING AND ZONING COMMISSION, TO BE HELD THURSDAY, AUGUST 16, 2018, BEGINNING AT 7 PM, IN THE COUNCIL CHAMBERS AT CITY HALL LOCATED AT 910 S. FRIENDSWOOD DRIVE, FRIENDSWOOD, TEXAS

1. Call to order
2. Communication from the public/committee liaisons
(To comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects be placed on a later regular Commission agenda for discussion and/or possible action.)
3. **Oath of Office:** Aubrey Harbin, Notary Public, will administer **Oath of Office for new Commissioner, Marc Perry**
4. Consent agenda
These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner or citizen so requests in which case the item would be removed from the consent agenda and considered separately.

A. Minutes from August 2, 2018

B. Minutes from August 6, 2018

Action Items

According to the Planning and Zoning Rules of Procedure (R2010-09), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

5. Consideration and possible action regarding **Sterling Creek Section 3-B Preliminary Plat, a Private Subdivision**, being 7.9426 acres of land out of a called 194.21 acre tract of land known as Tract A and being recorded in Clerk's File No. 2010059686, comprised of the residue of Lots 14, 15, 16 out of the David Fahey Subdivision recorded in Volume 118, Page 417 and being situated in the Mary Fabreau Survey, A-69, Friendswood, Galveston County, Texas
6. Consideration and possible action regarding a **site plan amendment for Tires By Design located at 3516 FM 528 to amend the fence material from stone veneer finish to wood fence**
7. Consideration and possible action regarding **site plan approval for Grease Monkey to be located at 2205 W. Parkwood Ave, in the Fountains at Friendswood development**
8. Consideration and possible action regarding **site plan approval for Virgata Commons, two new buildings to be located at 1765 and 1769 S. Friendswood Drive, at the corner of FM 518 and Leisure Lane**
9. Consideration and possible action regarding **site plan approval for Friendswood Dermatology to be located at 6 Oak Tree Drive**

10. Consideration and possible action regarding appointments to the:

Planning Subcommittee and Ordinance Subcommittee and

Updating the Liaison Assignments

11. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

Monday, September 10 – JPH with City Council; Special and Regular Meeting

Thursday, September 20 – Regular Meeting

12. Communications from the Commission

- a. Commissioners

Suggestions for future agenda items and general comments

Updates from liaison assignments

- b. Council Liaison – Sally Branson

- c. Staff

13. Adjournment



PLANNING & ZONING COMMISSION

**MINUTES OF A
REGULAR MEETING
HELD THURSDAY, AUGUST 2, 2018
AT 7:00 PM**

**CITY HALL
2ND FLOOR CONFERENCE ROOM
910 S. FRIENDSWOOD DRIVE
FRIENDSWOOD, TEXAS**

Regular Meeting

1. The Regular Meeting was called to order at 7:00pm with the following people in attendance:

Vice Chairman Brett Banfield
Commissioner Richard Sasson
Commissioner Dick Clark
Becky Summers, Development Coordinator
Aubrey Harbin, City Planner/Director of CDD

Commissioner Eric Guenther
Commissioner Joe Matranga
Commissioner Lisa Lundquist

Absent: Fischer, Perry

2. Communication from the public/committee liaisons
(To comply with the provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects to be placed on a later regular Commission agenda for discussion and/or possible action.)

No public comments.

3. **Oaths of Office:** Aubrey Harbin, Notary Public, will administer **Oaths of Office for one reappointed Commissioner, Richard Sasson, and one new Commissioner, Lisa Lundquist**

Harbin administered oaths of office to Sasson then Lundquist.

4. Consideration and possible action regarding **election of a new chairperson and vice Chairperson**

Motion to appoint Joe Matranga chairperson: Sasson

Second: Guenther

Vote: 6 to 0 Unanimous

Motion Passed

Motion to appoint Richard Sasson vice-chairperson: Matranga

Second: Clark

Vote: 6 to 0 Unanimous

Motion Passed

5. Consent agenda

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner or citizen so requests in which case the item would be removed from the consent agenda and considered separately.

A. Minutes from June 21, 2018 regular meeting

Motion to approve: Sasson

Second: Guenther

Vote: 6 to 0 Unanimous

Motion Passed

Action Items

According to the Planning and Zoning Rules of Procedure (R2010-09), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

6. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

Monday, August 6 – JPH with City Council

Thursday, August 16 – Regular Meeting

7. Communications from the Commission

a. Commissioners – Sasson said the subcommittees needed to be re-established.

b. Council Liaison – Branson congratulated the new Commissioner appointments.

c. Staff – Aubrey said the June and July DRC Reports were sent out. She welcomed the new Commissioners on board.

8. The meeting was adjourned at 7:08pm.

These minutes respectfully submitted by:

Becky Summers

Becky Summers

Development Coordinator/P&Z Secretary



PLANNING & ZONING COMMISSION

MINUTES OF A
SPECIAL & REGULAR MEETING
HELD MONDAY, AUGUST 6, 2018
AT 7:00 PM

CITY HALL
COUNCIL CHAMBERS & 2ND FLOOR
CONFERENCE ROOM
910 S. FRIENDSWOOD DRIVE
FRIENDSWOOD, TEXAS

Joint Public Hearing

1. The Joint Public Hearing began at 7:00pm with the following people in attendance:

Chairman Joe Matranga
Commissioner Richard Sasson
Commissioner Dick Clark
Becky Summers, Development Coordinator
Aubrey Harbin, City Planner/Director of CDD
City Council

Commissioner Brett Banfield
Commissioner Eric Guenther
Commissioner Lisa Lundquist
Mary Kay Fischer, City Attorney
Morad Kabiri, City Manager

Absent: Perry

2. Receive comments from the public, both oral and written, regarding:

- A. **Zone change request** for a .3337 acre tract of land in the Sarah McKissick League Survey, Abstract 151, Galveston County, Texas, being out of Lot 9, Block 2 Friendswood Subdivision, also known as **315 S. Friendswood Drive, to change from Light Industrial (LI) to Downtown District (DD)**

Harbin explained the existing building is a grandfathered structure and the property owner wanted to change the zoning to opt into the Downtown District.

- B. **Zone change request** for a tract of land containing .6804 acres situated in the Sarah McKissick Survey, Abstract 549, Harris County, Texas, being out of "Reserve A" of Forest Creek Subdivision also known as **4203 Friendswood Link Rd., to change from Neighborhood Commercial (NC) to Neighborhood Commercial with a Specific Use Permit (NC/SUP) to allow NAICS Use #713940 Fitness and Recreational Sports Centers**

Harbin explained the site held an existing, out of use car wash and the applicants were proposing to demolish the car wash to build a new fitness center with exercise and nutrition programs. She said the use would require a Specific Use Permit and the

proposed plans would be tied to the ordinance. Harbin added that Staff suggested using the existing trees along the rear property line to count towards required landscaping. She said removing the trees and planting new, different class trees in the easement was not advised.

3. The Joint Public Hearing adjourned at 7:05pm.

Regular Meeting

1. The regular meeting was called to order at 7:08pm with the same people in attendance minus the City Attorney, City Manager, and City Council.
2. Communication from the public/committee liaisons
(To comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects be placed on a later regular Commission agenda for discussion and/or possible action.)

None.

Action Items

According to the Planning and Zoning Rules of Procedure (R2010-09), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

3. Consideration and possible action regarding a **zone change request for a tract of land containing .6804 acres situated in the Sarah McKissick Survey, Abstract 549, Harris County, Texas, being out of "Reserve A" of Forest Creek Subdivision also known as 4203 Friendswood Link Rd., to change from Neighborhood Commercial (NC) to Neighborhood Commercial with a Specific Use Permit (NC/SUP) to allow NAICS Use #713940 Fitness and Recreational Sports Centers**

Motion to approve: Banfield

Second: Clark

Vote: 6 to 0 Unanimous

Motion Passed

Sasson stated he liked the plan presented. He asked if the wood fence would be replaced. Ben Sundin/architect answered the wood fence adjacent to the residential neighbor would be replaced and the chain link fence around the AT&T site would remain.

Clark asked what hours the business planned to operate. Mr. Parker/applicant said his existing facility opens at 5:00am for general gym use and they hold classes a few times a day. He said the new location would have similar hours. Lundquist asked if the gym would adjust their hours due to the school across the street, considering school zone times. Mr. Parker stated many of his clients have school aged children and the business hours should remain fine.

Guenther asked if the facility would produce noise for the neighboring residents. Parker answered they play music inside the building at their existing site and it does not affect the neighbors. Guenther asked if AT&T would be able to access their site in the rear.

Sundin said arrangements have been made with AT&T to use the gym's parking lot for access.

Matranga questioned if onsite detention was being utilized. Sundin and Harbin said the civil engineer would be submitting drainage plans following zoning approval. Matranga asked if the fence between the site and the day care would remain in place. Sundin said the fence belonged to the day care and would remain.

Guenther asked what recourse neighbors would have should the facility be too loud. Summers answered the City has a noise ordinance and the neighbors could contact the Police Department to file a noise complaint.

Lundquist asked what colors the building would be. Alice Parker presented a preliminary colored rendering showing a blue and gray theme.

4. Consideration and possible action regarding a **zone change request for a .3337 acre tract of land in the Sarah McKissick League Survey, Abstract 151, Galveston County, Texas, being out of Lot 9, Block 2 Friendswood Subdivision, also known as 315 S. Friendswood Drive, to change from Light Industrial (LI) to Downtown District (DD)**

Motion to approve: Sasson

Second: Clark

Vote: 6 to 0 Unanimous

Motion Passed

Lunquist asked what being "grandfathered" meant for this property. Harbin said the building and site could remain as is but the owners could choose to add the Downtown District improvements. She said if the building is expanded, the new portion must meet current code.

Guenther questioned if there was a proposed tenant for the building. Harbin said the new owners currently had a yarn shop in League City and were wanting to relocate to Friendswood.

Banfield said he thought it was a no-brainer to change the zoning from Light Industrial to Downtown District.

5. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

Thursday, August 16, 2018

Thursday, September 6, 2018

Monday, September 10, 2018 – JPH with City Council

Thursday, September 20, 2018

Motion to move Sept 6 to Sept 10 meeting: Sasson

Second: Guenther

Vote: 6 to 0 Unanimous

Motion Passed

6. Communications from the Commission

- a. Commissioners – Matranga said he will start working on new liaison assignments.
 - b. Staff – Harbin reminded the Commission the American Planning Association conference would be held in Galveston in October. Lundquist said she would not be able to attend.
7. The regular meeting adjourned at 7:34 pm.

These minutes respectfully submitted by:

Becky Summers

Becky Summers
Development Coordinator/P&Z Secretary

Sterling Creek Section 3-B, a Private Subdivision, Preliminary Plat

20 lots, 2 reserves, and 2 blocks

1. [Compliance memo](#)
2. [Preliminary Plat pg 1](#)
3. [Preliminary Plat pg 2](#)

Memo

To: Planning and Zoning Commission

From: Becky Summers, Development Coordinator

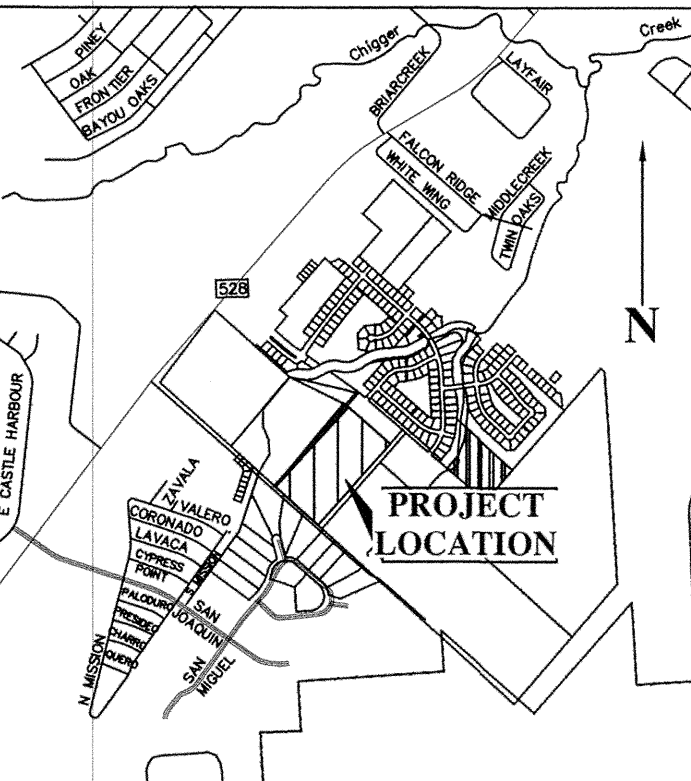
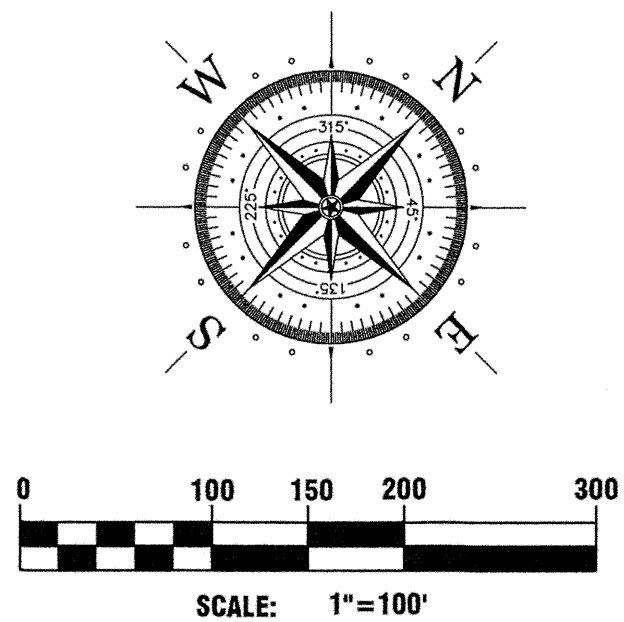
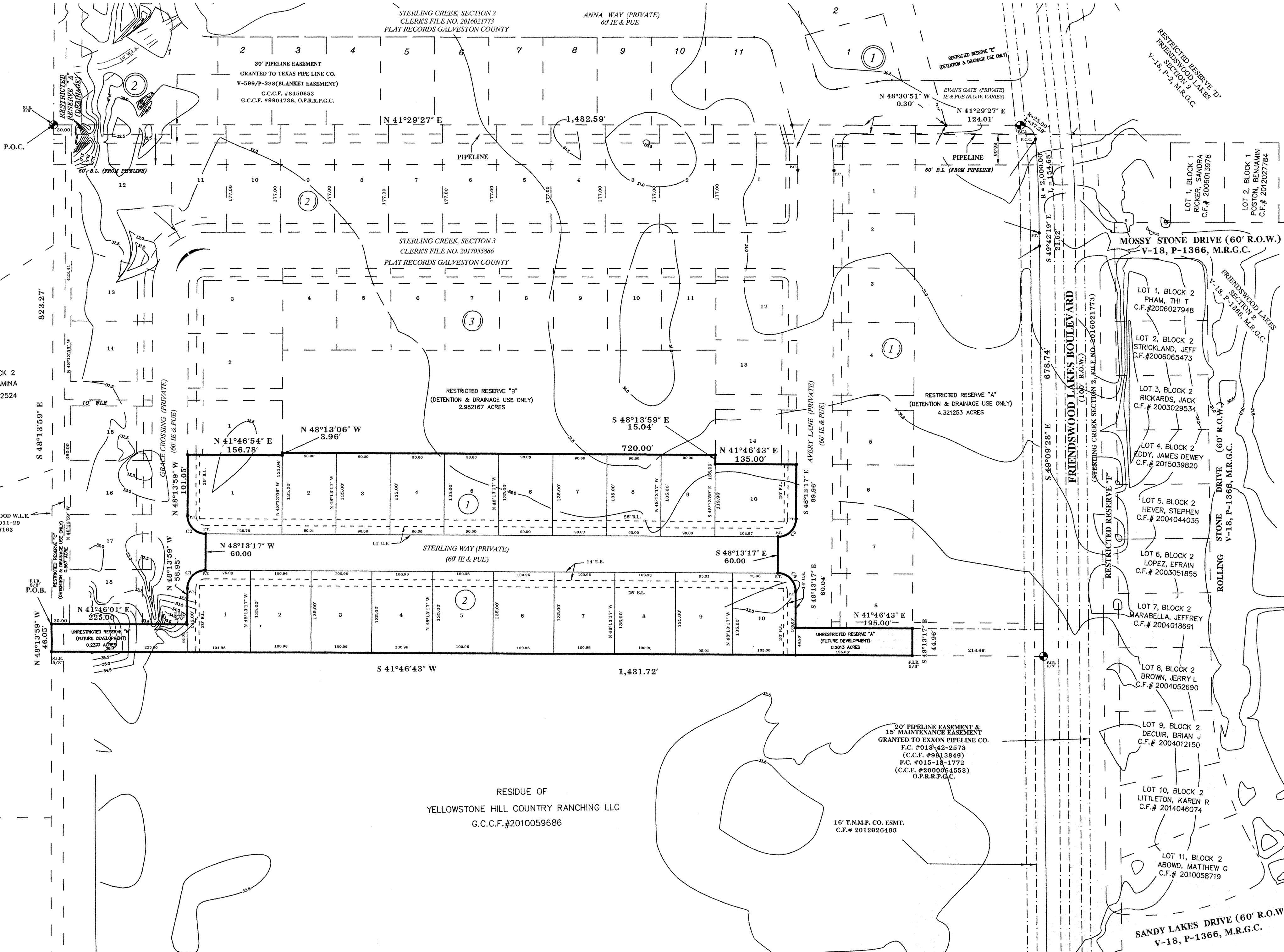
Date: August 10, 2018

Re: Sterling Creek Section 3-B
Preliminary Plat

Project Description: The proposed development is part two of the third phase of Sterling Creek residential subdivision.

The plan has been reviewed by staff in the following departments: Planning, Public Works/Engineering, Fire Marshal, Parks, and Police Department. The proposed project appears to be in compliance with current City codes.

The plan is subject to review and approval by the Planning and Zoning Commission.

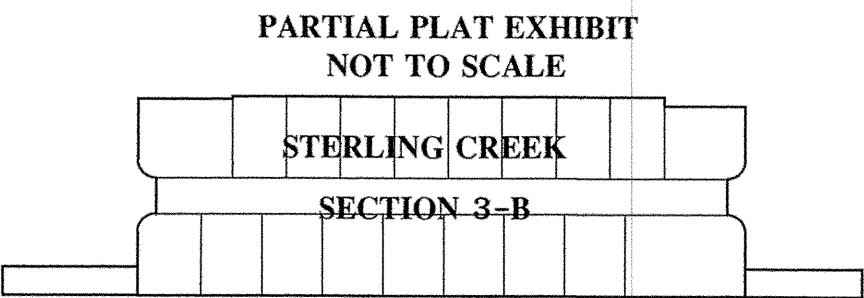


VICINITY MAP
SCALE: 1" = 2000'

LOT AND BLOCK TABLE			
BLOCK	LOT	AREA (SQ. FT)	ACREAGE
1	1	20,350.29	0.467
1	2	12,150.46	0.279
1	3	12,150.00	0.279
1	4	12,150.00	0.279
1	5	12,150.00	0.279
1	6	12,150.00	0.279
1	7	12,150.00	0.279
1	8	12,150.00	0.279
1	9	12,151.85	0.279
1	10	15,999.39	0.367
2	1	13,981.59	0.321
2	2	13,629.60	0.313
2	3	13,629.60	0.313
2	4	13,629.60	0.313
2	5	13,629.60	0.313
2	6	13,629.60	0.313
2	7	13,629.60	0.313
2	8	13,629.60	0.313
2	9	12,828.81	0.294
2	10	13,981.86	0.321

RESERVE TABLE			
RESERVE	PURPOSE	ACRES	SQ-FT
A	FUTURE DEVELOPMENT	0.2013	8,767.20
B	FUTURE DEVELOPMENT	0.2378	10,361.25

	RADIUS	LENGTH	CHORD BEARING
C1	30.00	47.13	N 03°13'38" W
C2	30.00	47.14	N 86°44'57" W
C3	30.00	47.12	S 03°13'17" E
C4	30.00	47.12	S 86°46'43" W



PRELIMINARY PLAT OF
STERLING CREEK SECTION 3-B
7.9426 ACRES

7.9426 ACRES OF LAND OUT OF A CALLED 194.21 ACRE TRACT OF LAND KNOWN AS TRACT A AND BEING RECORDED IN CLERK'S FILE NO. 2010059686, COMPRISED OF THE RESIDUE OF LOTS 14,15,16 OUT OF THE DAVID FAHEY SUBDIVISION RECORDED IN VOL. 118, PG. 417 AND BEING SITUATED IN THE MARY FABREAU SURVEY, A-69

FLOOD STATEMENT

THIS TRACT IS LOCATED IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. THIS IS ACCORDING TO FIRM NUMBER 4854680005E DATED SEPTEMBER 22, 1999.

BENCHMARK

EL 32.39

USGS BENCH MARK DISK (PID-AW1000), 3.3 MILES NE ALONG FM 528 FROM THE INTERSECTION OF STATE HIGHWAY 35 IN ALVIN TO THE MARK ON THE LEFT AT THE NE CORNER OF A CHAIN LINK FENCE AROUND A PHILLIPS PETROLEUM COMPANY VALVE STATION WITH HIGH PRESSURE GAS LINE, 279 FEET NE OF THE CENTER LINE OF WINDSONG STREET. THE MARK IS 2 FEET EAST FROM A WITNESS POST AND ABOUT 1 FOOT LOWER THAN THE ROAD.

TEMPORARY BENCHMARK (TBM)

EL 31.63

BOX CUT IN CURB INLET, LOCATED IN EAGLE CREEK DRIVE ROW AND AS SHOWN ON PLANS. NGVD 1929, 1978 ADJUSTED

NOTES:

- 1.) BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES TEXAS SOUTH CENTRAL.
- 2.) STERLING CREEK SECTION 3 WILL BE A PRIVATE SUBDIVISION.
- 3.) NO TREES GREATER THAN 12" IN DIAMETER EXIST IN THE COMMON AREAS OR DETENTION AREAS.

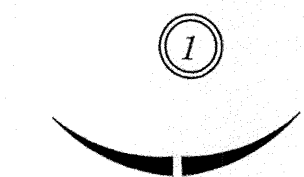
CITY OF FRIENDSWOOD
ZONING TABLE

YARDS-MINIMUM FEET												
CURRENT ZONE	UNITS PER ACRE	MIN LOT AREA (SQ- FEET)	MIN LOT WIDTH (FEET)	MIN. FRONT YARD SETBACK (FEET)	MIN. REAR YARD SETBACK (FEET)	MIN. SIDE YARD SETBACK (FEET)	MIN. SIDE YARD SETBACK (FEET)	SIDE EXTERIOR (CORNER LOT)		MAX BUILDING HEIGHT (FEET)	PARKING REQUIRED	MAX LOT COVERAGE (%)
								BACKING UP TO AN ABUTTING	BACKING UP TO AN ABUTTING			
SFR	2.7	11,600	90.4	25 B	25	25 A	20 C	10 F	40	K	NO	35

NOTES:

- A. LOTS OF LESS THAN 120 FEET WIDE REQUIRE CURBS. LOTS 120 FEET WIDE OR GREATER MAY USE OPEN DITCHES.
- B. THIRTY-FIVE FEET ON THOROUGHFARES.
- C. TWENTY-FIVE FEET ON THOROUGHFARES.
- F. LOTS CURRENTLY IN EXISTENCE WITH LESS THAN 90 FEET OF WIDTH THAT HAVE STRUCTURES ALREADY BUILT UPON THEM MAY CONTINUE WITH THE SAME EXISTING SET BACK FOR ADDITIONS PROVIDED THEY ARE NOT LESS THAN A MINIMUM OF FIVE FEET.
- K. PARKING IS REQUIRED IN ACCORDANCE WITH THE PARKING GROUP TABLE IN THE DESIGN CRITERIA MANUAL.

LEGEND



BLOCK NUMBER

FLAGS TO DENOTE WHERE STREET ADDRESS START AND END

CONTROL MONUMENT

PIPELINE

EASEMENT

BUILDING LINE

OWNER:

YELLOWSTONE HILL COUNTRY RANCHING, LLC
CHARLES GREGORY EVANS, MANAGER
770 SOUTH POST OAK LN
HOUSTON, TEXAS 77056
281-482-3034

ENGINEER:

DANIEL SCOTT ENGINEERING
SCOTT SHERIDAN, PE, R.P.L.S.
P.O. Box 1549
ALVIN, TX 77512
(281) 968-7458

DEVELOPER:

YELLOWSTONE HILL COUNTRY RANCHING, LLC
CHARLES GREGORY EVANS
770 SOUTH POST OAK LN
HOUSTON, TEXAS 77056

20 LOTS 2 RESERVES 2 BLOCKS

DATE SUBMITTED: AUGUST 09 2018

STERLING CREEK SECTION 3-B
(PRIVATE SUBDIVISION)

PRO-SURV
SURVEYING & MAPPING SERVICES

P.O. Box 1366
FRIENDSWOOD, TX 77549
PHONE:(281) 996-1113
FAX:(281) 996-0112
TBPLS FIRM NO. 10119300

Sheet 1 of 2

Tires By Design Site Plan Amendment

3516 FM 528

1. Compliance memo
2. Original approved site plan
3. Request for amendment regarding fence material
4. Proposed site plan with fence change
5. Private License Agreement between Tires By Design and Skyhawk Apartments (LSREF3 BRAVO (HOUSTON)) for construction of the fence

Memo

To: Planning and Zoning Commission
From: Becky Summers, Development Coordinator
Date: August 13, 2018
Re: Tires By Design
Site Plan amendment

Project Description: Newly constructed, custom tire shop on FM 528 near Blackhawk Blvd.

The applicant has coordinated with the adjacent apartment complex and is proposing to replace their existing 6-foot wooden fence with a new 8-foot wooden fence in lieu of constructing the masonry fence parallel to the 6' wooden fence.

Section 7.5 Community Overlay District

6. Architectural Elements

- a. (2) The design of walls and other structures located on the same site...shall be constructed of the same materials as the main building on the lot.
(3) Provided however...an applicant may present to the planning and zoning commission, on the site plan, specifications...of proposed alternative materials.

Historically, the Commission has approved several wooden fences for commercial developments. The plan is subject to review and approval by the Planning and Zoning Commission.

PROJECT INFORMATION	
ZONING:	NC
USAGE:	TIRE SUPPLY AND SERVICE
SITE AREA:	25,976 S.F. (0.5965 AC)
BUILDING AREA:	GROUND FLOOR: 5,985 S.F.
	MEZZANINE FLOOR: 1,582 S.F.
	GROSS BUILDING AREA: 7,567 S.F.
PARKING REQUIREMENT:	
GROUND FLOOR-TIRE STORE:	5,985 SF
4 SPACES PER 1,000 SF -	24 SPACES
TOTAL PARKING REQUIRED: 24 SPACES	
PARKING PROVIDED:	
REGULAR CAR SPACES:	23
HANDICAPPED SPACES:	1
TOTAL:	24

SITE COVERAGE

SITE AREA:	25,984 S.F. (0.5965 AC)
BUILDING AREA:	GROUND FLOOR: 5,985 S.F.
DRIVEWAY & PARKING:	12,385 S.F.
SIDEWALK	530 S.F.
DUMPSTER	144 S.F.
TOTAL SITE COVERAGE:	19,044 S.F.
BUILDING COVERAGE:	5,985/25,984 = 23.03%
TOTAL COVERAGE:	19,044/25,976 S.F. = 73.31%

LANDSCAPE TABLE

TOTAL AREA OF PARKING & DRIVEWAYS: 12,385 X 20% = 2,477 SF LANDSCAPE REQUIRED
6,940 S.F. LANDSCAPE AREA PROVIDED
REQUIRED LANDSCAPING 2477 X 0.50 = 1,239 S.F. LANDSCAPE AREA IN ISLANDS REQUIRED
1,290 S.F. LANDSCAPE AREA IN ISLAND PROVIDED
ISLAND TREES: 1 TREE PER ISLAND:
ISLAND TREES REQUIRED: 5
ISLAND TREES PROVIDED: 5

PERIMETER LANDSCAPING:	1 TREE PER 30 LINEAR FEET FOR PROPERTY LINES NOT REQUIRING BUFFER
PERIMETER TREES REQUIRED:	6
PERIMETER TREES PROVIDED:	6
LANDSCAPE BUFFERS:	1 TREE EVERY 25 LINEAR FEET
PERIMETER TREES REQUIRED:	18
PERIMETER TREES PROVIDED:	18

NOTE: THE LANDSCAPE BUFFER TREES WILL BE PLACED A MINIMUM 5 LATERAL FEET FROM UNDERGROUND UTILITY LINES

SITE PLAN GENERAL NOTE:

CONTRACTOR SHALL VISIT THE SITE, REPORT THE VARIATION TO OWNER WHEN SUBMITTING PROPOSAL

LANDSCAPE NOTES:

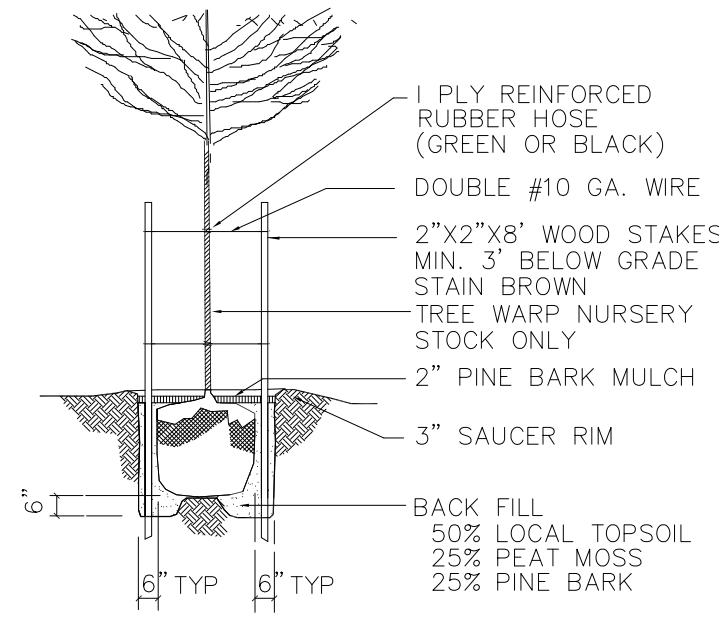
1. PROVIDE AUTOMATIC IRRIGATION SYSTEM TO CONNECT ALL LANDSCAPED AREA AS SHOWN. PROVIDE SOLID ST. AUGUSTINE GRASS AT AREAS SHOWN WITH TREE, TREES OR TREES & SHRUBS. LOCATE TIMER AS OWNER'S DIRECTION. CONNECT SYSTEM TO IRRIGATION WATER METER SYSTEM SHALL BE 'RAINBIRD' OR EQUAL
2. NO TREES 12" CALIPER OR GREATER EXIST ON THE SITE.

LANDSCAPE REQUIREMENT

STREET TREES:	152-30 LF/ 25 LF= 5 TREES
BUFFER TREES:	152 LF/ 25 LF= 6 TREES
EAST PERIMETER TREES:	170 LF/ 30 LF= 6 TREES
WEST BUFFER TREES:	170 LF/ 25 LF= 7 TREES

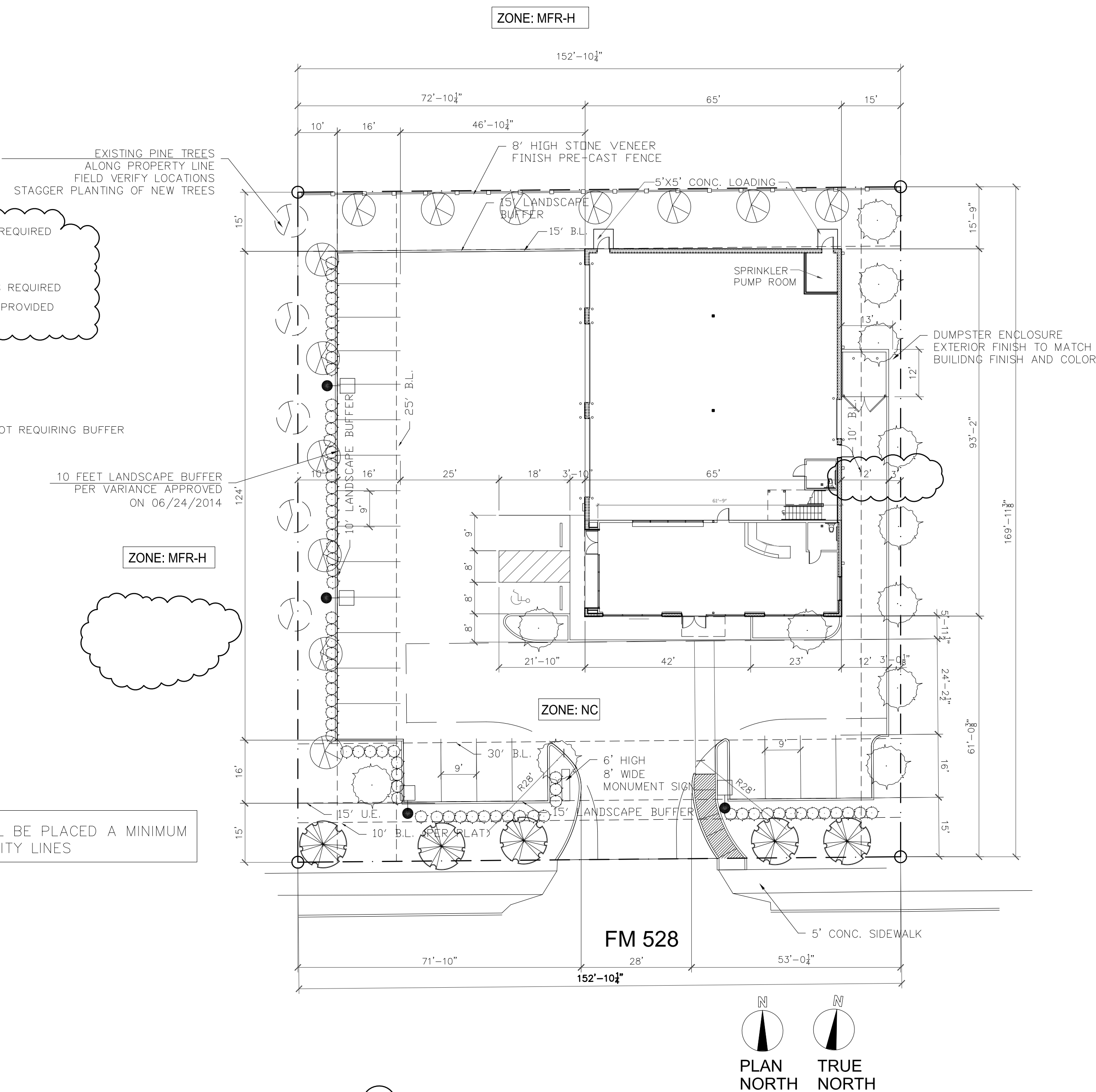
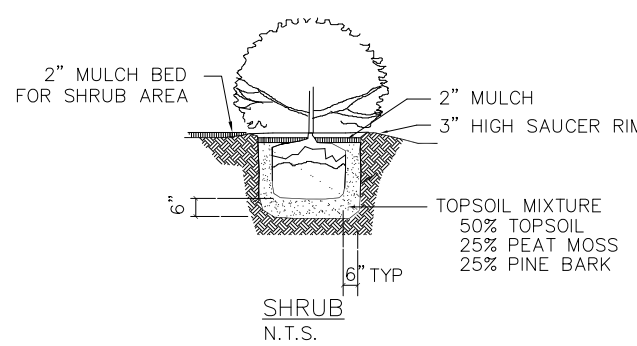
NEW PLANTING LIST

KEY	QTY	BOTANICAL NAME COMMON NAME	DESCRIPTION
PERIMETER AND ISLAND TREES	11	<i>Ilex x Attenuata</i> EP. AMERICAN HOLLY	2" CAL., B&B, 45 GALS CONTAINER MINIMUM 8" HIGH,
LANDSCAPE BUFFER ZONE	13	<i>Pyrus Calleryana</i> Bradford Pear	2" CAL., B&B, 45ALS CONTAINER MINIMUM 8" HIGH,
STREET TREES	5	<i>Pistacia texana</i> Texas Pistache	2" CAL., B&B, 45 GALS CONTAINER MINIMUM 8" HIGH,
	60	<i>Raphiolepis indica</i> Indian Hawthorne	3 GAL, FULL, MIN. 24" IN HEIGHT, PLANTED AT 24" O.C.

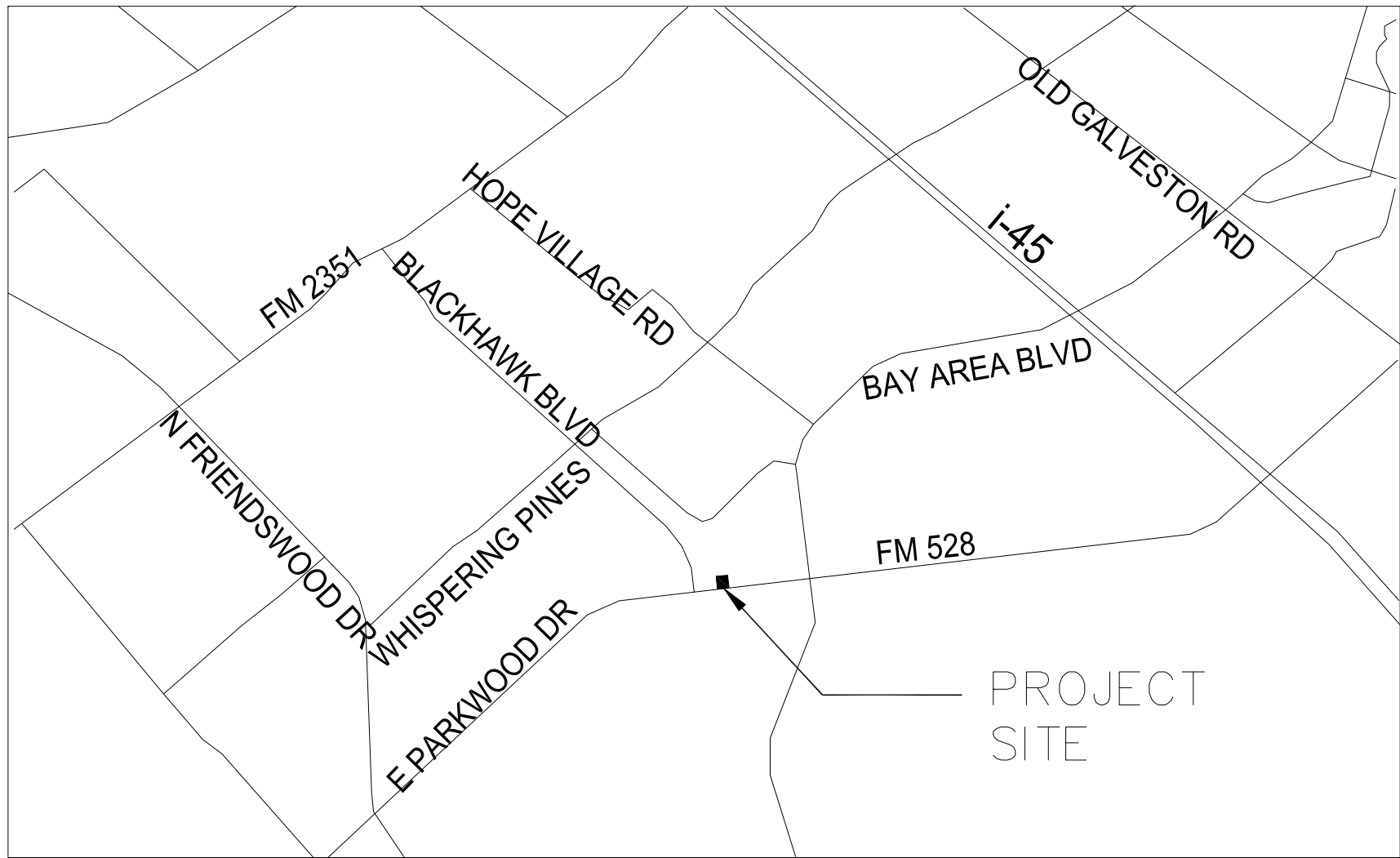


TREE STAKING

3" CAL OR LESS
N.T.S.



1 SITE AND LANDSCAPE PLAN
SCALE: 1"=20'-0"



2 VICINITY MAP
SCALE: 1"=2000'

NOTES:

- ACCESS TO ADJACENT PROPERTY AND COMMON DRIVEWAYS MAY BE REQUIRED.
- "APPROVAL OF THE SITE PLAN WILL EXPIRE ONE YEAR AFTER THE APPROVAL OF THE SITE PLAN BY THE P&Z COMMISSION. UPON EXPIRATION OF THAT TIME, THE APPLICANT MUST RESUBMIT A SITE PLAN THAT CONFORMS TO THE CURRENT ORDINANCES. PROVIDED, HOWEVER, THE APPLICANT MAY REQUEST AN EXTENSION IN WRITING, WHICH MAY BE GRANTED BY THE COMMISSION, FOR A PERIOD NOT TO EXCEED A TOTAL OF SIX (6) MONTHS.
- THIS PROPERTY IS LOCATED IN THE COMMUNITY OVERLAY DISTRICT (COD) AND SHALL COMPLY WITH THE ZONING REQUIREMENTS OF THAT DISTRICT.

ISSUE AND DATE		
NO.	DATE	DESCRIPTION
	06/27/14	P&Z REVIEW
	01/30/15	PERMIT & PRICING
Δ	03/05/15	REV. PER CITY'S COMMENTS
	11/29/16	UPDATE BUILDING CODES

Tires By Design
3516 E. FM 528 ROAD
FRIENDSWOOD, TEXAS 77546

TDCK
ARCHITECTS, INC.
5855 Sovereign Dr., Suite B Houston, TX 77036
Tel: 713 636-9970 Fax: 713 977-1311
PROPRIETARY INFORMATION
DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF TDCK ARCHITECTS, INC. NO PORTION OF ANY DESIGN INFORMATION CONTAINED HEREIN MAY BE REPRODUCED, COPIED, OR DISCLOSED TO ANY THIRD PARTY WITHOUT EXPRESSED WRITTEN CONSENT.



DRAWING TITLE

SITE AND
LANDSCAPE
PLAN

DRAWN BY: P.K. CHECK BY: P.K.

DATE: 11/29/2016

PROJECT NO.: 14032

DRAWING NO.

A1.0

From: Martin Walsh
To: [Becky Summers](#)
Subject: Tires By Design - Friendswood
Date: Thursday, August 9, 2018 12:02:31 PM
Attachments: [A1.0 - SITE PLAN.PDF](#)
[License Agreement \(Fence\) - Sky Hawk \(Bravo\) \(Short Form\)_69696923_1-c.doc](#)
[A1.0 - SITE PLAN - R2.pdf](#)

Hi Becky

Thank you for your time this morning.

- The approved plans called for a 8' High Stone Veneer Finish Pre Cast Fence
- This meant that Tires By Design and the adjacent Sky Hawk apartments would have back to back fences with Tires By Designs being 8' high and the apartments wooden fence being 6' high.
- After consultation with the City of Friendswood and the City then allowing a proposal to be put forward to the Planning and Zoning commission, discussions were carried out with the owners/managers of the apartments Bell Partners. A draft agreement between Tires By Design and Bell Partners was drawn up in which a 8' high wooden fence will be erected thereby replacing the current 6' high wooden fence. All costs associated in putting in the new 8' fence will be borne by Tires By Design. Both Tires By Design and Bell Partners are in favor of this. A copy of the draft agreement is attached.
- Also attached is a copy of the new site plan identifying the change "Replacing the 6' high wood fence with 8' high wood fence"

We appreciate your consideration in this regard.

Best

Martin Walsh

Tel: 281-487-2028

Email: martin@tiresbydesign.com

Web: www.tiresbydesign.com



Green Tip: Please consider the environment before printing emails

PROJECT INFORMATION

ZONING:	NC		
USAGE:	TIRE SUPPLY AND SERVICE		
SITE AREA:	25,976 S.F. (0.5965 AC)		
BUILDING AREA:	GROUND FLOOR: 5,985 S.F.		
	MEZZANINE FLOOR: 1,582 S.F.		
	GROSS BUILDING AREA: 7,567 S.F.		
PARKING REQUIREMENT:			
	GROUND FLOOR-TIRE STORE: 5,985 SF.		
	4 SPACES PER 1,000 SF = 24 SPACES		
TOTAL PARKING REQUIRED: 24 SPACES			
PARKING PROVIDED:			
	REGULAR CAR SPACES: 23		
	HANDICAPPED SPACES: 1		
	TOTAL: 24		

SITE COVERAGE

SITE AREA:	25,984 S.F. (0.5965 AC)
BUILDING AREA:	GROUND FLOOR: 5,985 S.F.
DRIVEWAY & PARKING:	12,385 S.F.
SIDEWALK:	530 S.F.
DUMPSTER:	144 S.F.
TOTAL SITE COVERAGE:	19,044 S.F.
BUILDING COVERAGE:	5,985/25,984 = 23.03%
TOTAL COVERAGE:	19,044/25,976 S.F. = 73.31%

LANDSCAPE TABLE

TOTAL AREA OF PARKING & DRIVEWAYS: 12,385 X 20% = 2,477 S.F. LANDSCAPE REQUIRED
6,940 S.F. LANDSCAPE AREA PROVIDED
REQUIRED LANDSCAPING 2477 X 0.50 = 1,239 S.F. LANDSCAPE AREA IN ISLANDS REQUIRED
1,290 S.F. LANDSCAPE AREA IN ISLAND PROVIDED
ISLAND TREES: 1 TREE PER ISLAND:
ISLAND TREES REQUIRED: 5
ISLAND TREES PROVIDED: 5

PERIMETER LANDSCAPING: 1 TREE PER 30 LINEAR FEET FOR PROPERTY LINES NOT REQUIRING BUFFER
PERIMETER TREES REQUIRED: 6
PERIMETER TREES PROVIDED: 6
LANDSCAPE BUFFERS: 1 TREE EVERY 25 LINEAR FEET
PERIMETER TREES REQUIRED: 18
PERIMETER TREES PROVIDED: 18

NOTE: THE LANDSCAPE BUFFER TREES WILL BE PLACED A MINIMUM 5 LATERAL FEET FROM UNDERGROUND UTILITY LINES

SITE PLAN GENERAL NOTE:

CONTRACTOR SHALL VISIT THE SITE, REPORT THE VARIATION TO OWNER WHEN SUBMITTING PROPOSAL

LANDSCAPE NOTES:

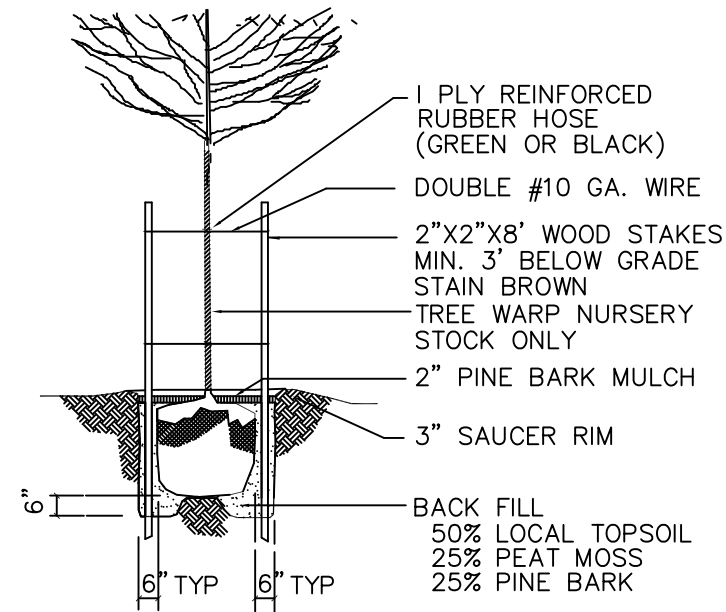
1. PROVIDE AUTOMATIC IRRIGATION SYSTEM TO CONNECT ALL LANDSCAPED AREA AS SHOWN. PROVIDE SOLID ST. AUGUSTINE GRASS AT AREAS SHOWN WITH TREE, TREES OR TREES & SHRUBS. LOCATE TIMER AS OWNER'S DIRECTION. CONNECT SYSTEM TO IRRIGATION WATER METER SYSTEM SHALL BE 'RAINBIRD' OR EQUAL
2. NO TREES 12" CALIPER OR GREATER EXIST ON THE SITE.

LANDSCAPE REQUIREMENT

STREET TREES:	152-30 LF/ 25 LF= 5 TREES
BUFFER TREES:	152 LF/ 25 LF= 6 TREES
EAST PERIMETER TREES:	170 LF/ 30 LF= 6 TREES
WEST BUFFER TREES:	170 LF/ 25 LF= 7 TREES

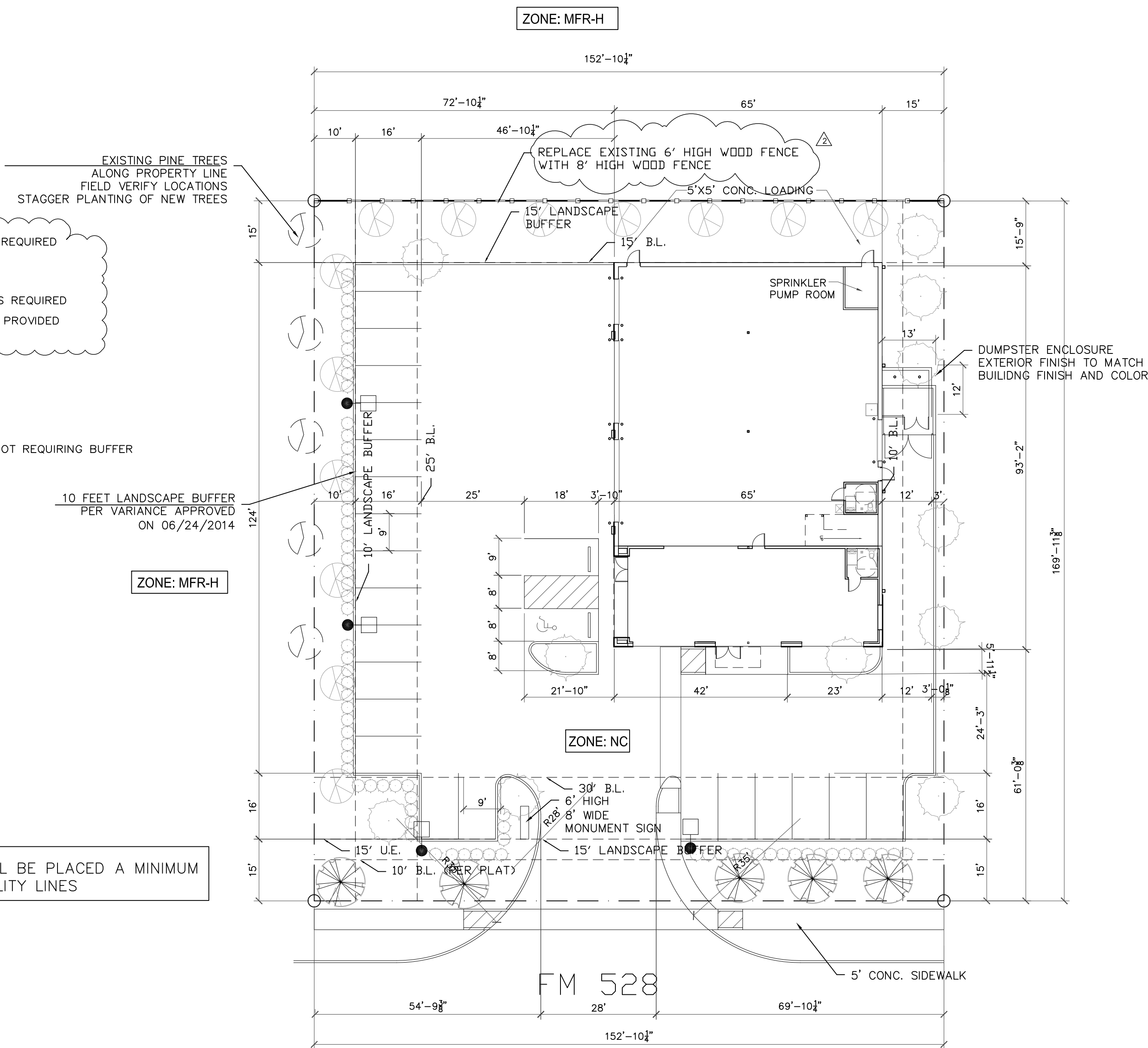
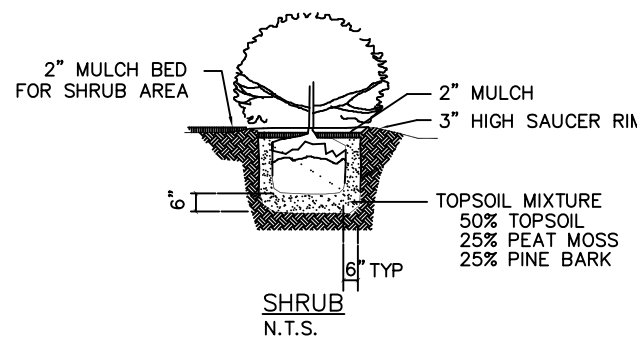
NEW PLANTING LIST

KEY	QTY	BOTANICAL NAME COMMON NAME	DESCRIPTION
PERIMETER AND ISLAND TREES	11	<i>Ilex x Attenuata</i> EP. AMERICAN HOLLY	2" CAL., B&B, 45 GALS CONTAINER MINIMUM 8" HIGH,
LANDSCAPE BUFFER ZONE	13	<i>Pyrus Calleryana</i> Bradford Pear	2" CAL., B&B, 45ALS CONTAINER MINIMUM 8" HIGH,
STREET TREES	5	<i>Pistacia texana</i> Texas Pistache	2" CAL., B&B, 45 GALS CONTAINER MINIMUM 8" HIGH,
	60	<i>Raphiolepis indica</i> Indian Hawthorne	3 GAL, FULL, MIN. 24" IN HEIGHT, PLANTED AT 24" O.C.



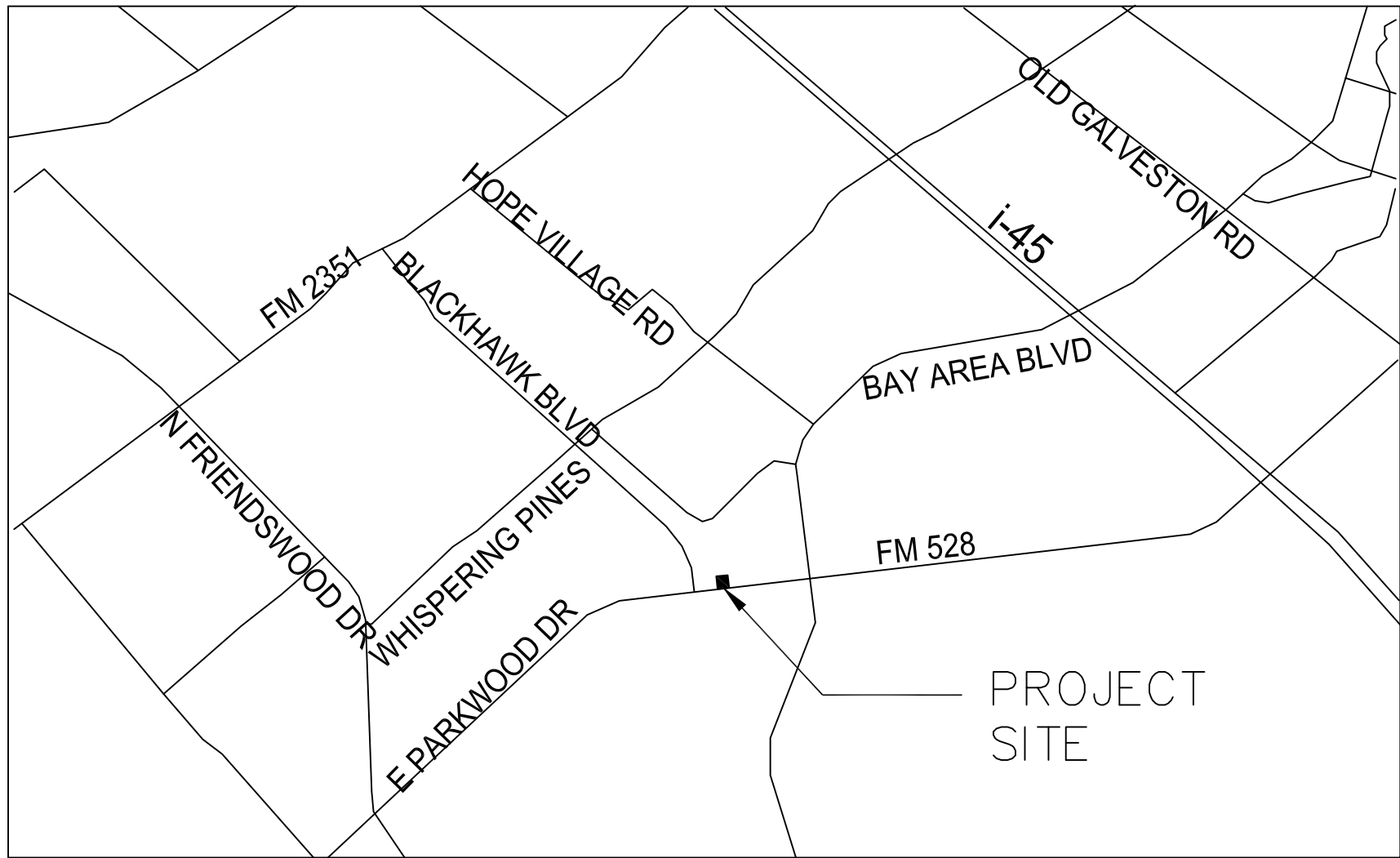
TREE STAKING

3" CAL OR LESS
N.T.S.



1 SITE AND LANDSCAPE PLAN
SCALE: 1"=20'-0"

PLAN TRUE
NORTH NORTH



2 VICINITY MAP
SCALE: 1"=2000'

NOTES:

- ACCESS TO ADJACENT PROPERTY AND COMMON DRIVEWAYS MAY BE REQUIRED.
- "APPROVAL OF THE SITE PLAN WILL EXPIRE ONE YEAR AFTER THE APPROVAL OF THE SITE PLAN BY THE P&Z COMMISSION. UPON EXPIRATION OF THAT TIME, THE APPLICANT MUST RESUBMIT A SITE PLAN THAT CONFORMS TO THE CURRENT ORDINANCES. PROVIDED, HOWEVER, THE APPLICANT MAY REQUEST AN EXTENSION IN WRITING, WHICH MAY BE GRANTED BY THE COMMISSION, FOR A PERIOD NOT TO EXCEED A TOTAL OF SIX 96) MONTHS.
- THIS PROPERTY IS LOCATED IN THE COMMUNITY OVERLAY DISTRICT (COD) AND SHALL COMPLY WITH THE ZONING REQUIREMENTS OF THAT DISTRICT.

ISSUE AND DATE		
NO.	DATE	DESCRIPTION
	06/27/14	P&Z REVIEW
	01/30/15	PERMIT & PRICING
Δ	03/05/15	REV. PER CITY'S COMMENTS
	11/29/16	UPDATE BUILDING CODES
Δ	04/03/18	REVISED BACK FENCE

Tires By Design
3516 E. FM 528 ROAD
FRIENDSWOOD, TEXAS 77546

TDCK
ARCHITECTS, INC.
5855 Sovereign Dr., Suite B Houston, TX 77036
Tel. 713 636-9970 Fax: 713 977-1311
PROPRIETARY INFORMATION
DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF TDCK ARCHITECTS, INC. NO PORTION OF ANY DESIGN INFORMATION CONTAINED HEREIN MAY BE USED BY, OR DISCLOSED TO, UNAUTHORIZED PERSONNEL WITHOUT EXPRESSED WRITTEN CONSENT



04/03/18

DRAWING TITLE

SITE AND LANDSCAPE PLAN

DRAWN BY P.K.	CHECK BY P.K.
------------------	------------------

DATE
04/03/2018

PROJECT NO.
14032

DRAWING NO.

A1.0

LICENSE AGREEMENT

This License Agreement (this “Agreement”) is made and entered into effective as of June __, 2018 (“Commencement Date”), by and between LSREF3 BRAVO (HOUSTON), LLC, a Delaware limited liability company (“Licensor”) and TIRES BY DESIGN (“Licensee”).

WHEREAS, Licensor owns that certain real property located at 17231 Blackhawk Boulevard Friendswood, TX, 77546 (the “Property”), and Licensee is the owner or operator of that certain real property located at 3516 E FM528 Rd Friendswood, TX, 77546 (the “Adjacent Property”);

WHEREAS, Licensee desires permission to use that certain portion of the Property designated by Licensor (the “Licensed Area”), for the sole purpose of removing the existing six foot wooden fence located between the Property and the Adjacent Property (the “Existing Fence”) and replacing the Existing Fence with a newly constructed eight foot wooden fence (the “New Fence”) in the same location as the Existing Fence; and

WHEREAS, Licensor desires to grant Licensee permission to use the Licensed Area in accordance with the terms and provisions of this Agreement.

NOW, THEREFORE, for and in consideration of \$10.00, the mutual provisions herein contained and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Licensor and Licensee agree as follows:

1. License. Licensor hereby grants to Licensee a terminable, non-exclusive license to use the Licensed Area (but not the balance of the Property) during the Term (defined in section 2 below), subject to the encumbrances and other matters of record affecting the Property. Upon the expiration or earlier termination of this Agreement, Licensee shall vacate and remove all of its property (including the Existing Fence but not the New Fence) from the Licensed Area and repair and restore any affected portion of the Licensed Area to the condition in which it existed prior to the Term. In the event Licensee fails to remove all its property (including the Existing Fence but not the New Fence) from the Licensed Area within forty-eight (48) hours after the expiration or earlier termination of this Agreement, Licensor shall have the right, at Licensee’s sole cost and expense, to remove and dispose of such property, and Licensor shall not be liable or responsible to Licensee in any manner whatsoever for any claims, losses or damages resulting from Licensor’s removal and disposal of such property (and Licensee hereby acknowledges and agrees that Licensor shall have no obligation to store or keep such property). Licensee shall have no right of access to or use of the Property other than the Licensed Area.

2. Term. This Agreement shall begin as of the Commencement Date and shall expire upon the earlier of (i) completion of the New Fence (including removal of the Existing Fence from the Property) or (ii) 5:00 p.m. (Central Standard time) on the date which is thirty (30) days after the Commencement Date (the “Term”), unless this Agreement is earlier terminated pursuant to any other provision of this Agreement. Notwithstanding the foregoing, Licensor may terminate this Agreement at any time upon notice to Licensee.

3. Use of Licensed Area. Licensee shall, at its sole cost and expense, use the Licensed Area for the sole purpose of removing the Existing Fence and installing the New Fence in the same location as the Existing Fence and for no other purpose. For avoidance of doubt, all of the costs and expenses of the New Fence shall be paid by Licensee. Licensee shall be responsible for obtaining any and all permits or governmental approvals necessary or required in connection with installation of the New Fence. Licensee acknowledges and agrees that Licensor must approve the New Fence prior to the installation of the same.

4. Condition of Licensed Area. Licensee shall accept the Licensed Area in an “as is” condition, with all faults. Licensor shall not be required to perform any work or make any improvements to the Licensed Area in connection with Licensee’s use and occupancy thereof. Licensee shall keep the Property (including, without limitation, the Licensed Area) free of any mechanic’s or materialman’s liens or other encumbrances arising out of Licensee’s use thereof and/or the installation of the New Fence.

5. Provision of Services. Licensor shall have no responsibility for providing any services at the Licensed Area to Licensee.

6. Ownership of the New Fence. Licensee acknowledges and agrees that ownership of the New Fence shall be vested solely in Licensor and Licensee shall have no right, title or interest in and to the New Fence (or any other portion of the Property). This Section 6 shall survive the expiration or earlier termination of the Term.

7. Insurance and Indemnity.

(a) Licensee will keep in force at its sole expense as long as this Agreement remains in effect and during such other time as Licensee and Licensee’s employees use any portion of the Licensed Area a standard policy of Comprehensive General liability insurance that shall cover the negligence of Licensee or Licensee’s employees, with respect to the use of Licensed Area with reputable insurance companies to afford protection to the limit, per occurrence, without deductible, of not less than One Million Dollars (\$1,000,000.00) combined single limit with respect to personal injury, death, and property damage including but not limited to causes of action arising by negligence or gross negligence. Licensor shall be named as an additional insured with respect to all losses and risks insured against and the policy shall contain a waiver of subrogation clause in favour of Licensor. In addition, Licensee shall maintain a policy of “All Risks” Property Insurance covering the full replacement value of all Licensee’s property whether leased or owned, brought into the Licensed Area. On or before the Commencement Date, Licensee must deliver to Licensor proof of its property and liability insurance as required by this Agreement.

(b) Licensee hereby assumes all risk and waives all claims it may have against Licensor, its respective partners, directors, officers, agents, employees, affiliates and successors-in-interest (collectively and together with Licensor, the “Licensor Parties”) for damage to or loss of property (including theft) or injury to persons within or about the Property relating in any manner to the existence, use or operation of the Licensed Area unless resulting from the gross negligence or willful misconduct of the Licensor Parties. Such assumption and waiver shall include an obligation on Licensee’s part to indemnify, defend and hold harmless the Licensor Parties against all costs, expenses, claims and liabilities arising from such damage, loss or injury, including attorneys’ fees and costs (collectively, a “Loss”), which obligation shall survive the expiration or earlier termination of this License Agreement. The foregoing indemnity shall cover, but not be limited to coverage of, loss, damage or injury: (1) arising from Licensee’s failure to perform its covenants hereunder, (2) recovered from or asserted against any of the Licensor Parties on account of any Loss to the extent that any such Loss may be incident to, arise out of, or be caused, either proximately or remotely, wholly or in part, by Licensee or its employees, agents, invitees or contractors (collectively, the “Licensee Parties”), or any other person entering upon the Licensed Area under or with a Licensee Party’s express or implied invitation or permission, (3) arising from or out of the occupancy or use by a Licensee Party or arising from or out of any occurrence in the Licensed Area, howsoever caused, or (4) suffered by, recovered from, or asserted against any of the Licensor Parties by the Licensee Parties. In addition, Licensor Parties shall not be responsible for, and Licensee releases and discharges Licensor Parties from, and Licensee further waives any right of recovery from Licensor Parties for, any loss from business interruption or loss of use of the Licensed Area suffered

by Licensee in connection with Licensee's use or occupancy of the Licensed Area. **THE FOREGOING WAIVERS, RELEASES AND INDEMNITY OBLIGATIONS SHALL BE VALID AND APPLY EVEN IF A LOSS IS CAUSED SOLELY OR IN PART BY THE ORDINARY NEGLIGENCE OF ONE OR MORE OF THE LICENSOR PARTIES.**

8. Time is of the Essence. Time is of the essence of this Agreement.

9. Severability. In the event that any one or more of the provisions contained herein shall for any reason be held unenforceable in any respect by any court of law, such unenforceability shall not affect any other provision of this Agreement, but this Agreement shall then be construed as if such unenforceable provision or provisions had never been contained herein.

10. Disclaimer Of Consequential Damages. In no event shall Licensor be liable to Licensee for any consequential damages suffered by it, or any third party claiming on behalf of or through Licensee, in connection with any breach of this Agreement or provision of services or amenities by Licensor.

11. Choice of Law. The construction, interpretation and performance of this Agreement shall be governed by the laws of the State where the Licensed Area is located.

12. Entire Agreement; Amendments. This Agreement, along with any exhibits attached hereto, constitutes the entire agreement between Licensor and Licensee relative to the Licensed Area, and may be altered or amended only by an instrument in writing signed by both parties hereto. Licensor and Licensee agree hereby that all prior or contemporaneous oral agreements between and among themselves relative to the Licensed Area are merged into this Agreement.

13. Counterparts and Facsimile/Electronic Mail Signatures. This Agreement may be executed in counterparts, each of which shall be deemed an original, all of which together shall continue one and the same Agreement. Further, this Agreement may be executed by facsimile or by portable document format (.pdf) signature, such that execution of this Agreement by facsimile or by portable document format (.pdf) signature shall be deemed effective for all purposes as though this Agreement was executed as a "blue ink" original.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed effective as of the Commencement Date.

LICENSOR:

LSREF3 BRAVO (HOUSTON), LLC,
a Delaware limited liability company

By: _____
Name: Laura P. Sims
Title: Vice President

LICENSEE:

TIRES BY DESIGN

By: _____
Name: _____
Title: _____

Grease Monkey Site Plan

A new building to be located at 2205 W. Parkwood Ave.

1. Compliance memo
2. Cover sheet
3. Site plan
4. Landscape plan
5. Building Elevations
6. Dumpster screening details
7. Photometric plan

Memo

To: Planning and Zoning Commission
From: Becky Summers, Development Coordinator
Date: August 10, 2018
Re: Grease Monkey
Commercial Site Plan

Project Description: A new oil lube facility to be located at the corner of FM 528 and Thomas Trace, a private street in Fountains at Friendswood development.

The plan has been reviewed by staff in the following departments: Planning, Public Works/Engineering, Fire Marshal, and Police Department. The proposed project appears to be in compliance with current City codes with the following exceptions:

- 1) Remove trees from utility easement

The plan is subject to review and approval by the Planning and Zoning Commission.

GREASE MONKEY

APPROVAL EXPIRATION

APPROVAL OF THE SITE PLAN WILL EXPIRE ONE (1) YEAR AFTER THE APPROVAL OF THE SITE PLAN BY THE COMMISSION.

DRAWING INDEX

A0.0	COVER SHEET
C0.00	CIVIL COVER SHEET
C1.00	GENERAL CONSTRUCTION NOTES
C1.10	GENERAL CONSTRUCTION NOTES
C2.00	SITE PLAN
C2.10	PAVING PLAN
C2.20	FIRE PLAN
C3.00	GRADING PLAN
C4.00	DRAINAGE PLAN
C5.00	UTILITY PLAN
C6.00	SWPPP
C6.10	SWPPP STANDARD DETAILS
C6.20	SWPPP STANDARD DETAILS
C7.00	PAVING STANDARD DETAILS
C7.10	SANITARY SEWER STANDARD DETAILS
C7.20	SANITARY SEWER STANDARD DETAILS
C7.30	STORM SEWER STANDARD DETAILS
C7.40	STORM SEWER STANDARD DETAILS
C7.50	WATER DISTRIBUTION STANDARD DETAILS
C7.60	METER & VAULT STANDARD DETAILS
C7.70	MISCELLANEOUS STANDARD DETAILS
C7.80	MISCELLANEOUS STANDARD DETAILS
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C7.91	REFERENCE PLAN - SHEET 2
C7.92	REFERENCE PLAN - SHEET 3

L1.01	PLANTING PLAN
L2.01	IRRIGATION PLAN

A1.0	FLOOR PLANS AND NOTES
A1.1	REFLECTED CEILING & ROOF PLANS
A2.0	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
A3.1	BUILDING SECTIONS & WALL SECTION
A3.2	WALL SECTIONS
A3.3	METAL PANEL AND ENLARGED DETAILS
A5.0	DOOR AND WINDOW SCHEDULES
A5.1	DOOR AND WINDOW DETAILS
A6.0	PARTITION TYPES AND DETAILS
A7.0	FINISH SCHEDULES AND DETAILS
A7.1	MILLWORK SECTIONS AND DETAILS

S1.1	FOUNDATION PLAN & DETAILS
S1.2	FOUNDATION DETAILS

M1	MECHANICAL PLANS
M2	MECHANICAL DETAILS
M3	MECHANICAL SCHEDULES

P1	PLUMBING PLANS & RISER DIAGRAM
P1.1	PLUMBING PLANS & RISER DIAGRAM
P1.2	PLUMBING PLANS & RISER DIAGRAM
P2	PLUMBING DETAILS
P3	PLUMBING SCHEDULES & SPECIFICATIONS

E1.0	ELECTRICAL FLOOR PLANS & SCHEDULES
E2.0	ELECTRICAL PANELS & DETAILS
E3.0	ELECTRICAL SITE POWER PLAN
E4.0	ELECTRICAL SITE PHOTOMETRIC

VICINITY MAP

SCALE 1" = 500'



NORTH

GENERAL CONSTRUCTION REQUIREMENTS

- ALL WORK SHALL BE DONE IN A SAFE AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH THE LOCAL GOVERNING BUILDING CODE, NATIONAL ELECTRIC CODE, AND ALL APPLICABLE REGULATIONS AND ORDINANCES HAVING JURISDICTION.
- THE CONTRACTOR SHALL THOROUGHLY EXAMINE ALL FACTORS REASONABLY AVAILABLE TO HIM, INCLUDING BUT NOT LIMITED TO THE DRAWINGS, WITH ACTUAL SITE CONDITIONS, LOCAL INFORMATION REGARDING SITE HISTORY AND SEASONAL WEATHER CONDITIONS.
- EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
- VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE BEGINNING OF WORK. IF ANY DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT EXISTS IN THE FIELD, CONTACT THE ARCHITECT TO DETERMINE WHAT SHOULD BE DONE TO MATCH EXISTING CONDITIONS AS REQUIRED.
- THE BUILDING SHALL BE PROTECTED AT ALL TIMES FROM MOISTURE, DUST AND DEBRIS.
- ANY DAMAGE TO THIS PROPERTY CAUSED BY THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE BUILDING SECURITY AT ALL TIMES. THIS INCLUDES KEEPING THE BUILDING SECURE FROM PERSONS, ENVIRONMENTAL ELEMENTS, OR HAZARDS.
- THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA FREE AND CLEAR OF DEBRIS. REMOVE TRASH AND DEBRIS FROM CONSTRUCTION AREA AND DO NOT ALLOW TO ACCUMULATE. NO FLAMMABLE MATERIALS/LIQUIDS MAY BE STORED IN THE BUILDING DURING CONSTRUCTION, PROVIDE EXTINGUISHERS AS REQUIRED BY LOCAL AND STATE AUTHORITIES, UL LISTED 2A:20BC DRY CHEMICAL FIRE EXTINGUISHERS, ACCESSIBLE AT ALL TIMES WITHIN ALL CONSTRUCTION AREAS.
- FURNISH AND INSTALL ALL MATERIALS FOR A COMPLETE INSTALLATION READY FOR INTENDED USE. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- ALL MATERIAL FINISHES AND COLORS TO BE APPROVED BY OWNER PRIOR TO PURCHASING AND INSTALLATION.
- ALL SUBMITTALS AND SHOP DRAWINGS NOTED WITHIN THESE DOCUMENTS TO BE EMAILED TO jeff.fields@pb2ae.com. PLEASE INCLUDE PROJECT LOCATION IN EMAIL SUBJECT LINE.
- GENERAL CONTRACTOR TO SUPPLY ALL CLOSEOUT DOCUMENTS, WARRANTIES, AND OWNERS MANUALS TO THE OWNER AT PROJECT COMPLETION.
- GENERAL CONTRACTOR TO SUPPLY AS-BUILT DOCUMENTS TO THE OWNER AND ARCHITECT AT PROJECT COMPLETION.
- GENERAL CONTRACTOR TO PROVIDE WARRANTY WALK THRU WITH OWNER ELEVEN MONTHS FROM DATE OF FINAL COMPLETION.
- PENETRATIONS OF FIRE RATED ASSEMBLIES TO BE FIRESTOPPED PER IBC 712. PROVIDE COPIES OF ALL FIRESTOPPING SUBMITTALS TO THE INSPECTOR SHOWING ALL SYSTEMS TO BE INSTALLED. FIRE CAULK ALL PENETRATIONS AND MATERIAL INTERSECTIONS.
- BUILDING IS REQUIRED TO BE PROVIDED WITH AN ADDRESS AND THE ADDRESS IS TO BE VISIBLE FROM THE STREET PER NFPA1, SECTION 10.12.1. COORDINATE ADDRESS INFORMATION AND LOCATION WITH LOCAL FIRE DEPARTMENT.
- ALL WOOD FRAMING AND SHEATHING IN DIRECT CONTACT WITH THE SLAB TO BE PRESSURE TREATED.

GENERAL SITE VERIFICATION REQUIREMENTS

- ALL EXISTING MATERIAL, DIMENSIONS, ELEVATIONS, AND GENERAL CONDITIONS OF THE BUILDING SHALL BE VERIFIED BEFORE PURCHASE OF MATERIAL AND CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS IMMEDIATELY.
- ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE SUBMISSION OF HIS BID OR THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON DRAWINGS. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY SERVICES PRIOR TO ANY EXCAVATION.

ABBREVIATIONS

& = AND
L = ANGLE
@ = AT
CL = CENTERLINE
Ø = DIAMETER OF ROUND
= POUND OR NUMBER
(E) = EXISTING
(R) = RELOCATED
(N) = NEW

A.B. = ANCHOR BOLT
A.F.F. = ABOVE FINISH FLOOR
AL. = ALUMINUM
APPROX. = APPROXIMATE
ARCH. = ARCHITECTURAL

BD. = BOARD
BITUM. = BITUMINOUS
BLDG. = BUILDING
BLKG. = BLOCKING
BM. = BEAM
B.O. = BOTTOM OF
BOT. = BOTTOM

CAB. = CABINET
CEM. = CEMENT
CER. = CERAMIC
C.I. = CAST IRON
CLG. = CEILING
CLR./CL. = CLEAR
COL. = COLUMN
CONC. = CONCRETE
CONSTR. = CONSTRUCTION
CONT. = CONTINUOUS
CTSK. = COUNTERSUNK
CNTR. = COUNTER
CTR. = CENTER

DEPT. = DEPARTMENT
DET. = DETAIL
DIA. = DIAMETER
DIM. = DIMENSION
DISP. = DISPENSER
DN. = DOWN
DR. = DOOR
D.S. = DOWNSPOUT
DWG. = DRAWING

E = EAST
EA. = EACH
EL. = ELEVATION
ELEC. = ELECTRICAL
EQ. = EQUAL
EXP. = EXPANSION
EXT. = EXTERIOR

F.F. = FLOOR FINISH
FDN. = FOUNDATION
FG = FINISH GRADE
FIN. = FINISH
FL. = FLOOR
FLASH'G = FLASHING
FLUOR. = FLUORESCENT
F.O. = FACE OF
F.O.C. = FACE OF CONCRETE
F.O.F. = FACE OF FINISH
F.O.S. = FACE OF STUDS
F.R.P. = FIBERGLASS REINFORCED PANEL
F.S. = FLOOR SINK
FT. = FOOT OR FEET
FTG. = FOOTING
FURR. = FURRING
FUT. = FUTURE

G.A. = GAUGE
GALV. = GALVANIZED
GL. = GLASS
GR. = GRADE
GSM = GALVANIZED SHEET
METAL
GYP. = GYPSUM
GYP.BD. = GYPSUM BOARD

H.B. = HOSE BIBB
HDWE. = HARDWARE
H.M. = HOLLOW METAL
HORIZ. = HORIZONTAL
HR. = HOUR
HGT. = HEIGHT

INSUL. = INSULATION
INT. = INTERIOR
JT. = JOINT

LAM. = LAMINATE
LAV. = LAVATORY

MAX. = MAXIMUM
MECH. = MECHANICAL
MEMB. = MEMBRANE
MFR. = MANUFACTURER
MIN. = MINIMUM
MISC. = MISCELLANEOUS
M.O. = MASONRY OPENING
MTD. = MOUNTED
MUL. = MULLION

N. = NORTH
NO. OR # = NUMBER
NOM. = NOMINAL
N.T.S. = NOT TO SCALE

O.C. = ON CENTER
O.D. = OUTSIDE DIAMETER
OPNG. = OPENING
OPP. = OPPOSITE

PL. = PLATE
P.LAM. = PLASTIC LAMINATE
PLYWD. = PLYWOOD
P.O.C. = POINT OF CURVATURE
P.O.S. = POINT OF SALE

R OR RAD. = RADIUS
R.D. = ROOF DRAIN
REF. = REFERENCE
REINF. = REINFORCED
REQ'D = REQUIRED
RM. = ROOM
R.O. = ROUGH OPENING

SAD = SEE ARCH DRAWINGS
SCHED. = SCHEDULE
SECT. = SECTION
SHT. = SHEET
SIM. = SIMILAR
SPEC. = SPECIFICATION
SQ. = SQUARE
SSD = SEE STRUCTURAL DRAWINGS
S.S.T. = STAINLESS STEEL
STD. = STANDARD
STL. = STEEL
STOR. = STORAGE
STRL. = STRUCTURAL
SYM. = SYMMETRICAL

T.C. = TOP OF CURB
T.F.S. = TOP OF FINISHED SLAB
TG = TOP OF GRATE
T. & G. = TONGUE & GROOVE
THK. = THICK
T.O. = TOP OF
TOW = TOP OF WALL
TP = TOP OF PAVEMENT
TS = TOP OF SLAB
TW = TOP OF WALK
TYP. = TYPICAL

UNF. = UNFINISHED
U.O.N. = UNLESS OTHERWISE NOTED

VERT = VERTICAL

W. = WEST
W/ = WITH
W.C. = WATER CLOSET
WD. = WOOD
W/O = WITHOUT
WP. = WATERPROOF
WRB = WATER RESISTANT BARRIER
WSCT. = WAINSCOT
WT. = WEIGHT

BUILDING CODE SUMMARY

NAME OF PROJECT: GREASE MONKEY
STREET ADDRESS: 2205 WEST PARKWOOD AVENUE
FRIENDSWOOD, TEXAS 77456
PROPOSED USE: AUTOMOTIVE LUBRICATION SERVICE

CODES:
BUILDING: 2012 INTERNATIONAL BUILDING CODE
MECHANICAL: 2012 INTERNATIONAL MECHANICAL CODE
PLUMBING: 2012 INTERNATIONAL PLUMBING CODE
ELECTRICAL: 2011 NATIONAL ELECTRICAL CODE
FIRE: 2012 INTERNATIONAL FIRE CODE (WITH EXCEPTIONS)
2012 NFPA LIFE SAFETY 101
ACCESSIBILITY : 2012 TEXAS ACCESSIBILITY CODE
ENERGY: 2012 INTERNATIONAL ENERGY CONSERVATION CODE
LIFE SAFETY: 2012 INTERNATIONAL FIRE CODE (WITH EXCEPTIONS)
2012 NFPA LIFE SAFETY 101

OCCUPANCY: S1-STORAGE AREAS
TYPE OF CONSTRUCTION: V-B
TOTAL AREA: 3,496 SF (SLAB) 3,567 (EXTERIOR FINISH)
EGRESS CALCULATIONS: 402 (WAITING AREA) / 300=2
514 (STORAGE) / 300=2
2096 (SERVICE BAYS) / 300=7
59 (OFFICE) / 300 = 2
NUMBER OF REQUIRED EXITS: 3
EGRESS INCHES PROVIDED: 99 INCHES

TOTAL = 13 PERSONS
NUMBER OF EXITS PROVIDED: 3

MINIMUM PLUMBING FIXTURES
OCCUPANT LOAD: 13 PERSONS

WATER CLOSETS: MALE: 1 FEMALE: 1
LAVATORIES: MALE: 1 FEMALE: 1
DRINKING FOUNTAINS: 0 (PER IPC, 0 REQ'D IF UNDER 15 OCC.)
SERVICE SINK: 1

PLUMBING FIXTURES PROVIDED:

WATER CLOSETS: MALE: 1 FEMALE: 1
LAVATORIES: MALE: 1 FEMALE: 1
DRINKING FOUNTAINS: 0 - DRINKING WATER TO BE PROVIDED
SERVICE SINK: 1

MEP

MPW Engineering, LLC
110 W 7th Street, Suite 600
Tulsa, OK 74119-1031
(918) 582-4088

STRUCTURAL

Dunham Engineering, Inc.
12815 FM 2154, Suite 150
College Station, TX 77845
(979) 431-3010

CIVIL

Pape-Dawson Engineers, Inc.
10350 Richmond Avenue, Suite 200
Houston, TX 77042
(713) 428-2400

ARCHITECT

Castles Design Group, PC
3801 Kirby Drive, Suite 600
Houston, TX 77098
(713) 664-7974

DEVELOPER

Pisula Development Company
10857 Kuykendahl Road, Suite 200
The Woodlands, TX 77382
(832) 299-6404

Revisions

No. Date Description

Revision Number	Revision Description	Revision Date
1	Response to Comments	07/19/2018
2	Response to Comments	08/01/2018

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE FOLLOWING PROJECT:

GREASE MONKEY
FRIENDSWOOD, TEXAS

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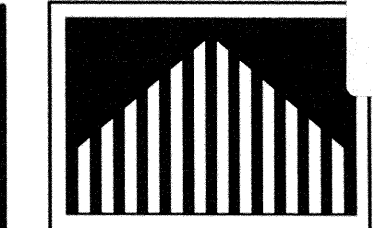
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GREASE MONKEY

GREASE MONKEY
FRIENDSWOOD, TEXAS
2205 WEST PARKWOOD AVENUE
FRIENDSWOOD, TEXAS 77456

8/6/18

Planning
Public Works



Castles Design Group

A Professional Corporation
3801 Kirby Dr., Suite 600
Houston, Texas 77098
tel: 713 664 7974
fax: 713 664 9756



COVER SHEET
INDEX
CODE INFORMATION
&
GENERAL REQUIREMENTS

A0.0

Date: 07-19-18

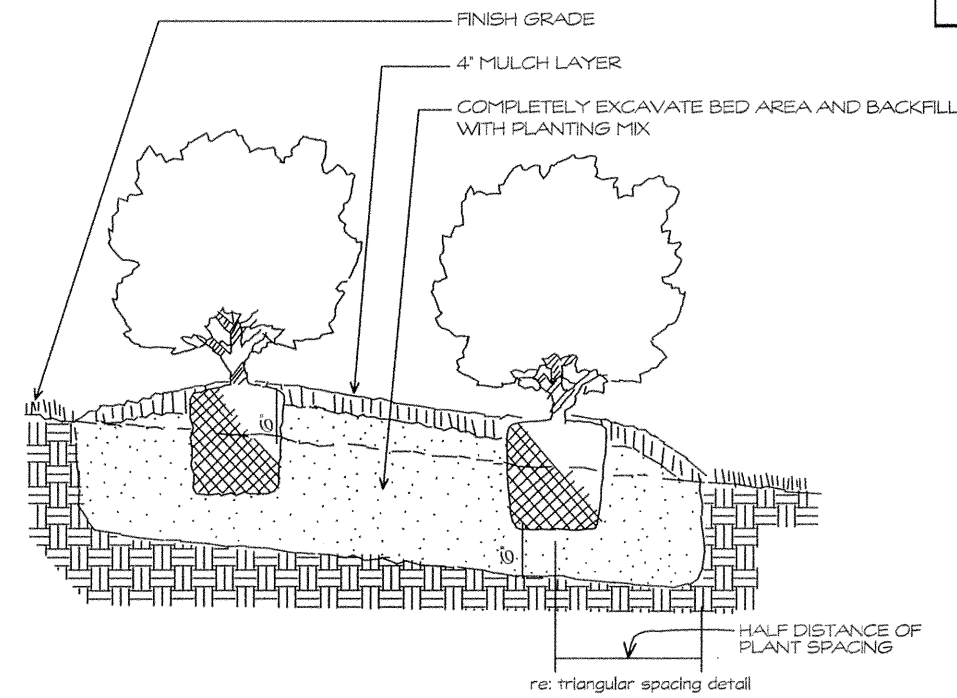
Project No.: 1805-502

PLANT LIST

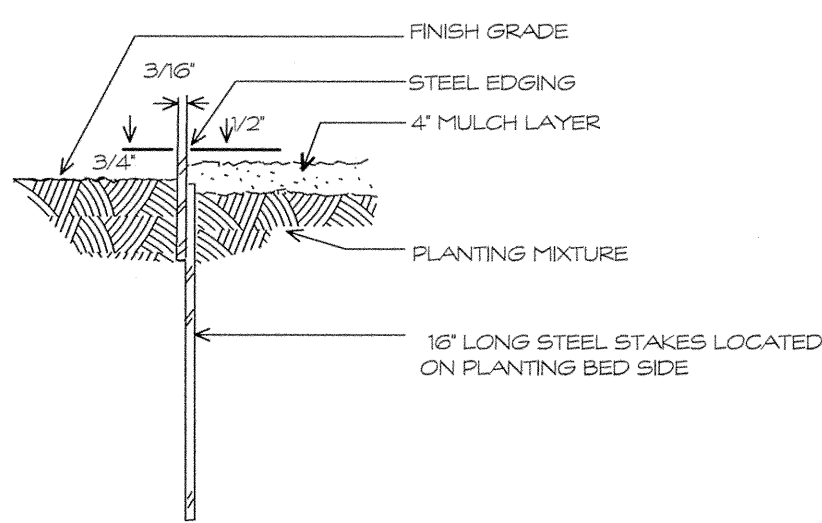
ABV	BOTANICAL NAME/ COMMON NAME	CALIPER	HEIGHT	SPREAD	MIN. ROOT	REMARKS
TREES						
LO	QUERCUS VIRGINIANA LIVE OAK	2" - 2 1/2"	10' - 12'	5' - 6'	45 GAL.	FULL, MATCHED, WELL ROOTED
WM	MYRTICA CERIFERA WAX MYRTLE	2" - 2 1/2"	10'	5' - 6'	45 GAL.	FULL, MATCHED, WELL ROOTED
SHRUBS						
IH	INDIAN HAWTHORN RAPHIOLEPSIS INDICA		24"	20"	5 GAL.	FULL, WELL ROOTED, 24" O.C.
GROUNDCOVERS						
AJ	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE		4' - 6'	10' - 15'	1 GAL.	FULL, WELL ROOTED, 15" O.C.
FF	ASPARAGUS MEYERI FOXTAIL FERN		12"	12"	1 GAL.	FULL, WELL ROOTED, 15" O.C.
LI	LIROPE MUSCARI LIROPE		8"	6"	4 POTS	FULL, WELL ROOTED, 12" O.C.
SOD						
SOD	CYNODON DACTYLON COMMON BERMUDA					SOLID SOD

PLANTING NOTES

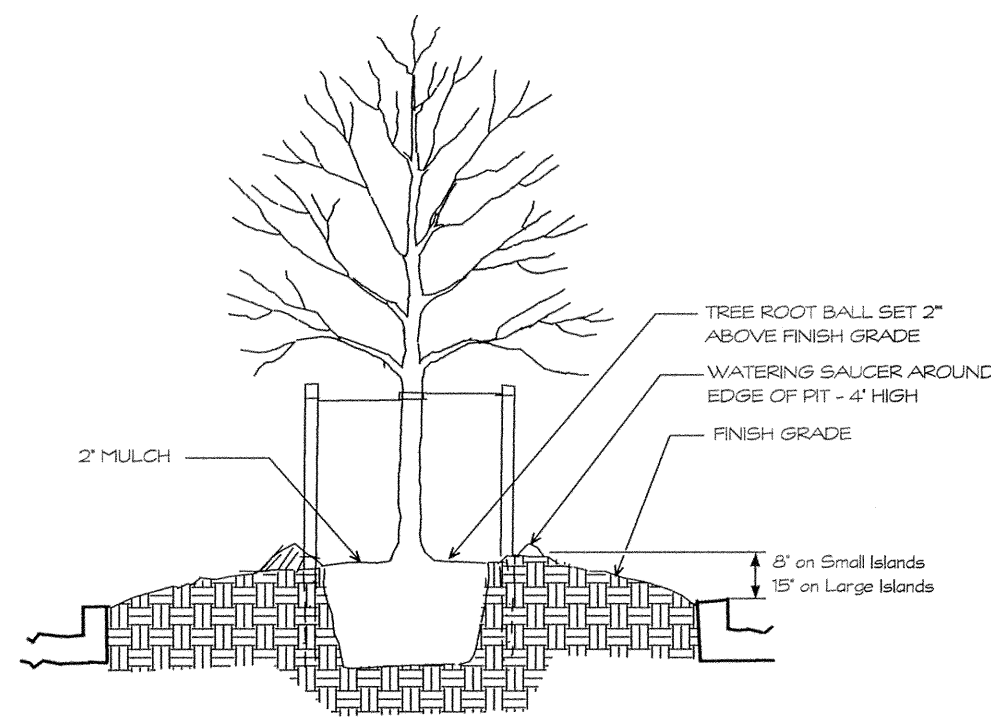
1. PLANTING SOIL MIXTURE SHALL BE ONE OF THE FOLLOWING:
ON GRADE ONLY
LANDSCAPE MIX (GROUND LEVEL ONLY)
PREMIUM BED MIX BY THE GROUND UP
CONTACT AT 832-247-2574
OR
ULTRA SOIL BY LIVING EARTH TECHNOLOGY GROUP
CONTACT AT 713-466-7360 OR 281-342-6113
2. BIDDING CONTRACTORS BE ADVISED THAT ALL NEW TREE MATERIAL IS TO BE CONTAINER GROWN, CORRESPONDING TO STATED ROOT BALL SIZES AS RECOGNIZED BY INDUSTRY STANDARDS. THIS SHALL EXCLUDE ALL BEE, MACHINE MOVED, OR TRANSPLANTED TREES FROM THE BIDDING PROCESS UNLESS OTHERWISE INDICATED ON THE PLAN. THE INSTALLATION CONTRACTOR SHALL BE PREPARED TO PROVIDE PHOTOGRAPHS OF INTENDED PLANT MATERIAL ALONG WITH SIGNED CLARIFICATION THAT PLANT MATERIAL MEETS THESE REQUIREMENTS AND THAT NO VARIATIONS OR SUBSTITUTIONS HAVE BEEN MADE.
3. THE LANDSCAPE CONTRACTOR DOING THE INSTALLATION OF THIS WORK SHALL SUBMIT TO KUDELA & WEINHEIMER INFORMATION REGARDING SOURCING OF PLANT MATERIAL. ALL PLANT MATERIAL MUST BE CONTAINER GROWN AND APPROVED AT THE SOURCE OF GROWTH BY KUDELA & WEINHEIMER. TREE MATERIAL MEETING THE SPECIFICATIONS WILL BE TAGGED WITH A SERIALIZED LOCKING TAG AT THE NURSERY BY KUDELA & WEINHEIMER. PLANTS ARRIVING AT THE JOB SITE WITHOUT THESE TAGS WILL BE CATEGORICALLY REJECTED AT THE CONTRACTOR'S EXPENSE.
4. IF THE PLANTING PLAN DOES NOT AGREE WITH THE PLANT LIST, THE QUANTITIES INDICATED GRAPHICALLY ON THE PLANTING PLAN SHALL GOVERN.
5. CONTRACTOR IS RESPONSIBLE FOR THE GRADING OF PARKING LOT ISLANDS AND SETBACKS. GRADE CHANGES SHALL RANGE FROM 8" (IN) TO 15" (IN) ABOVE THE CURB, DEPENDING ON THE SIZE OF THE ISLAND. SELECT TOPSOIL SHALL BE USED FOR THESE BERMS. SEE PARKING ISLAND TREE DETAIL.
6. ALL DISTURBED AREAS ARE TO RECEIVE 4" (IN) OF TOPSOIL, TOPPED WITH MULCH, SOD, OR HYDROMULCH (DEPENDING ON THE AREA), AND IS TO BE WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
7. ALL TREES PLANTED ADJACENT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL NOT HAVE LIMBS BELOW 80" (IN) A.F.F.



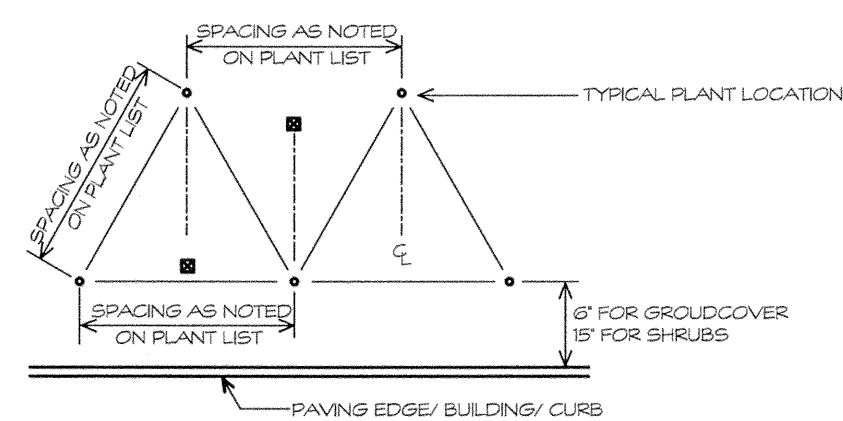
3. SHRUB/ GROUND COVER PLANTING
NOT TO SCALE



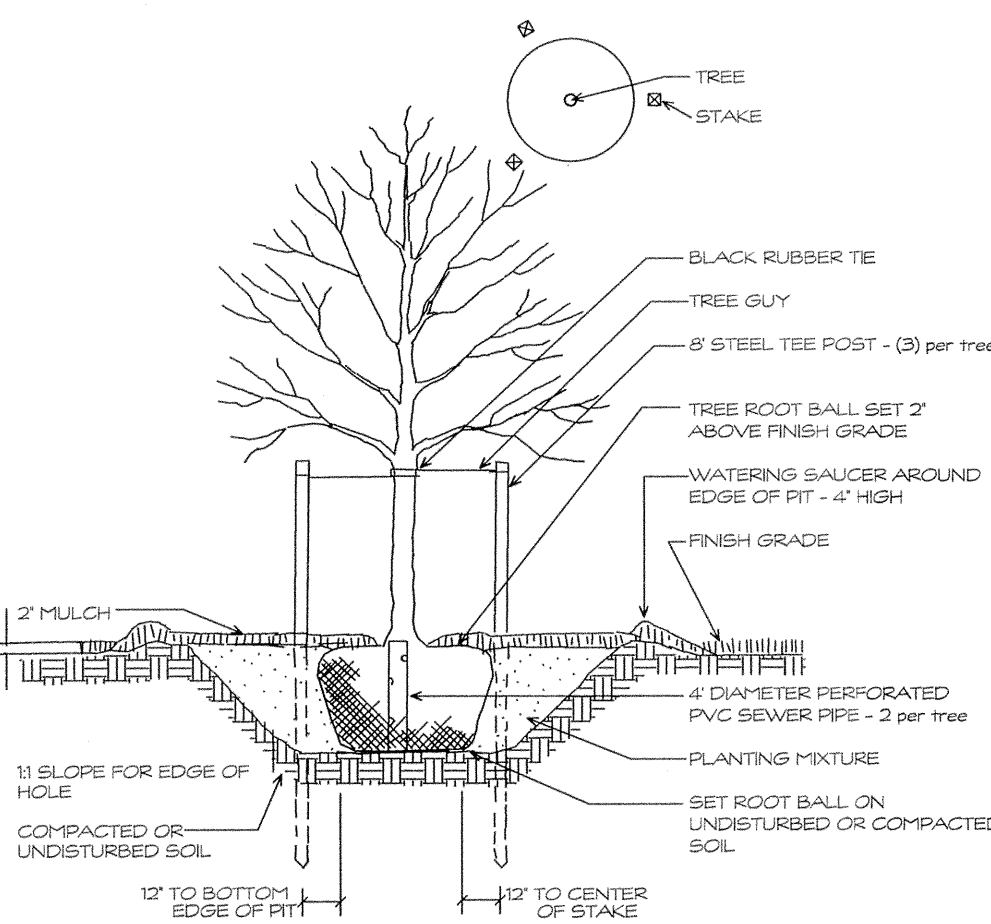
5. STEEL EDGING DETAIL
NOT TO SCALE



2. PARKING ISLAND TREE DETAIL
NOT TO SCALE



4. TRIANGULAR SPACING DIAGRAM
NOT TO SCALE



1. STANDARD TREE PLANTING DETAIL
NOT TO SCALE

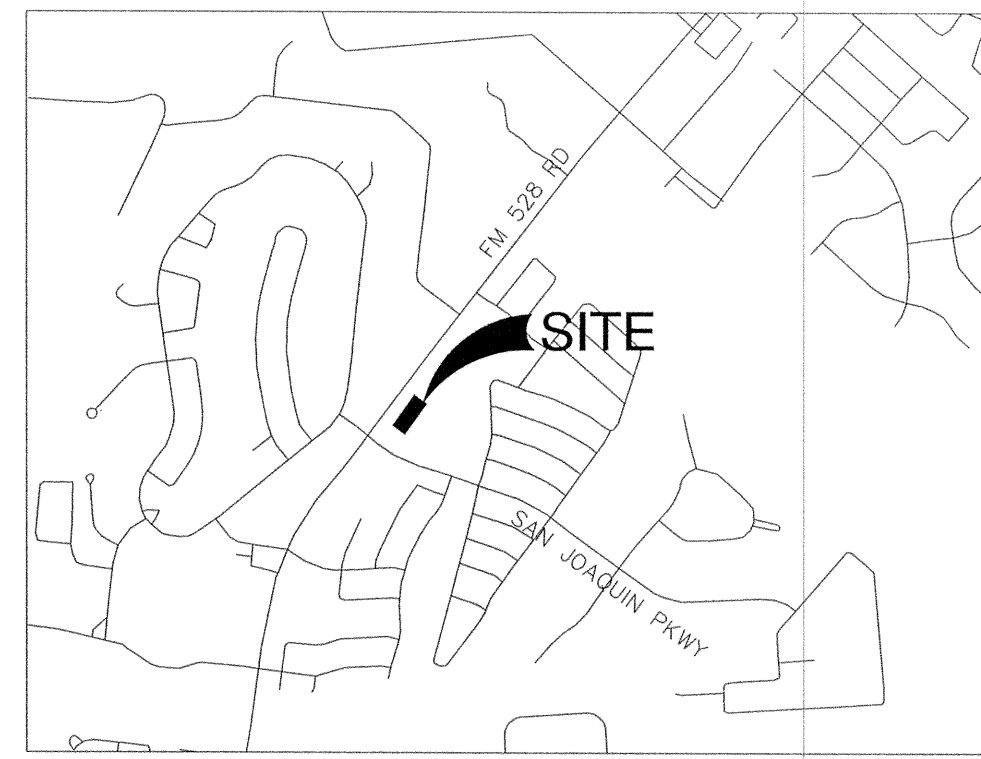
CITY OF FRIENDSWOOD

LANDSCAPE TABLE COMMUNITY OVERLAY DISTRICT

- 1) Small Parking Lot (20 cars or less)
Total Area of Parking & Driveway (Area) 13,104 X 15 % = 1,966 Landscaping Area Required
1,095 Landscaping Area Provided
- 2) Interior Parking Lot Tree Requirement:
1 tree (Class 1 or 2) per 250sqft of landscape area required
No. of trees required: 8
No. of trees provided: 8

Street Name	Lineal Feet	Min. Tree Req	Class	Total Trees
FM 528 Rd (West Parkwood)	196 / 25	8	1	8
Thomas Trace	154 / 25	6	1	6
Total Trees:				14

- 3) Tree Totals:
Total Tree Required: Interior Trees (8) + Buffer Trees (14): 22
Total Tree Provided: Interior Trees (8) + Buffer Trees (14): 22



LOCATION MAP

NOT-TO-SCALE

Revisions

No. Date Description

Revision Schedule		Revision
Revision Number	Revision Description	Revision Date

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GREASE MONKEY
FRIENDSWOOD, TEXAS

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GREASE MONKEY

GREASE MONKEY
FRIENDSWOOD, TEXAS
2205 WEST PARKWOOD AVENUE
FRIENDSWOOD, TEXAS 77546

PLANT LEGEND

	NURSERY GROWN CONTAINERIZED SHADE TREES
	NURSERY GROWN CONTAINERIZED ORNAMENTAL TREES
	SHRUBS AND GROUNDCOVERS
	3/16" STEEL EDGE (ONLY WHERE INDICATED WITH SE)
	4" (IN) THICK BLACKSTAR GRAVEL SET ON FILTER FABRIC
	SOLID SOD

ACCORDING TO MAP No. 4854680005E OF THE FLOOD INSURANCE RATE MAPS FOR HARRIS COUNTY AND INCORPORATED AREAS, DATED SEPTEMBER 22, 1999, THE SUBJECT TRACT IS SITUATED WITHIN UNSHADED ZONE 'X' OR AREAS DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN.

BENCHMARK:

THE ELEVATIONS FOR THIS SURVEY ARE BASED ON NATIONAL GEODETIC SURVEY MONUMENT DESIGNATION T 1144, PID NO. AWM000.

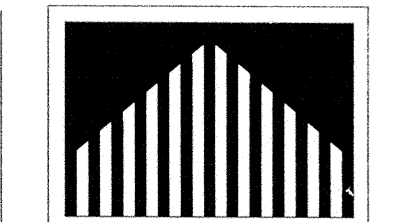
TBM A - CUT BOX ON CURB, ELEV = 35.67

TBM B - CUT BOX ON CURB, ELEV = 38.17

ELEVATION = 31.90" (NAVD88, 2001 ADJUSTMENT)

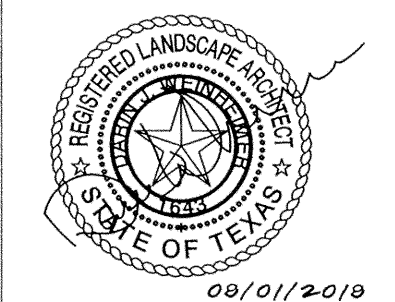
PAPE-DAWSON ENGINEERS

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH |
10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 |
TYPE FIRM REGISTRATION #470 | TBLPS FIRM REGISTRATION #10193974



Castles Design Group

A Professional Corporation
3801 Kirby Dr., Suite 600
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fax: 713 664 9756

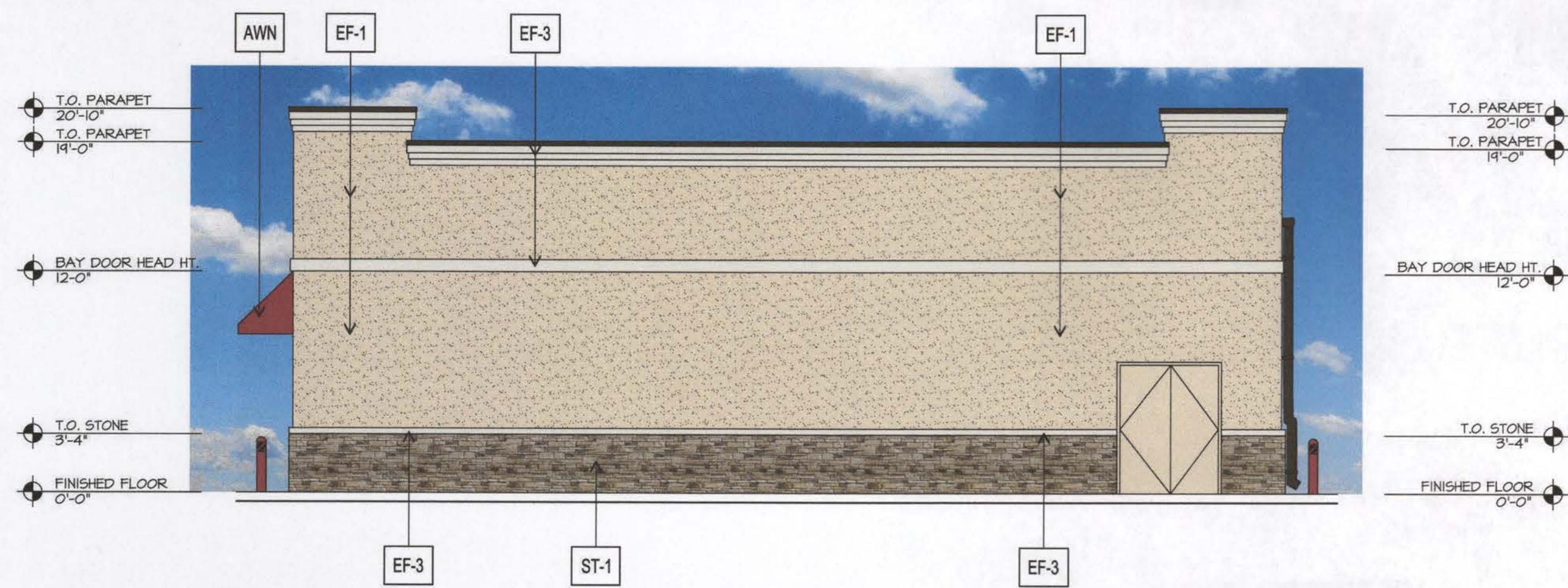


PLANTING PLAN

L-1.01

Date: 07/09/2018

Project No.: 1805-502



FRONT ELEVATION - NORTH



REAR ELEVATION - SOUTH



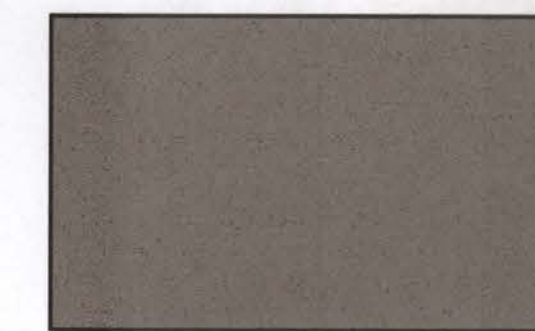
FRONT ELEVATION - WEST



DRIVE THRU SIDE ELEVATION - EAST



EF-1 EIFS
SHERWIN WILLIAMS (BASE)
COLOR: COTTAGE CREME (SW-7678)



EF-2 EIFS
SHERWIN WILLIAMS (ACCENT)
COLOR: HAMMERED SILVER (SW-2840)



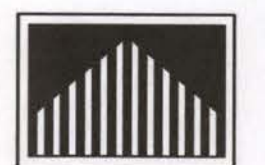
EF-3 EIFS
SHERWIN WILLIAMS (TRIM)
COLOR: DOVER WHITE (SW-6385)



ST-1 STONE
BENJAMIN MOORE (BASE)
COLOR: FAIRVIEW TAUPE (BMF HC-85)

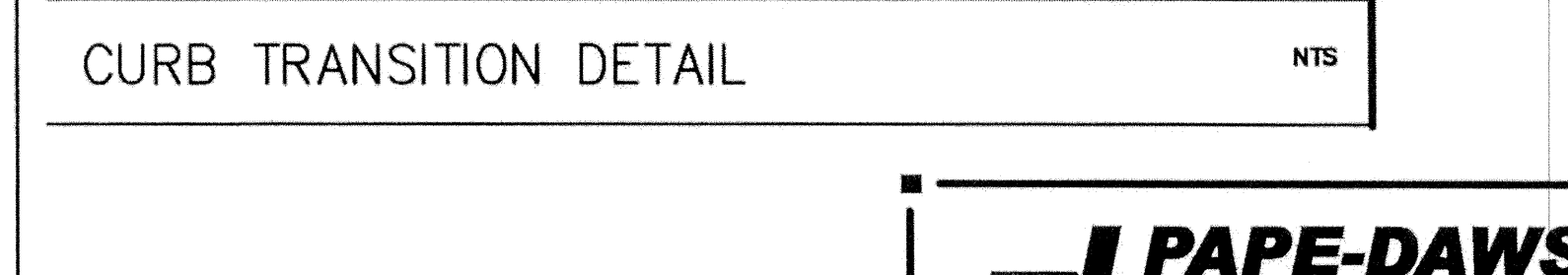
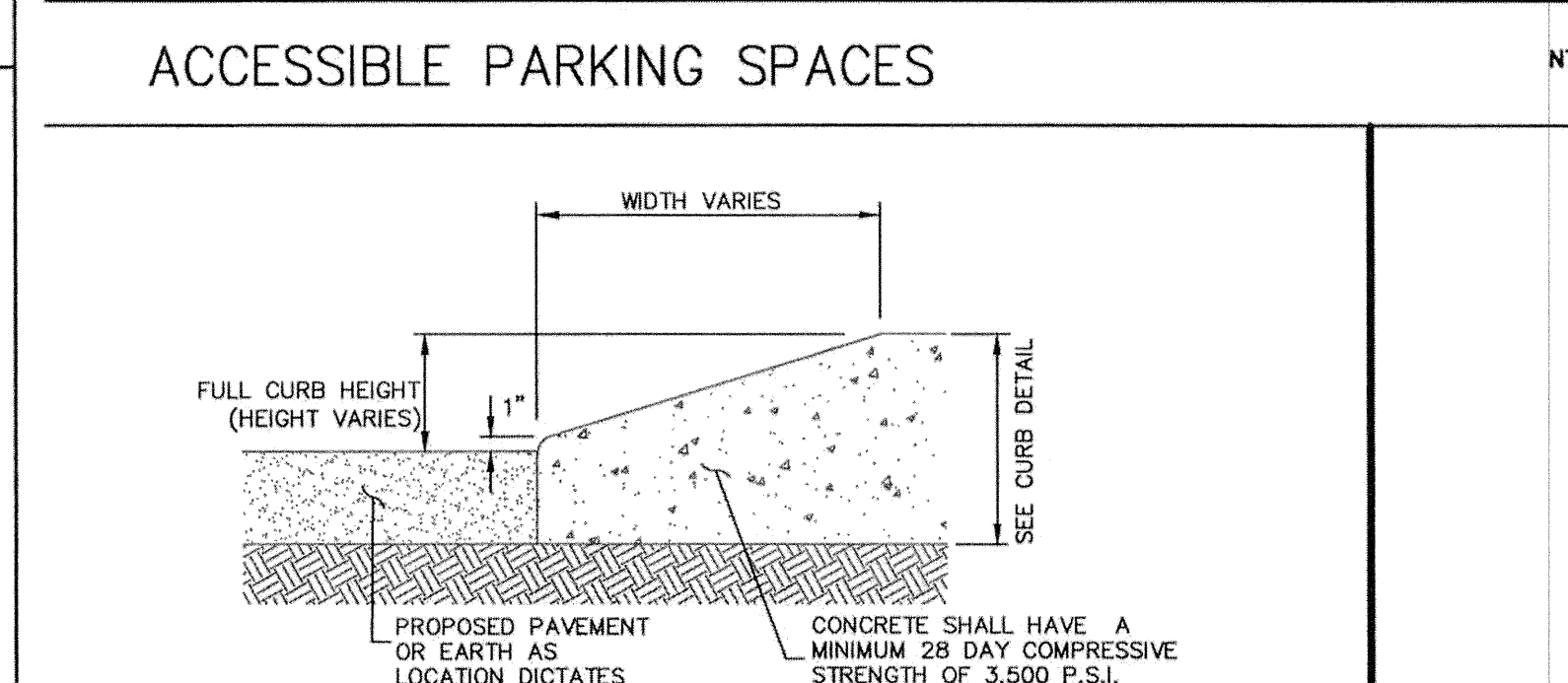
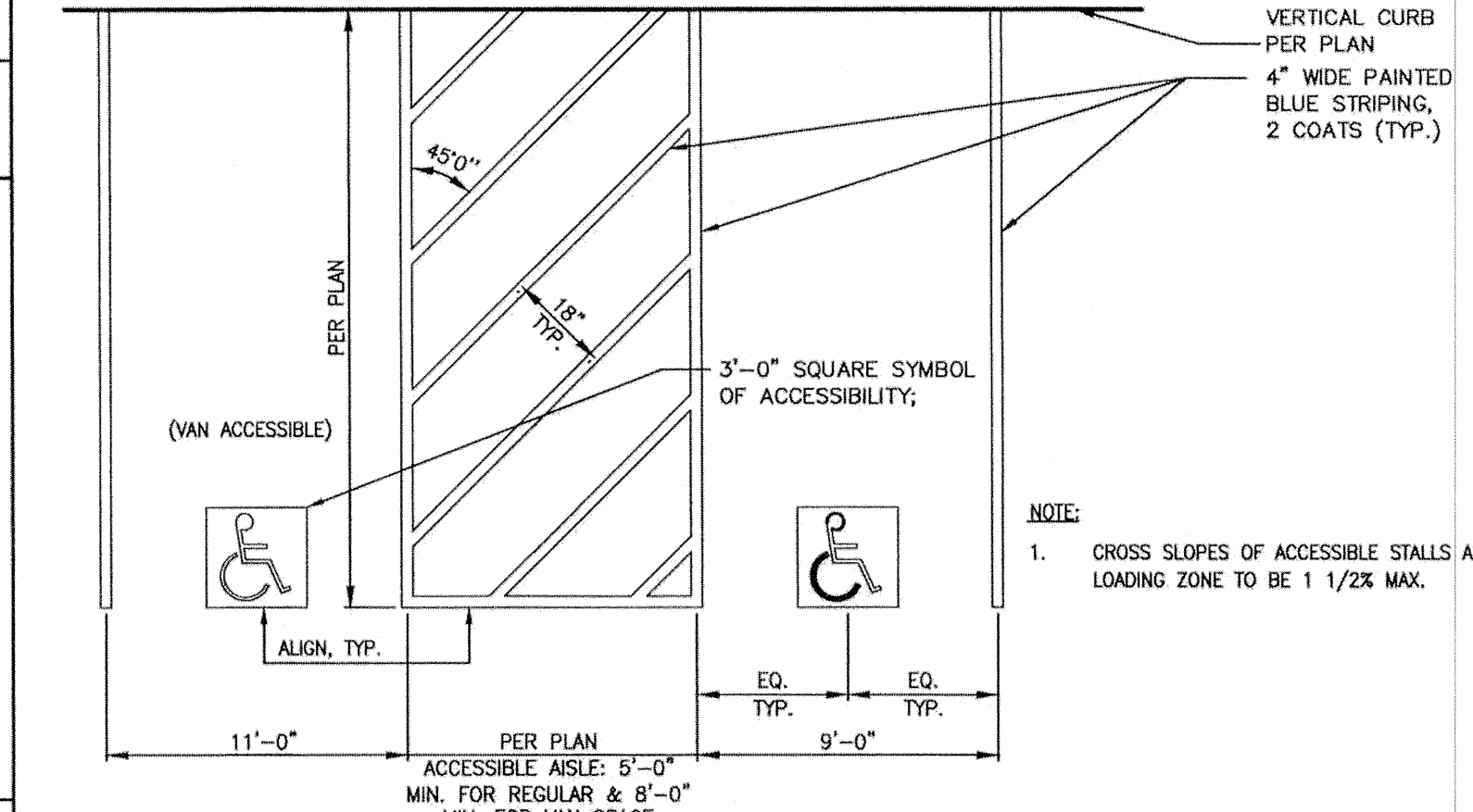
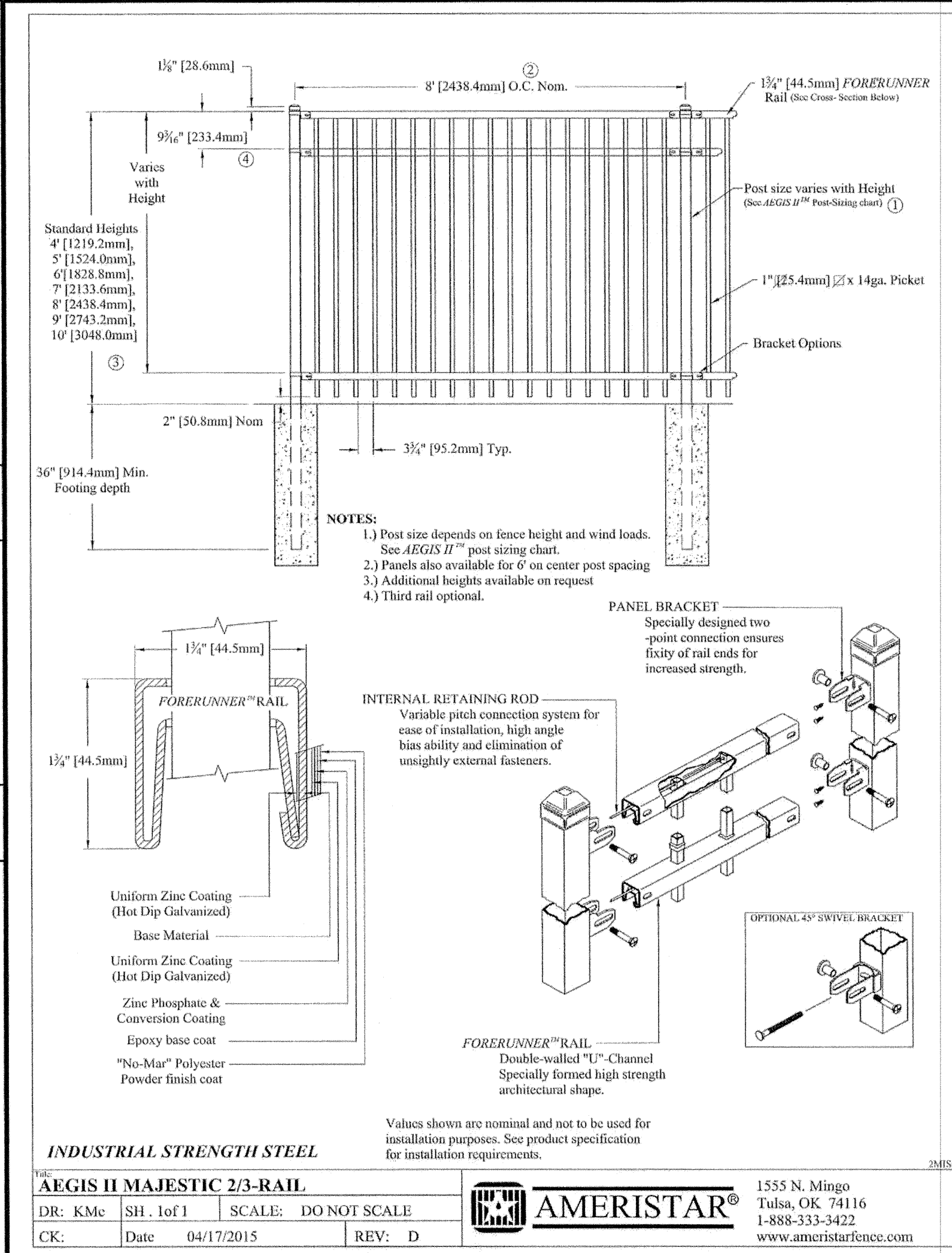
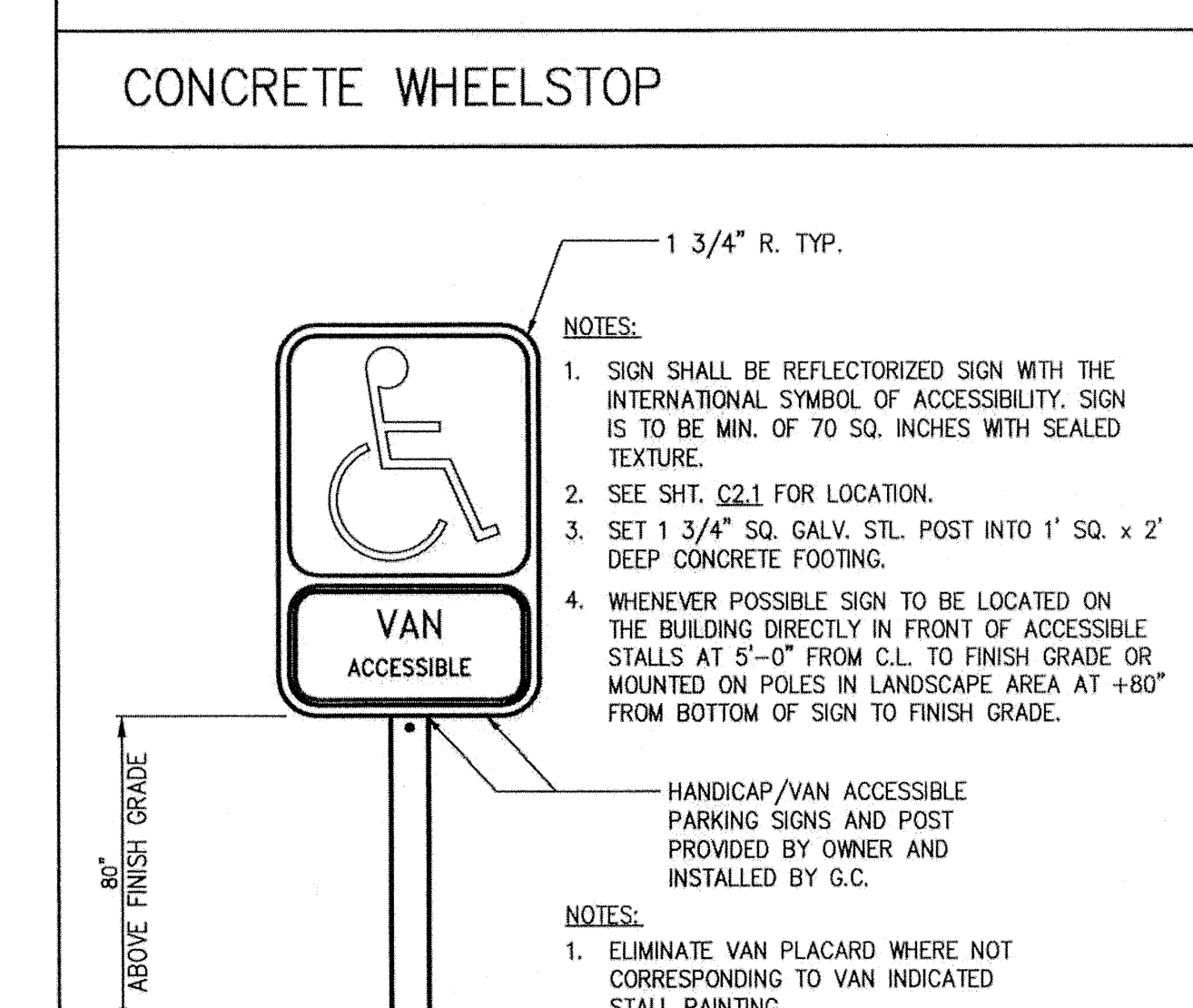
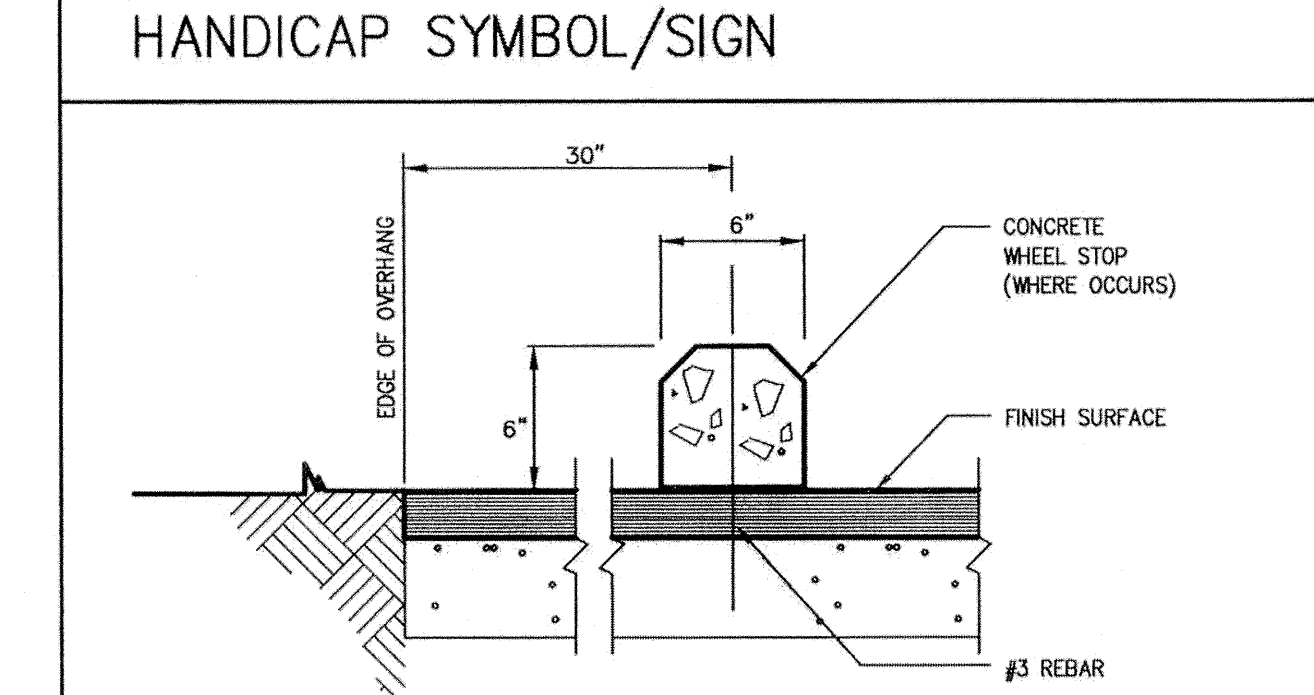
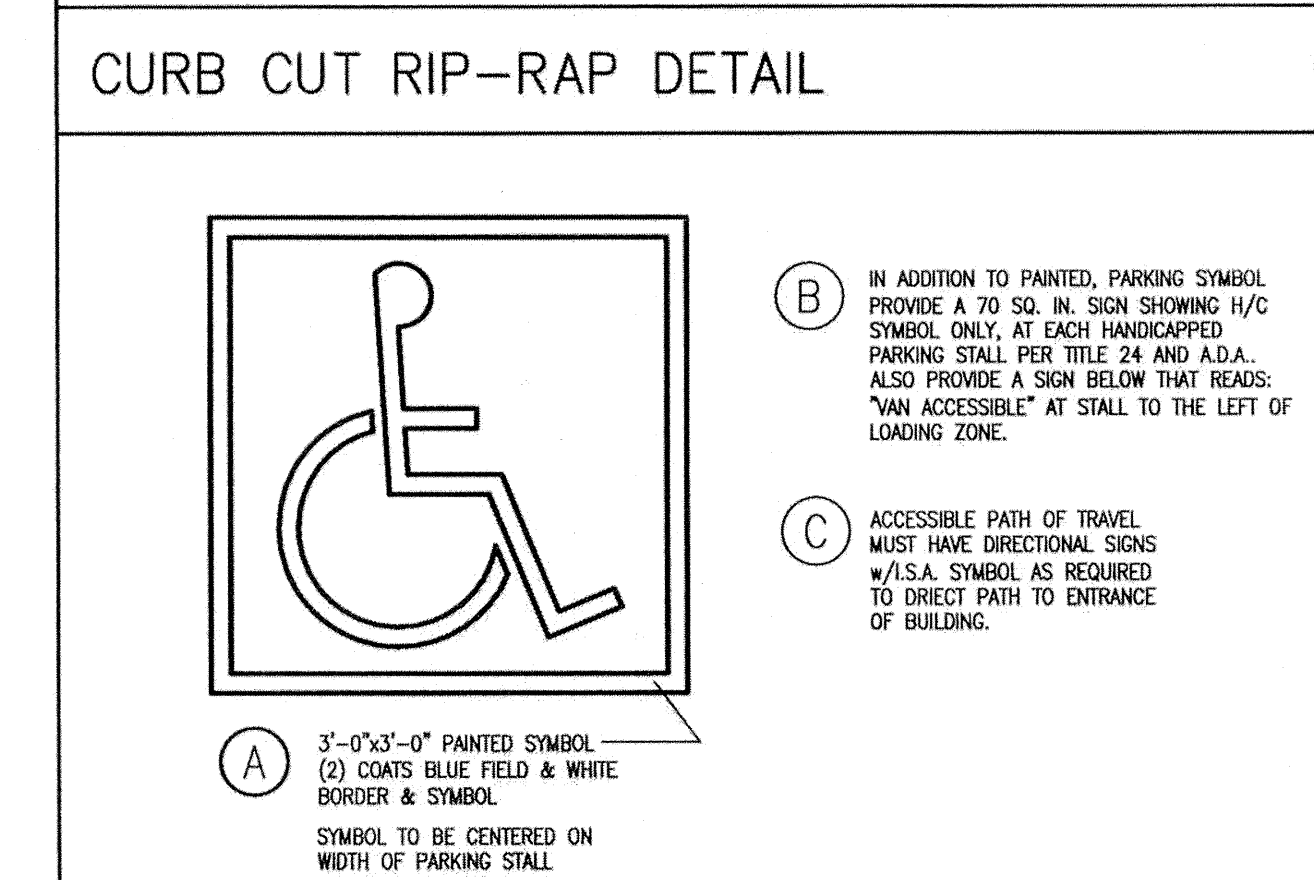
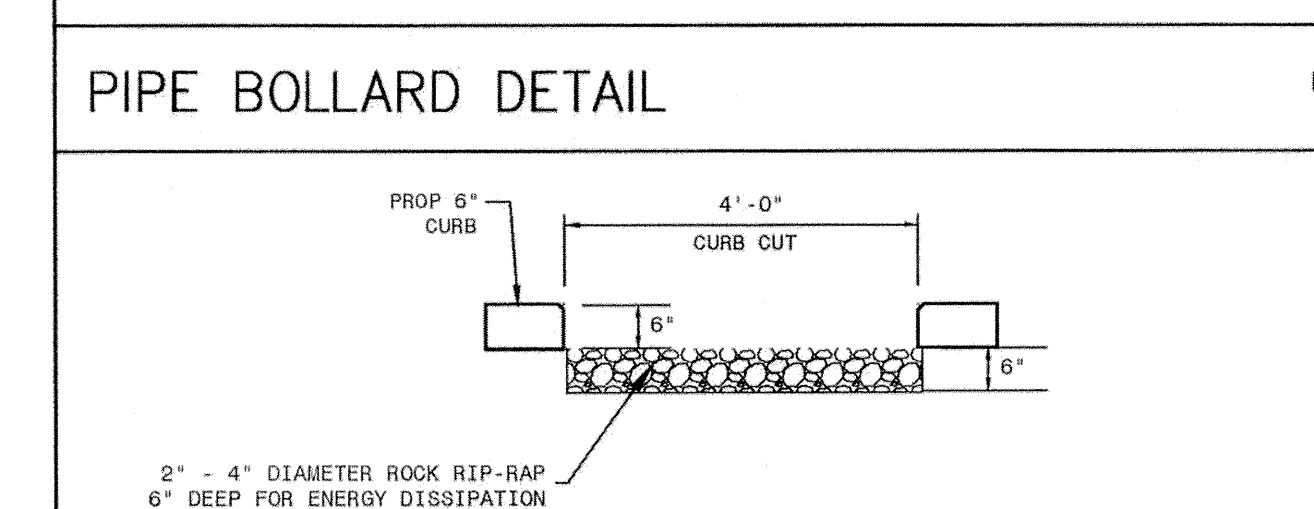
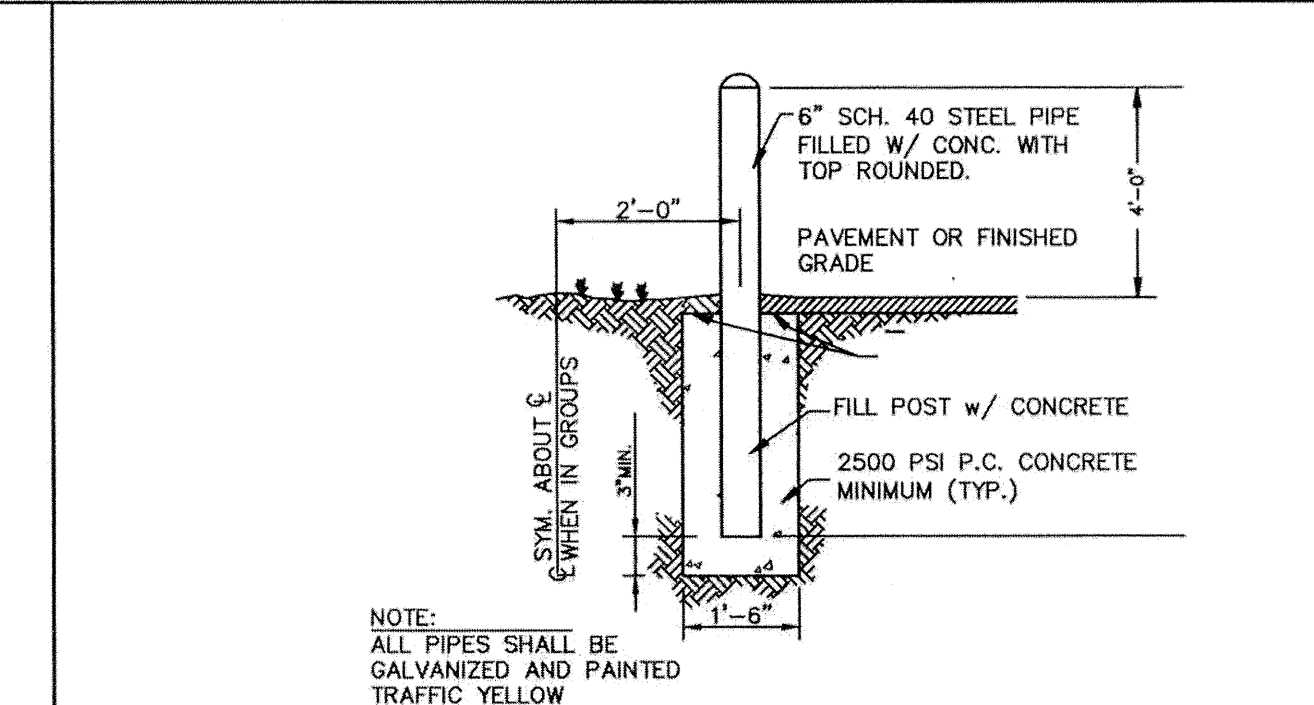
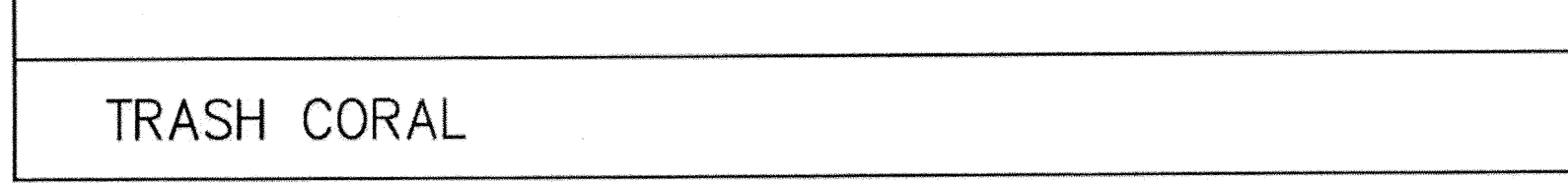
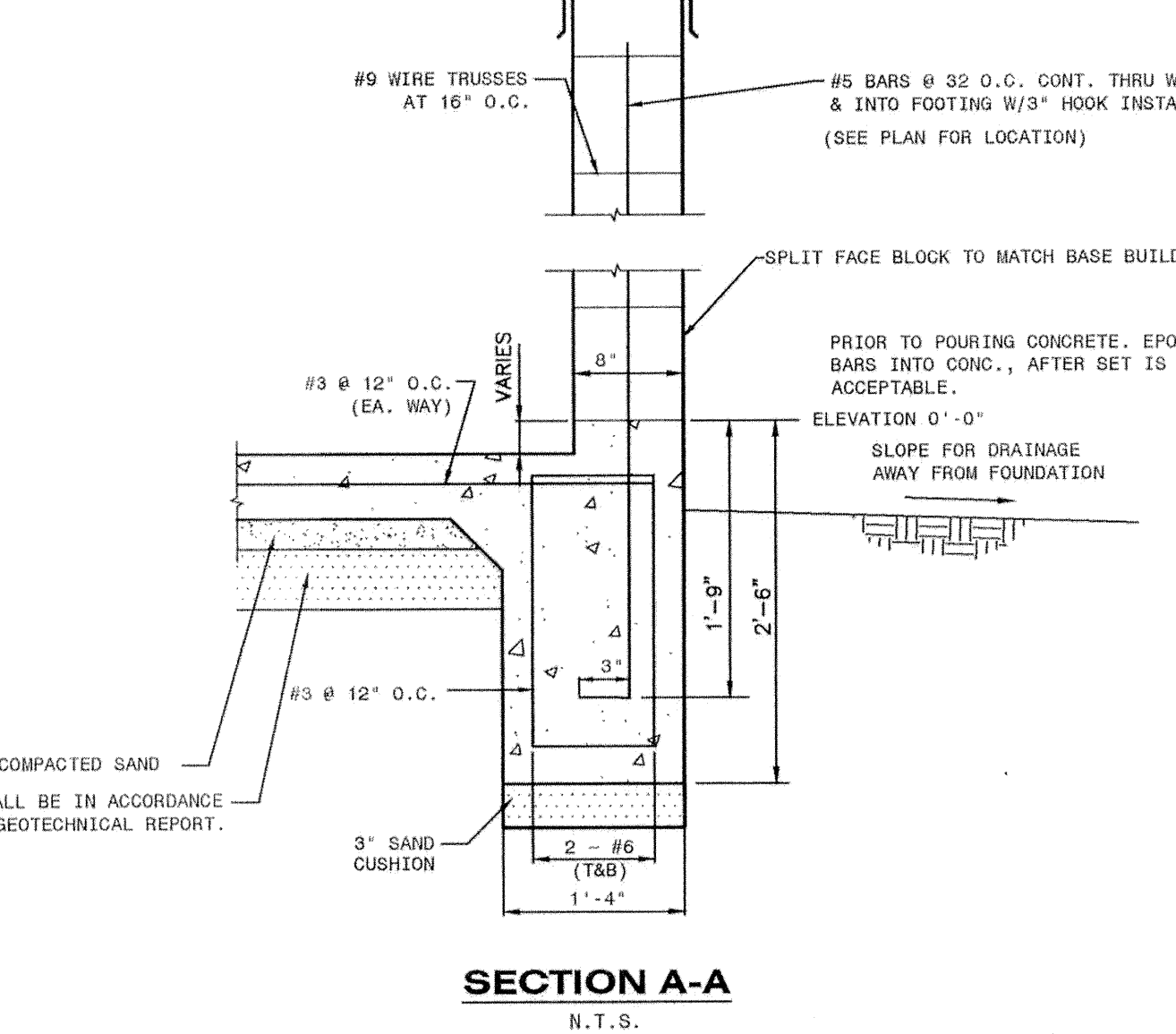
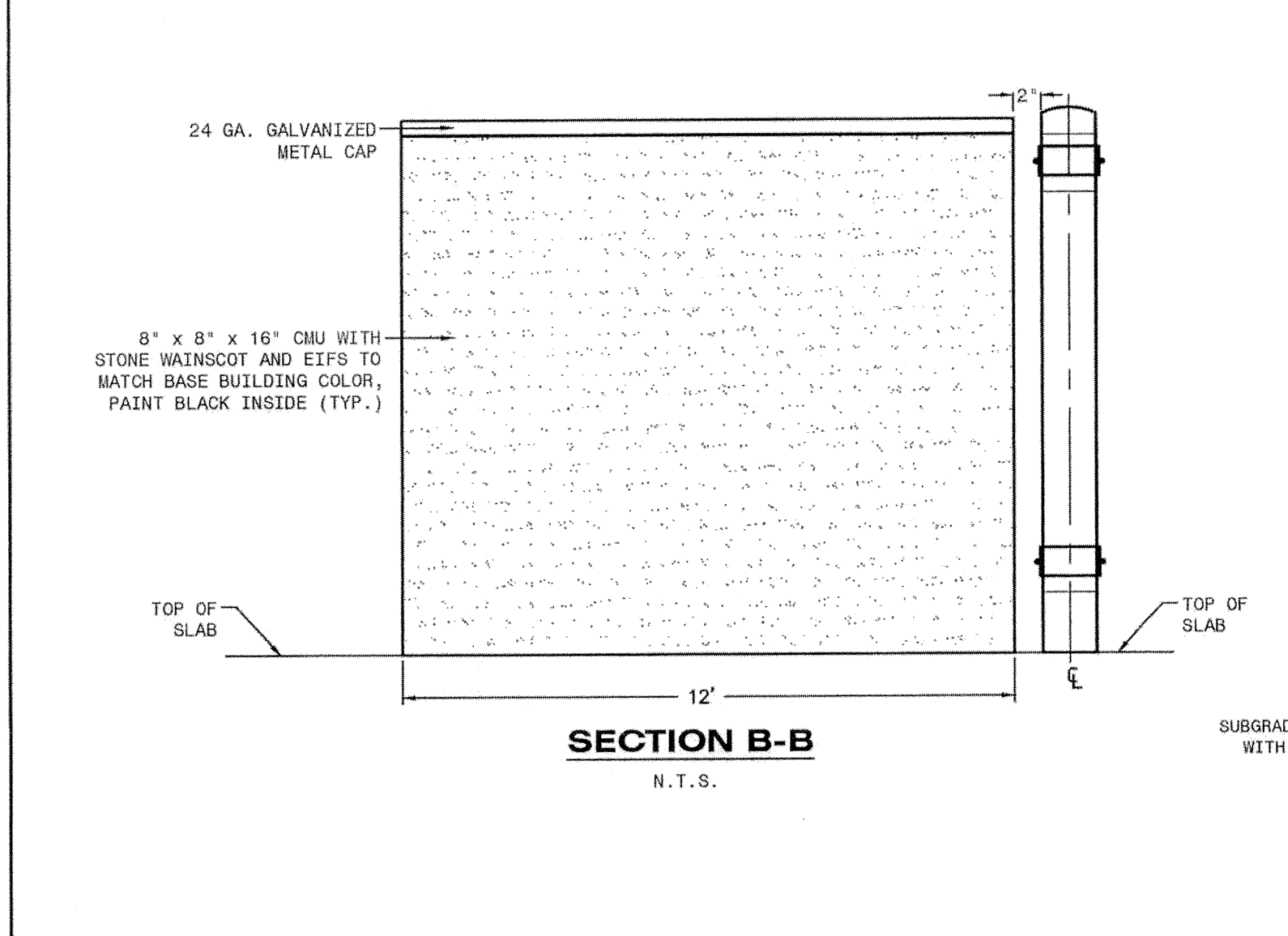
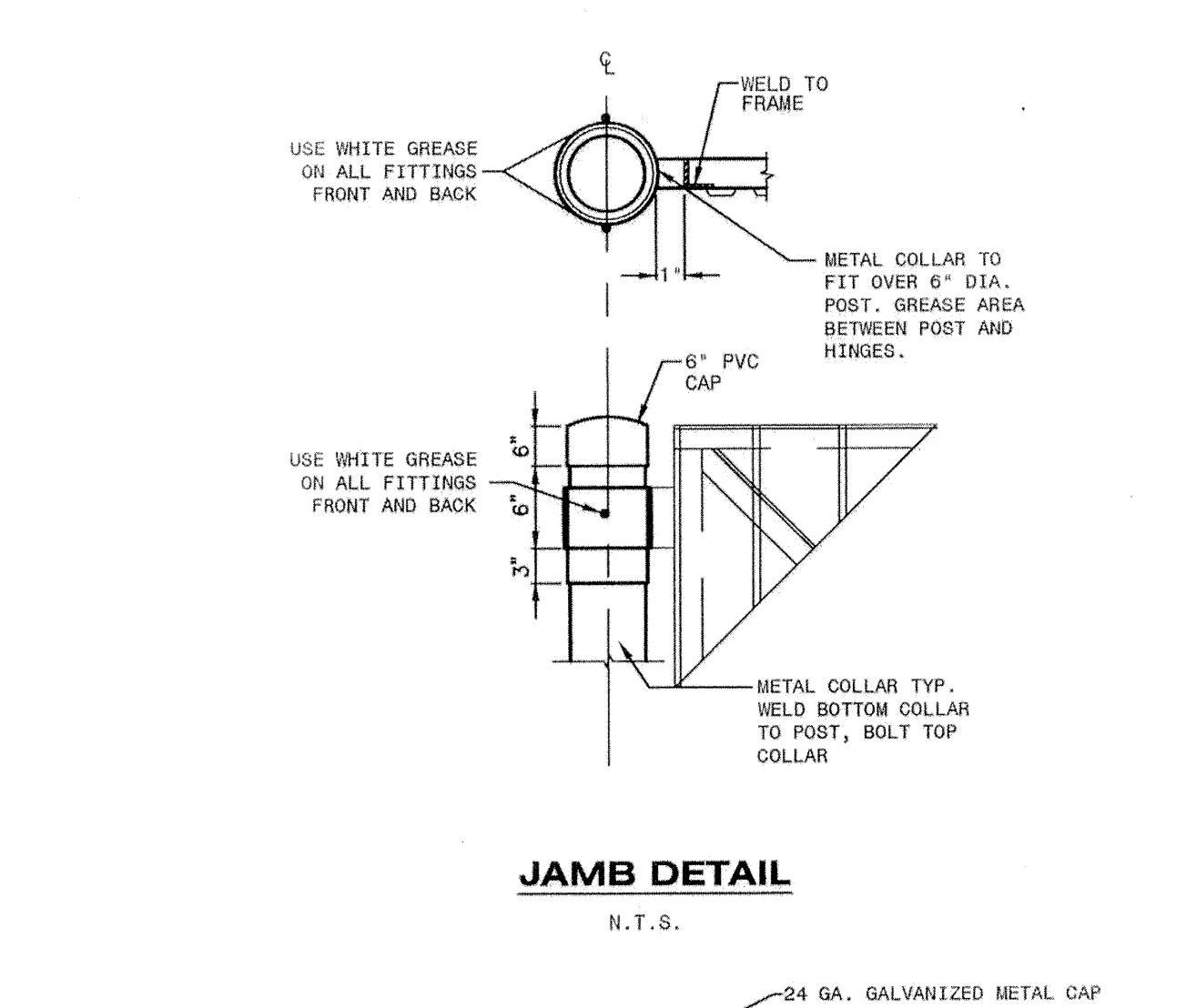
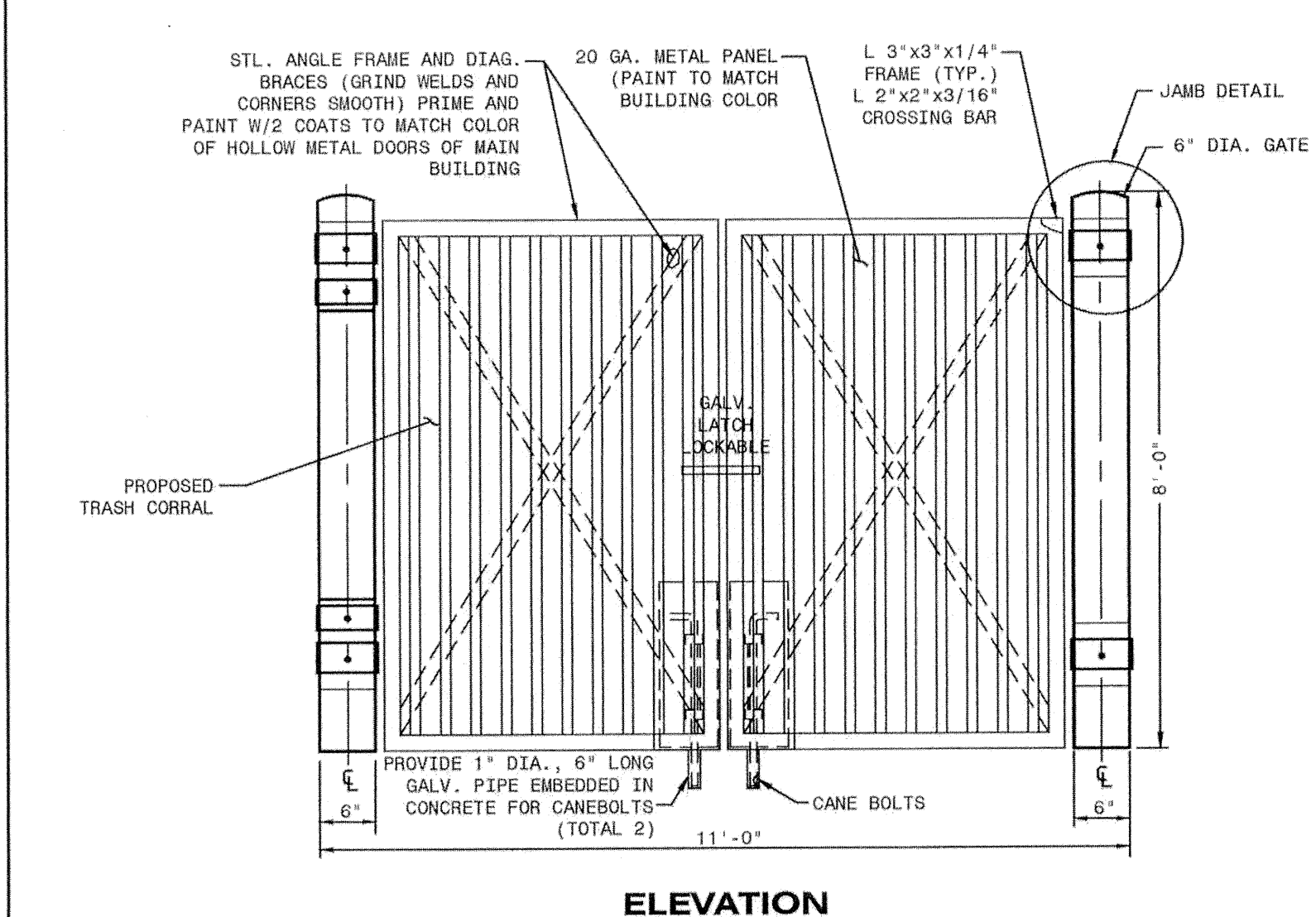
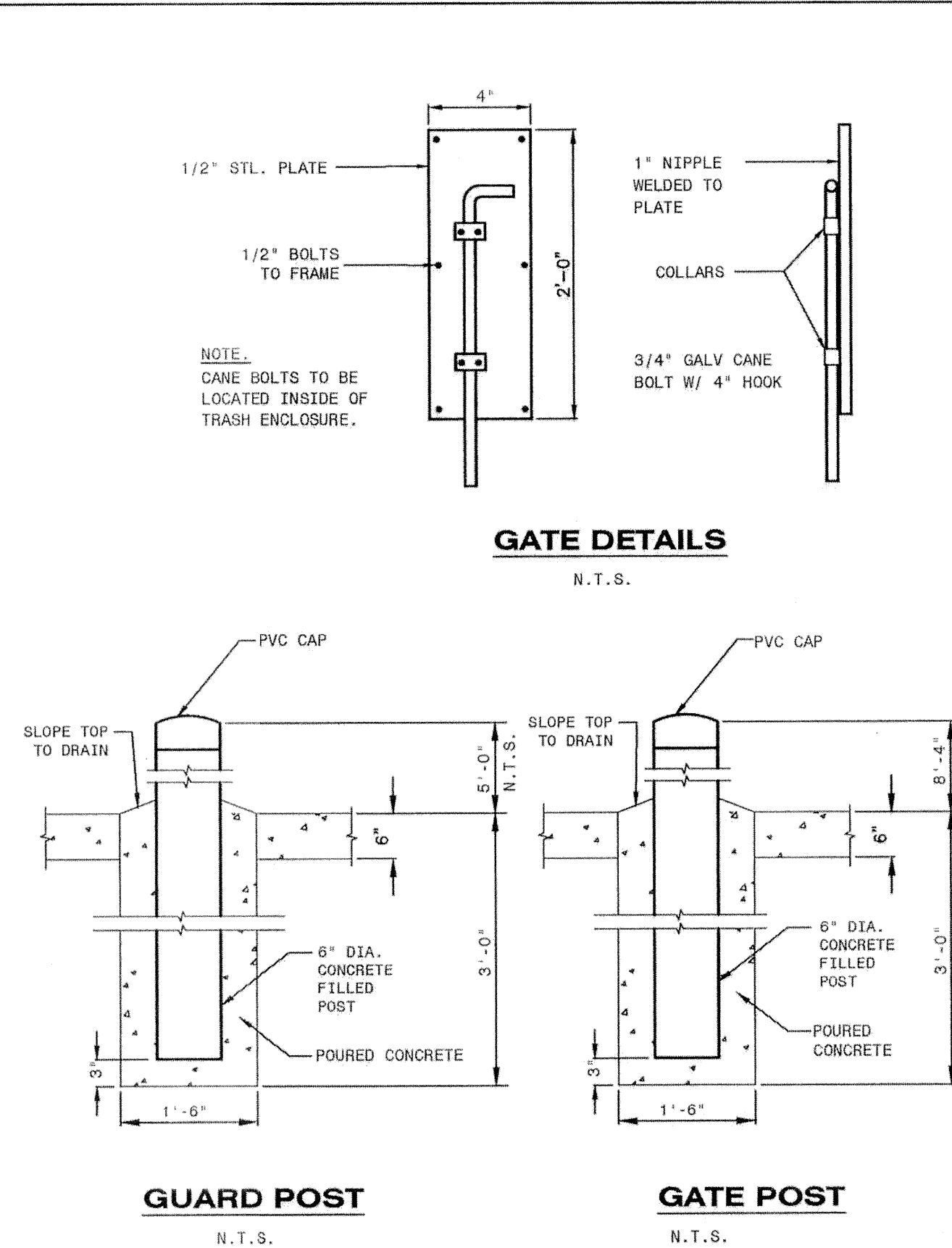
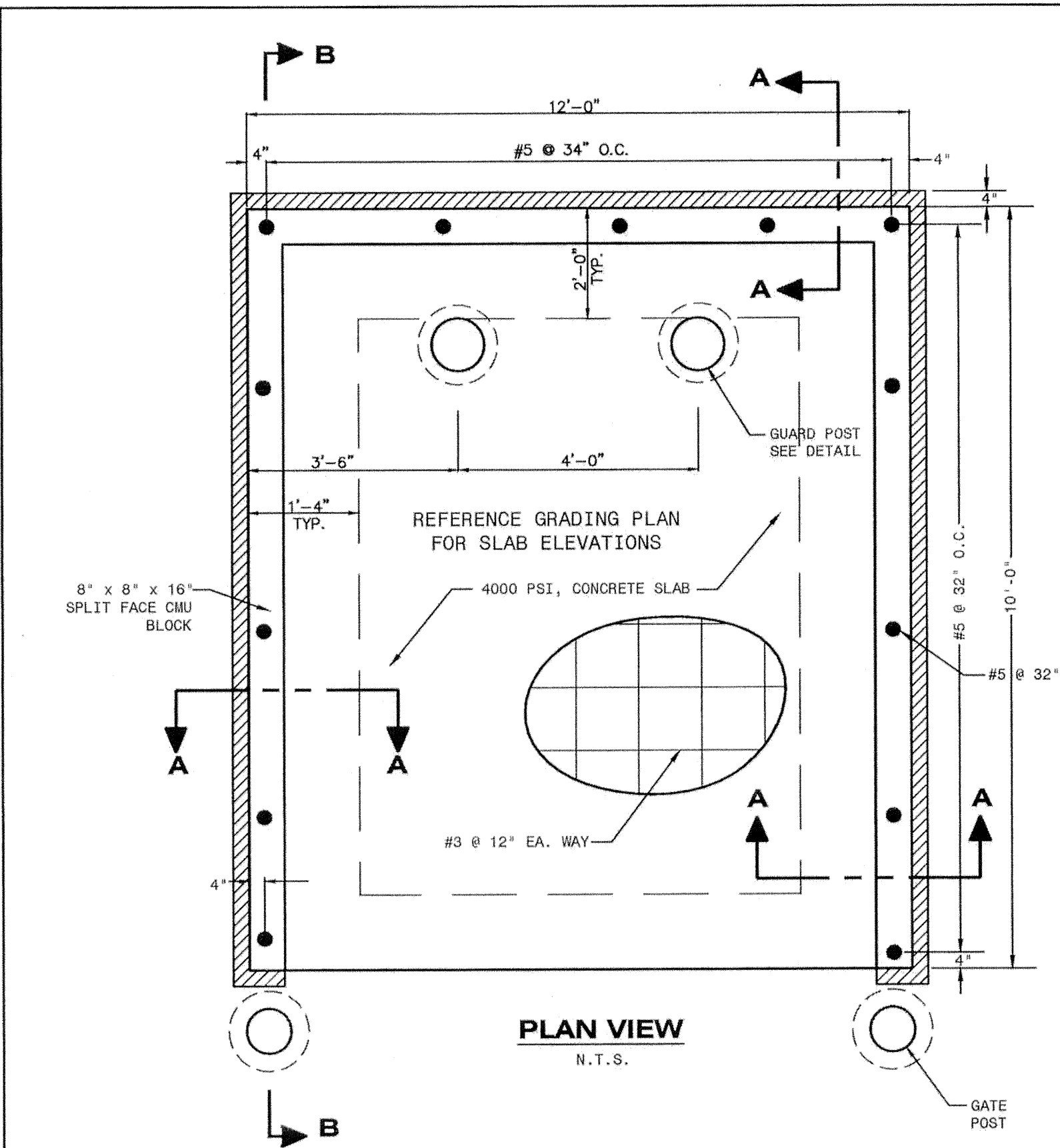


AWN CLOTH AWNING
SUNBRELLA
STYLE: 4603-0000, JOCKEY RED.



Castles Design Group

GREASE MONKEY
2205 W. Parkwood Ave.
Friendswood, Texas



Revisions		
No.	Date	Description

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GREASE MONKEY

FRIENDSWOOD, TEXAS

2205 WEST PARKWOOD AVENUE
FRIENDSWOOD, TEXAS 77546

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A Professional Corporation
3801 Kirby Dr., Suite 600
Houston, Texas 77098
Tel: 281.644.7994
Fax: 713.644.0758

JASON R. ATKINSON
97591
LICENSED PROFESSIONAL ENGINEER

MISCELLANEOUS DETAILS 1

C-7.70

Date: 07/09/2018

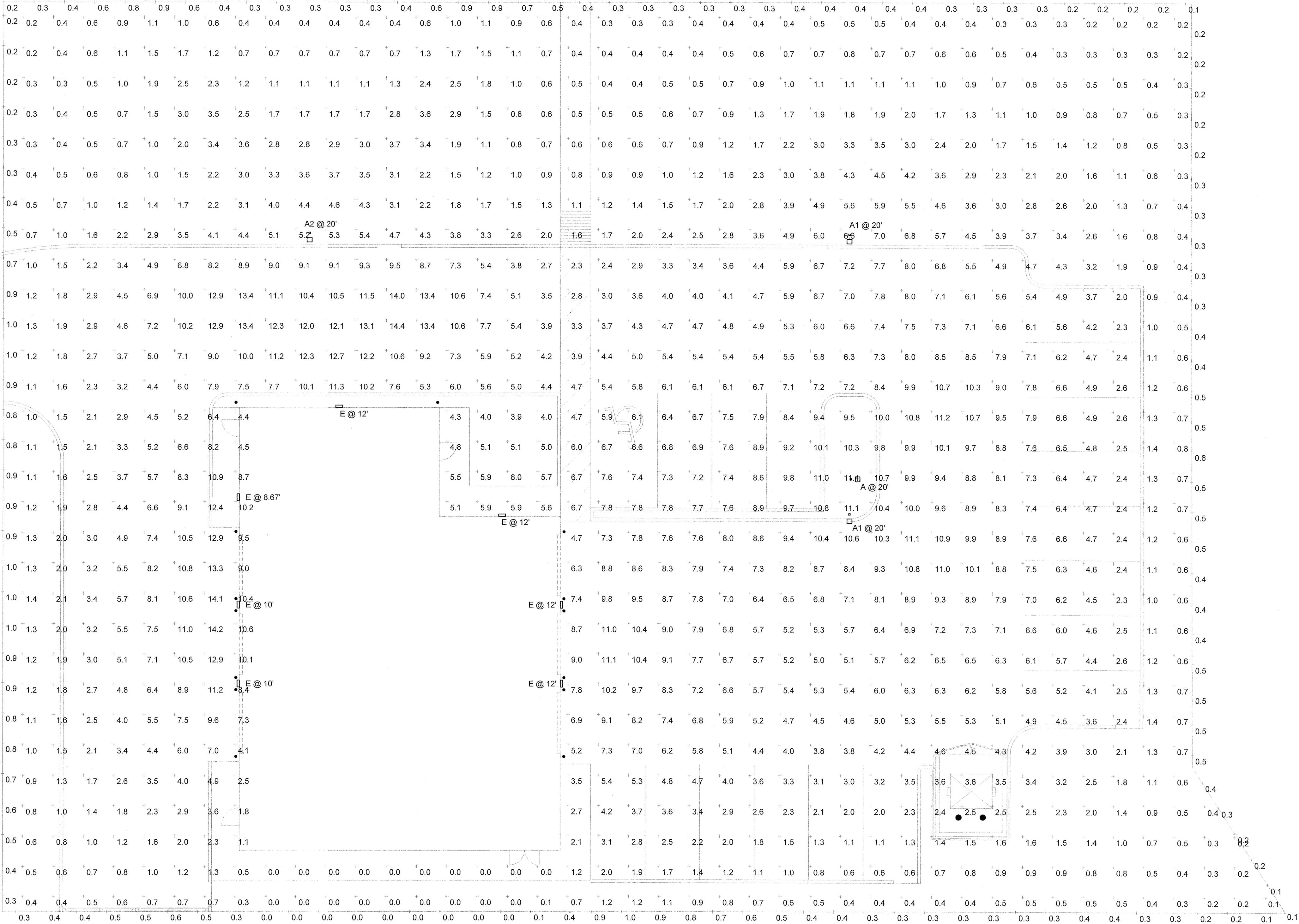
Project No.: 1805-502

PAPE-DAWSON ENGINEERS

HOUSTON | SAN ANTONIO | AUSTIN | FORT WORTH | DALLAS
10350 RICHMOND AVE, STE 200 | HOUSTON, TX 77042 | 713.428.2400
TDBE FIRM REGISTRATION #470 | TDBLS FIRM REGISTRATION #10193974

Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	0	LSI INDUSTRIES, INC.	SLM-LED-18L-SIL-3-40-70CRI	POLE MOUNTED LED FIXTURE, 4000K AND TYPE 3 DISTRIBUTION	LED	1	SLM-LED-18L-SIL-3-40-70CRI.ies	18935.6	0.9	148.5
	A1	1	LSI INDUSTRIES, INC.	SLM-LED-18L-SIL-FT-40-70CRI	POLE MOUNTED LED FIXTURE, 4000K AND TYPE FT DISTRIBUTION	LED	1	SLM-LED-18L-SIL-FT-40-70CRI.ies	18847.92	1	148.5
	A2	0	LSI INDUSTRIES, INC.	SLM-LED-18L-SIL-FTA-40-70CRI	POLE MOUNTED LED FIXTURE, 4000K AND TYPE FTA DISTRIBUTION	LED	1	SLM-LED-18L-SIL-FTA-40-70CRI.ies	18735.41	1	148.5
	E	7	Lithonia Lighting	TWH LED 20C 1000 40K T3M MVOLT	TWH LED WITH 20 LEDs, @1000mA, 4000K AND TYPE 3 MEDIUM OPTICS	LED	1	TWH_LED_20C_1000_40K_T3M_MVOLT.ies	6983.34	0.9	72

Statistics									
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max		
Boundary	+	0.4 fc	1.0 fc	0.0 fc	N/A	N/A	0.4:1		
Site	+	4.0 fc	14.4 fc	0.0 fc	N/A	N/A	0.3:1		



1 ELECTRICAL SITE PHOTOMETRIC

1" = 10'-0"

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Revisions

No. Date Description

Revision Schedule		
Revision Number	Revision Description	Revision Date

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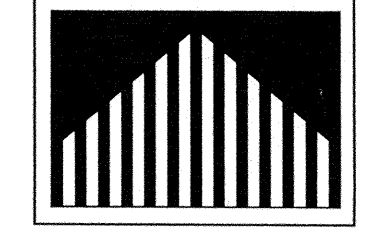
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GREASE MONKEY

GREASE MONKEY
FRIENDSWOOD, TEXAS
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FRIENDSWOOD, TEXAS 77646



Castles Design Group

A Professional Corporation
3801 Kirby Dr., Suite 600
Houston, Texas 77098
tel: 713 664 7974
fax: 713 664 9756



ELECTRICAL SITE PHOTOMETRIC

E4.0

Date: xxxxxx

Project No.: 1805-502

Virgata Commons Site Plan

Two new buildings to be located at 1765 and 1769 S. Friendswood Drive, at the corner of FM 518 and Leisure Lane

1. Compliance memo
2. Cover sheet
3. Site plan
4. Landscape plan
5. Building A Elevations
6. Building B Elevations
7. Dumpster Screening details
8. Photometric plan

Memo

To: Planning and Zoning Commission
From: Becky Summers, Development Coordinator
Date: August 13, 2018
Re: Virgata Commons
Commercial Site Plan

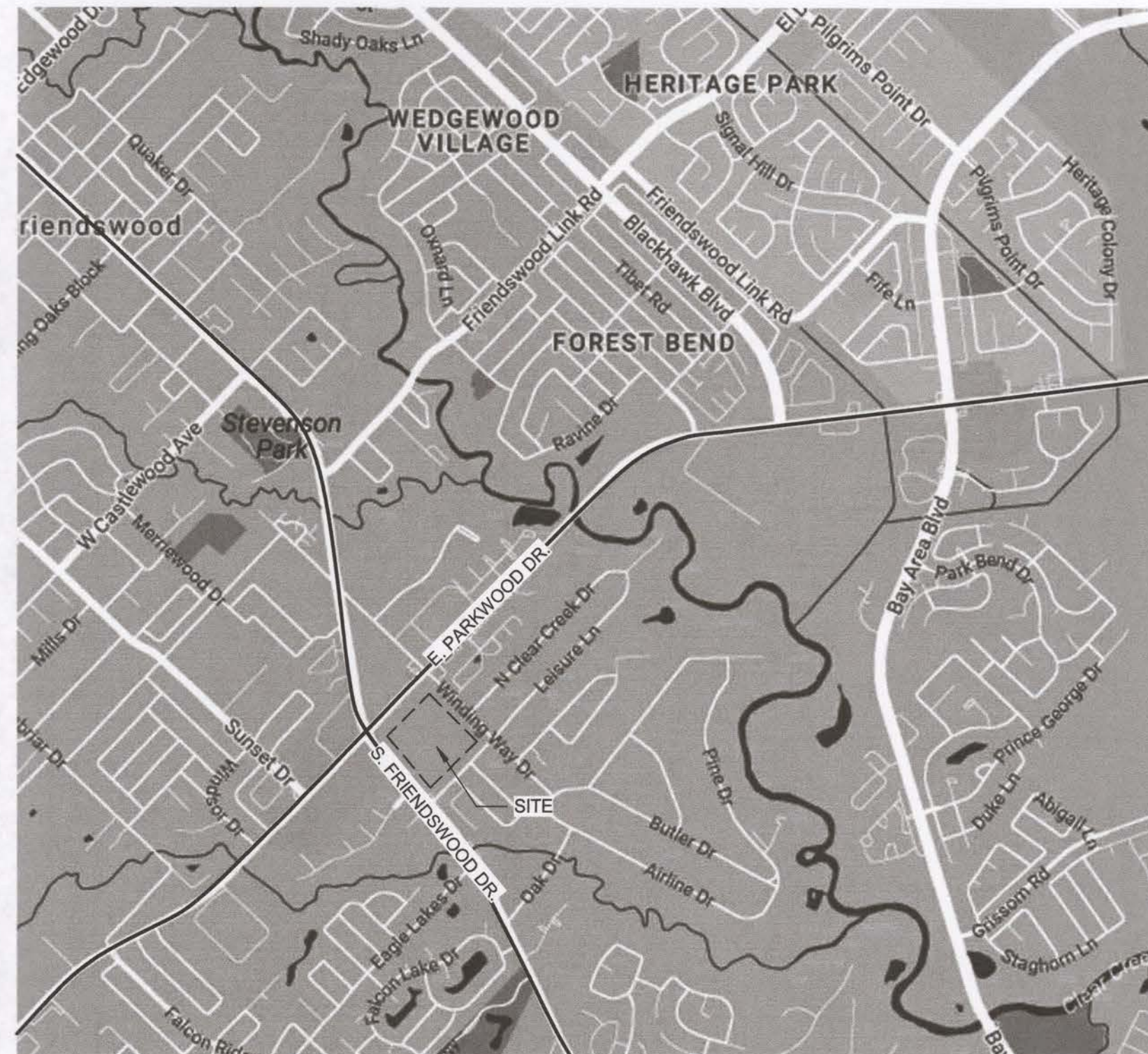
Project Description: Two new commercial buildings at the corner of Leisure Lane and FM 518.

The plan has been reviewed by staff in the following departments: Planning, Public Works/Engineering, Fire Marshal, and Police Department. The proposed project appears to be in compliance with current City codes with the following exceptions:

- 1) Request to pay into sidewalk fund in lieu of installing the sidewalk along Leisure Lane
- 2) Request to allow metal panels as part of the building façade

The plan is subject to review and approval by the Planning and Zoning Commission.

VIRGATA COMMONS FRIENDSWOOD SHOPPING CENTER



VICINITY MAP
1"=2000'



SITE PLAN APPROVAL EXPIRATION NOTE:

APPROVAL WILL EXPIRE ONE YEAR AFTER THE APPROVAL OF THE SITE PLANS BY THE COMMISSION. UPON EXPIRATION OF THAT TIME, THE APPLICANT MUST RESUBMIT A SITE PLAN THAT CONFORMS TO CURRENT ORDINANCES. PROVIDED, HOWEVER, THE APPLICANT MAY REQUEST AN EXTENSION IN WRITING, WHICH MAY BE GRANTED BY THE COMMISSION, FOR A PERIOD NOT TO EXCEED A TOTAL OF SIX MONTHS.

BLDG A : 1765 SOUTH FRIENDSWOOD DRIVE
BLDG B : 1769 SOUTH FRIENDSWOOD DRIVE

FRIENDSWOOD, TX 77546

CITY COMMENTS

7-20-18



VIRGATA

VIRGATA PROPERTY COMPANY

407 S. FRIENDSWOOD DRIVE,
FRIENDSWOOD, TEXAS 77546
281-992-9766

ISSUE	DATE	DESCRIPTION
	6-28-18	ISSUE FOR PERMIT
	7-11-18	ISSUE FOR BID
	7-19-18	PLAN UPDATE
	7-20-18	CITY COMMENT

LANDSCAPE

MEP

STRUCTURE

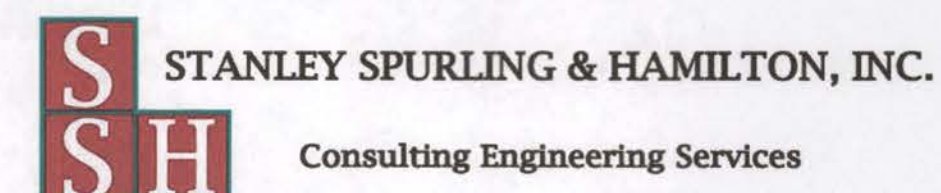
ARCHITECT

Wong & Associates, Inc.
Landscape Architects

Wong & Associates, Inc.
5207 Spruce Street
Bellaire, TX 77401
713.777.9198



DBR Engineering Consultants, Inc.
9990 Richmond Ave., South Bldg,
Ste.300, Houston, Texas 77042
713.914.0888



Stanley Spurling & Hamilton, Inc.
3301 Edloe Street, Suite 200
Houston, Texas 77027
713.776.9433



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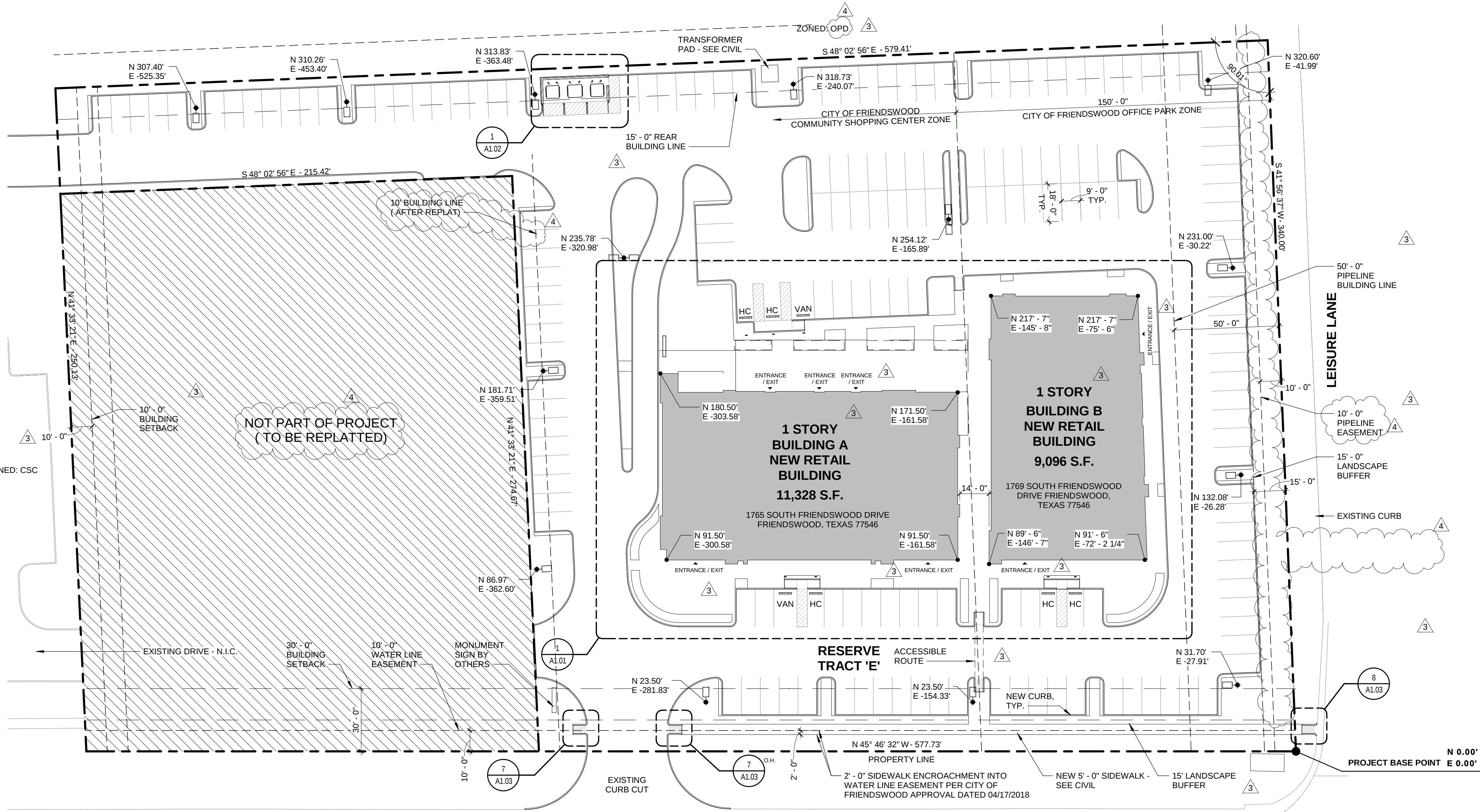
PROJECT #: 1708700
DATE: 07/20/2018

8/6/18

Planning
Public Works

7/23/18

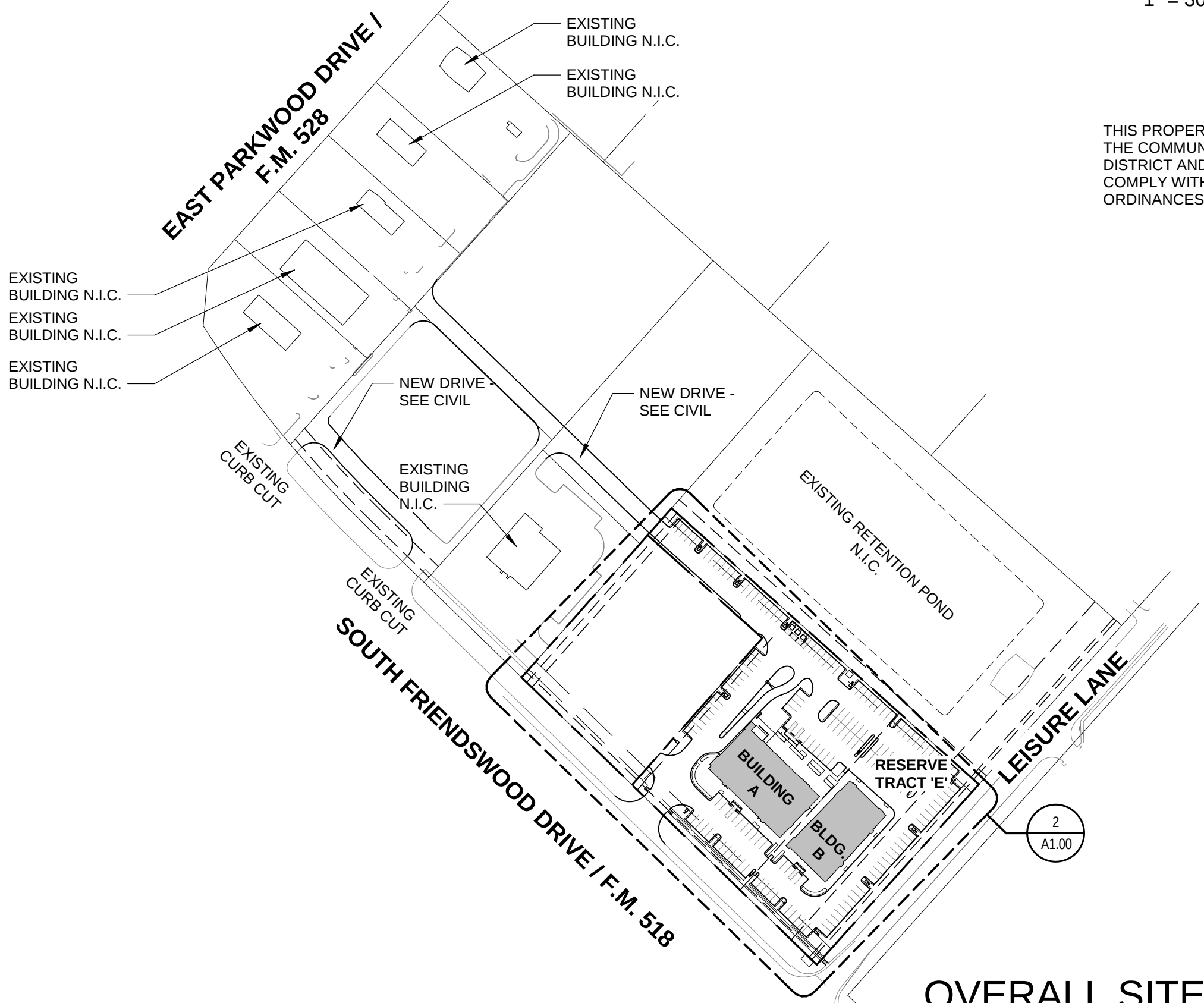
Planning
Public Works



DEVELOPMENT SYNOPSIS								
LOT	LAND AREA		USE	BLDG. AREA	PARKING RATIO REQ.	PARKING REQ.	PARKING PROVIDED	PARKING RATIO PROVIDED
R.T. 'E'	131,503 S.F.	3,019 AC.	RESTAURANT	5,664 S.F.	15.0 / 1000	85	85 CARS	15.0 / 1000
			RETAIL	14,760 S.F.	4.0 / 1000	60	91 CARS	6.1 / 1000
TOTAL	131,503 S.F.	3,019 AC.		20,424 S.F.			176 CARS	15.53%

R.T. 'C' RE: CIVIL SHEET C4.0

ACCESSIBLE CAR PARKING: 05
ACCESSIBLE VAN PARKING: 02



GENERAL SITE PLAN NOTES

- COMPLY WITH TEXAS DEPARTMENT OF HEALTH AND PUBLIC SAFETY SPECIFICATIONS, LOCAL JURISDICTION, OR TEXAS HIGHWAY DEPARTMENT STANDARDS FOR CONSTRUCTION OF ALL DRIVEWAYS IN STREET RIGHT-OF-WAY.
- SPECIAL CARE SHALL BE TAKEN WITH NEW CONSTRUCTION ALONG ADJACENT PROPERTY LINES. ADJACENT PROPERTY IS ALTERED ONLY AS SPECIFICALLY REQUIRED IN THESE DRAWINGS AND SPECIFICATIONS, AND RESTORED TO ORIGINAL CONDITION BY CONTRACTOR IF ANY DAMAGE OCCURS.
- REFER TO CIVIL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL UTILITY SERVICES TO AND ON THE SITE.
- REPAIR ALL LANDSCAPING AND GRASS AREAS DAMAGED BY CONSTRUCTION. BACK FILL WITH TOP SOIL AND GRASS PER LANDSCAPE SPECIFICATIONS.
- ACCESSIBLE PARKING SPACES AS SHOWN ON THE SITE PLAN ARE EXISTING AND ARE DESIGNATED BY ABOVE GRADE SIGN AT EACH SPACE PER STATE AND LOCAL APPLICABLE CODES AND STANDARDS. MANEUVERING SPACE BETWEEN EACH TO HAVE 4" WIDE PAINTED WHITE STRIPES AT 18" O.C. PROVIDE CONCRETE RAMP AT WALKS AS DESIGNATED ON PLANS.
- SLOPE ACCESSIBLE RAMPS AT 1:12 MAXIMUM. REFER TO PLANS. SCORE RAMP SURFACE AT 3" O.C. PROVIDE NONSKID FINISH ACCESSIBLE AND DELIVERY RAMPS.
- DO NOT RESTRICT ACCESS TO ADJACENT BUILDINGS, SITES, OR ROADWAYS.
- SET IRRIGATION SLEEVES 24" BELOW GRADE AT PAVED DRIVE OR SIDEWALK AREAS. PROVIDE IRON PINS AT EACH END TO MARK LOCATIONS.
- SIDEWALKS ARE MIN. 4 1/2" THICK WITH 6" x 6" W2.9W2.9 WELDED WIRE FABRIC TYPICAL.
- PROVIDE BONDING AGENT EQUAL TO EVAPOX BONDER #1 OR #2 AND BOKER #11 BY EPOXY INDUSTRIES INC. TO BOND CURBS TO PAVING PER MANUFACTURER'S INSTRUCTIONS.
- CONFORM TO THE REQUIREMENTS IN THE CIVIL DRAWINGS RELATED TO THE "POLLUTION PROTECTION PLAN" AND THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.
- OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO PERFORM DEMOLITION WORK WITHIN THE PROPERTY LINE AND IN THE STREET RIGHT-OF-WAY.
- COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND PLUGGING OF PUBLIC UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, AND UTILITIES TO BE ABANDONED.
- DEMOLITION OF STREET CURBS AS SHOWN ON THIS PLAN AND ON CIVIL DRAWINGS ARE TO BE THE MINIMUM REQUIREMENT FOR NEW CONSTRUCTION. REPLACE OR REPAIR OTHER CURBS REQUIRING DEMOLITION TO FACILITATE NEW CONSTRUCTION.
- ARRANGE AND PAY FOR RELOCATION OF POWER POLES AND UTILITIES REQUIRING DEMOLITION IN ORDER TO PERFORM NEW CONSTRUCTION.
- PROVIDE AND MAINTAIN ALL SIGNS AND BARRICADES AND TRAFFIC CONTROL AS REQUIRED BY SAFETY TO ALL PEDESTRIANS, VEHICLES, SURROUNDING BUILDINGS AND UTILITIES THROUGH ALL PHASES OF THE CONSTRUCTION.
- DAMAGE TO EXISTING SITE OR SURROUNDING IMPROVEMENTS, PUBLIC OR PRIVATE, BY CONTRACTOR ARE TO BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- PUMP OPEN TRENCHES AT PERIMETER OR EXISTING PAVING OR AROUND NEW CONSTRUCTION FREE OF STANDING WATER AT ALL TIMES.
- WHERE EXISTING CONCRETE CURB IS TO BE REMOVED SAW CUT EXISTING CURB 1-1/2 INCHES DEEP MIN. AND REMOVE TWO FEET OF EXISTING PAVING FOR NEW CONNECTION.
- UNLESS OTHERWISE NOTED PERIMETER LANDSCAPING ABUTTING CURBS ARE FINE GRADED TO TOP OF CURB. PROVIDE FERTILE, FRIABLE, SANDY LOAM FILL TO TOP OF CONCRETE CURB AT ALL AREAS.
- ALL PARKING STRIPES ARE TO BE PAINTED WHITE.
- PLACE SIDE WALK CONTROL JOINTS AND EXPANSION JOINTS PER DETAIL/A1.03. CONTRACTOR TO SUBMIT PROPOSED JOINT LAYOUT TO ARCHITECT FOR APPROVAL PRIOR TO LAYOUT IN THE FIELD.

PIPE SLEEVE NOTES

- REFER TO PLUMBING OR ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION AND RELATED DETAILS FOR ALL GAS, POWER, TELEPHONE AND CABLE SLEEVES.
- PIPES INDICATED AS "ELEC. PVC" ARE FOR FUTURE USE AND ARE 24" BELOW GRADE AND CAPPED. PROVIDE IRON PINS AT EACH END TO MARK LOCATIONS. INSTALL PULL WIRES INSIDE ELEC. PVC SLEEVES.

ISSUE	DATE	DESCRIPTION
1	6-28-18	ISSUE FOR PERMIT
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4	7-20-18	CITY COMMENTS
	8-6-18	CITY COMMENTS 02



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MARC E. BOUCHER
REGISTERED ARCHITECT
TEXAS NO. 14291
EXPIRES 5-31-19

FRIENDSWOOD SHOPPING CENTER

FRIENDSWOOD, TX 77546

VIRGATA PROPERTY COMPANY

DATE	06/28/2018
PROJECT NO.	1708700
DRAWN BY	AEDHGY
CHECKED BY	GMD

SITE PLAN

A1.00

Landscape Requirements:

1. Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.
2. The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical, cable, TV, etc.) and all overhead utility easements prior to start of any planting works.
3. All plant materials shall possess the following minimum qualities:
- Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
 - All plants shall be heavy, symmetrical, tightly knit, so trained or favored for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
 - Plants shall be sound, healthy and vigorous, well branched, and densely foliated when in leaf. They shall be free of disease, insects, pests, eggs, or larvae.
 - All plants shall be true of species and variety and shall conform to measurements (caliper size, trunk heights, spread) as specified on the drawings.
 - Container grown stock when specified shall have grown in the container in which delivered for at least six months, but not over two years. Samples must prove no rootbound conditions exist. Caliper measurements shall be taken at a point on the trunk six inches (6") above natural ground line for trees up to four inches (4") in caliper.
 - All trees shall be staked by a minimum of two metal "T" stakes for single trunk trees and three stakes for all multi-trunk trees.
4. Planting mix shall be thoroughly mixed in the following proportions:
- Prepared soil as backfill for shade and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 Lbs. Commercial fertilizer per CY or 10 Lbs. Organic fertilizer.
 - Prepared soil as backfill for shrubs and groundcovers and seasonal colors shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part enriched topsoil + 1 part No. 1 Bank Sand + 3 Lbs. Time-released fertilizer, 14-14-14 per CY or 8 Lbs. Organic fertilizer.

5. Excavation work and Surface drainage works shall conform to the following requirements:
- Test drainage of plant beds and plant pits by filling with water twice in succession. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
 - Work shall include the final responsibility for proper surface drainage of planted areas. Any obstructions on the site, or prior work done by another part, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
 - Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 65 gal. Or 100 gal.).
 - Excavate entire shrub bed to a depth of 8" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape legend.
 - Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" pot or 1 gal.).
6. Additional work requirements on landscape areas:
- Prior to installation of any planting works (trees, shrubs, groundcover and grass works); apply "Round Up" in all planting areas to eradicate all weed growths on site.
 - Install weed control barriers in all trees, shrub and groundcover planting areas. Weed barrier fabric shall be black polypropylene sheet 27 mils thick, 4 oz/s.y. grab tensile strength per ASTM D-4632; 90 lbs. (machine direction) 50 lbs. (cross machine direction). Provide DeWitt "Weed Barrier" or approved substitute.
 - Edge all planting bed areas with Ryerson steel edging to clearly define the edge of the planting bed the start of the grass areas. Edging shall be Ryerson estate Curb, 1/8"x4" with new stakes free of rust.
 - Spread a minimum two inch layer of pine bark mulch overall shrub and groundcover bed areas.
7. Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
- The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Thirty Days (30).
 - The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
 - Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, restaking, tightening and repair of guys; resetting plants for proper grades or upright position, and furnishing and application of pesticides/herbicides; sprays, and invigorants as are necessary to keep plantings free of insects and disease and in a thriving condition.
8. Warranty Periods, Plant Guarantees, and Replacements:
- Planting supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

Grass Hydromulching Work Requirements:

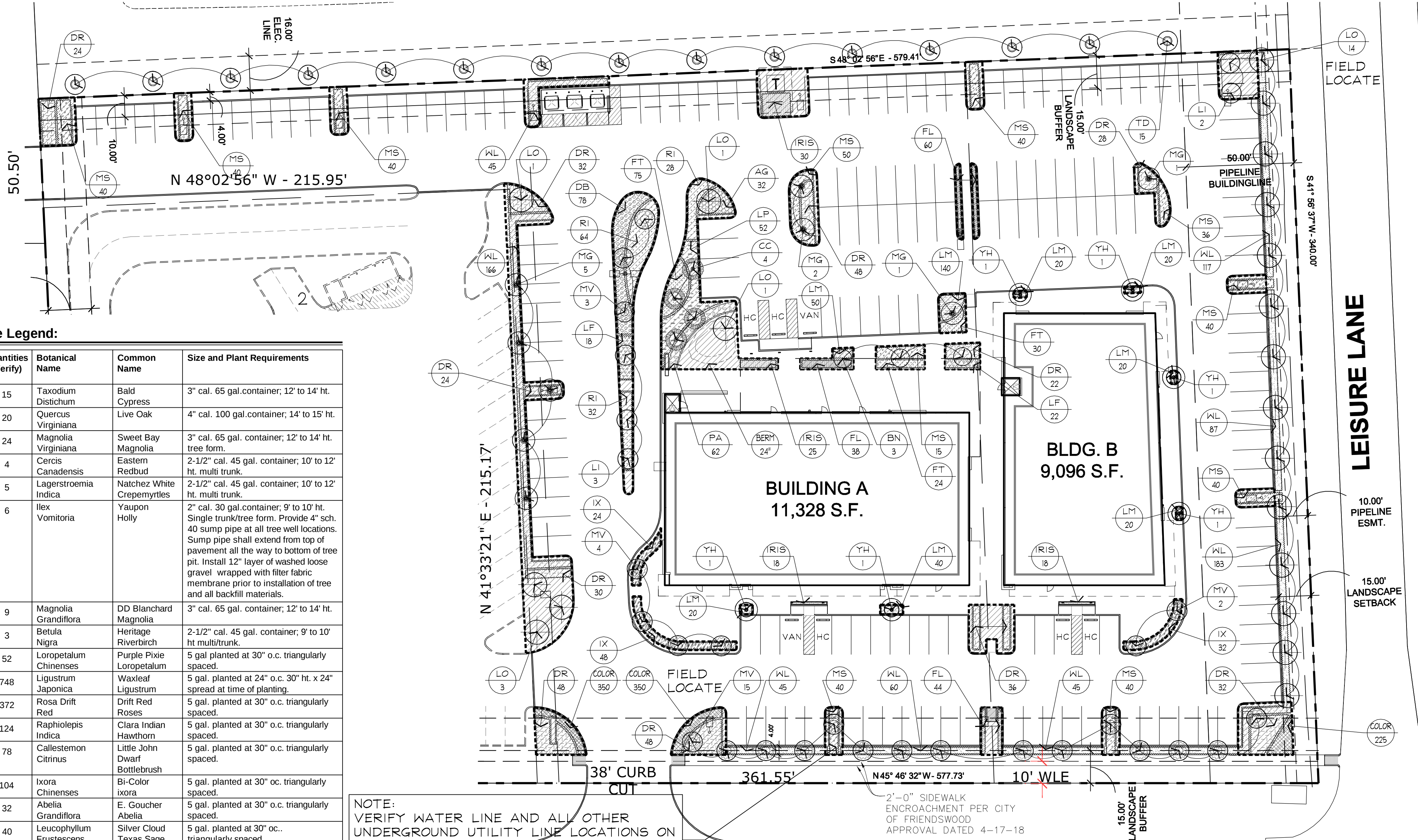
1. Grass works:
- Seed which has become wet, moldy and otherwise damaged in transit or in storage will not be acceptable.
 - All grass seed shall be fresh, re-cleaned grass seed of the latest crop, mixed in the following proportions by weight and meeting the accepted standards of pure live seed content, purity and germination.
 - Grass seed shall have the following minimum ratio:
Summer Mix:
Cynodon Dactylon (Hulled Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre.
Winter Mix:
Cynodon Dactylon (Unhulled - Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre. Annual Rye Grass or equal, 85% pure live seed at 175 Lbs. Pure live seed per acre.
2. Slurry Mix Component per Acre shall be Wood cellulose fiber mulch = 2,000 pounds + Grass Seed as specified + fertilizer (13-13-13) 800 pounds.
3. Hydromulched seeding on Prepared finished grades:
- Install and spread out a minimum of one inch layer of topsoil over all areas to be hydromulched.
 - Bed preparation: Immediately after the finished grade has been approved, begin hydroseeding operation to reduce excessive weed growth and erosion.
 - Apply seed, fertilizer and mulch by spraying them on the previously prepared seedbeds in the form of an aqueous mixture and by using the methods and equipment described herein. Particular care shall be exercised by the contractor to insure that the application is made uniformly and at the prescribed rate and to guard against miss and overlapped areas.
 - Where slope of areas to be grassed exceed a 3:1 H:V; an erosion control fabric shall be installed prior to hydromulching process.
4. Maintenance:
- Maintenance shall consist of weeding, fertilizing, insect control, watering, replanting, mowing, maintaining of existing grades and repair of any erosion damages.
 - Guaranteed growth and coverage of hydromulch planting shall be a minimum on ninety five percent 95% of the area planted will be covered with specified planting after sixty days with no bare spots visible.
 - Watering: Coordinate with the Owner to properly operate irrigation system to assure a regular, deep watering program.
5. Inspection and Final Acceptance:
- Final acceptance of lawn establishment shall mean that hydroseed areas are Ninety Five percent 95% uniform coverage of grass in excess of one inch height. No bare spots will be acceptable.

Landscape Legend:

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
TD	15	Taxodium Distichum	Bald Cypress	3" cal. 65 gal. container; 12' to 14' ht.
LO	20	Quercus Virginiana	Live Oak	4" cal. 100 gal. container; 14' to 15' ht.
MV	24	Magnolia Virginiana	Sweet Bay Magnolia	3" cal. 65 gal. container; 12' to 14' ht. tree form.
CC	4	Cercis Canadensis	Eastern Redbud	2-1/2" cal. 45 gal. container; 10' to 12' ht. multi trunk.
LI	5	Lagerstroemia Indica	Natchez White Crepe myrtles	2-1/2" cal. 45 gal. container; 10' to 12' ht. multi trunk.
YH	6	Ilex Vomitoria	Yaupon Holly	2" cal. 30 gal. container; 9' to 10' ht. Single trunk/tree form. Provide 4" sch. 40 sump pipe at all tree well locations. Sump pipe shall extend from top of pavement all the way to bottom of tree pit. Install 12" layer of washed loose gravel wrapped with filter fabric membrane prior to installation of tree and all backfill materials.
MG	9	Magnolia Grandiflora	DD Blanchard Magnolia	3" cal. 65 gal. container; 12' to 14' ht.
BN	3	Betula Nigra	Heritage Riverbirch	2-1/2" cal. 45 gal. container; 9' to 10' ht. multi/trunk.
LP	52	Loropetalum Chinenses	Purple Pixie Loropetalum	5 gal. planted at 30" o.c. triangularly spaced.
WL	748	Ligustrum Japonica	Waxleaf Ligustrum	5 gal. planted at 24" o.c. 30" ht. x 24" spread at time of planting.
DR	372	Rosa Drift Red	Drift Red Roses	5 gal. planted at 30" o.c. triangularly spaced.
RI	124	Raphiolepis Indica	Clara Indian Hawthorn	5 gal. planted at 30" o.c. triangularly spaced.
DB	78	Callemeston Citrinus	Little John Dwarf Bottlebrush	5 gal. planted at 30" o.c. triangularly spaced.
IX	104	Ixora Chinenses	Bi-Color ixora	5 gal. planted at 30" oc. triangularly spaced.
AG	32	Abelia Grandiflora	E. Goucher Abelia	5 gal. planted at 30" o.c. triangularly spaced.
LF	40	Leucophyllum Frutescens	Silver Cloud Texas Sage	5 gal. planted at 30" oc.. triangularly spaced.
PA	62	Pennisetum Alopecuroides	Hamih Pennisetum	1 gal. planted at 24" o.c. triagnularly spaced.
MS	421	Miscanthus Sinenses	Adagio Miscanthus	1 gal. planted at 24" o.c. triangularly spaced.
FT	129	Asparagus Meyeri	Foxtail Fern	1 gal. planted at 24" o.c. triangularly spaced.
FL	142	Daniella Tasmanica	Variegated Flax Lily	1 gal. planted at 24" oc.. triangularly spaced.
LM	330	Liriope Muscari	Big Blue Liriope	1 gal. planted at 12" o.c. triangularly spaced.
Iris	91	Morae Dietes Iridodes	Butterfly Iris	1 gal. planted at 24" oc. triangularly spaced.
Color	925	Seasonal Color	Annuals	4" pot planted at 8" o.c. Varieties and color to be selected.
Black Star	Verify LF.			Propose areas to be filled with "Black Star" crushed granite. Excavate areas to a depth of 3". Compact subgrade and overlay with filter fabric membrane. Install Black Star crushed granite over entire excavated area and compact in place.
Grass	Verify SF.	Cynodon Dactylon	Common Bermuda	Hydromulch for all areas within limits of the project plus all right of way areas. All areas to be grassed shall be cleaned up and fine graded with a minimum two inch layer of topsoil to adhere to civil grading/drainage plan.

Landscape Calculations Per Friendswood Requirements:

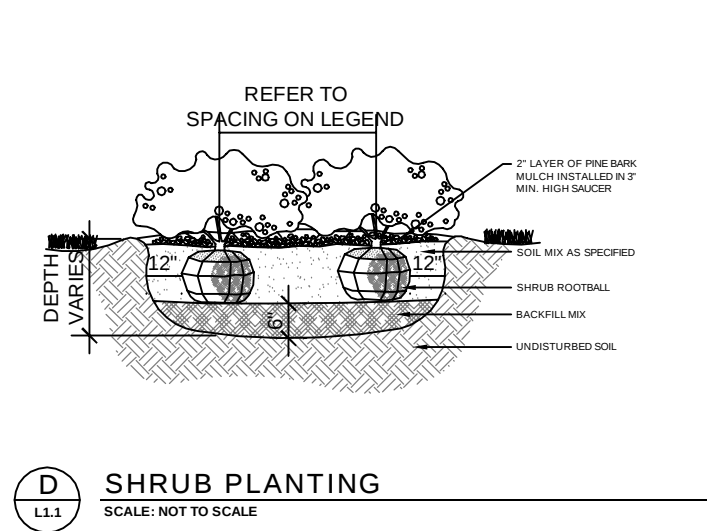
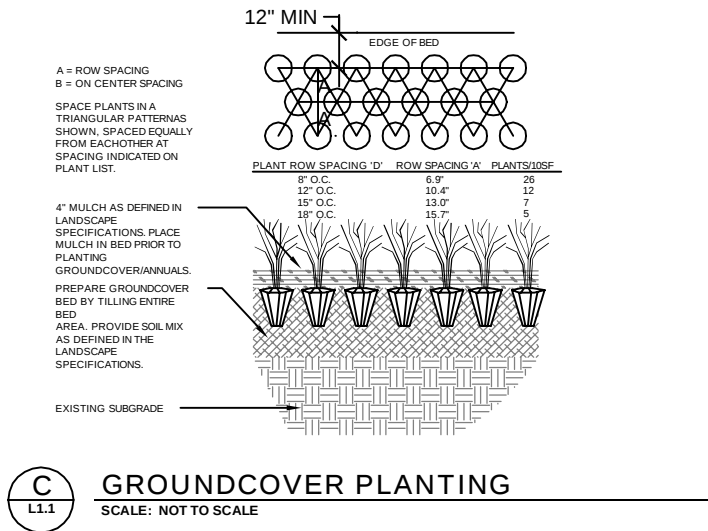
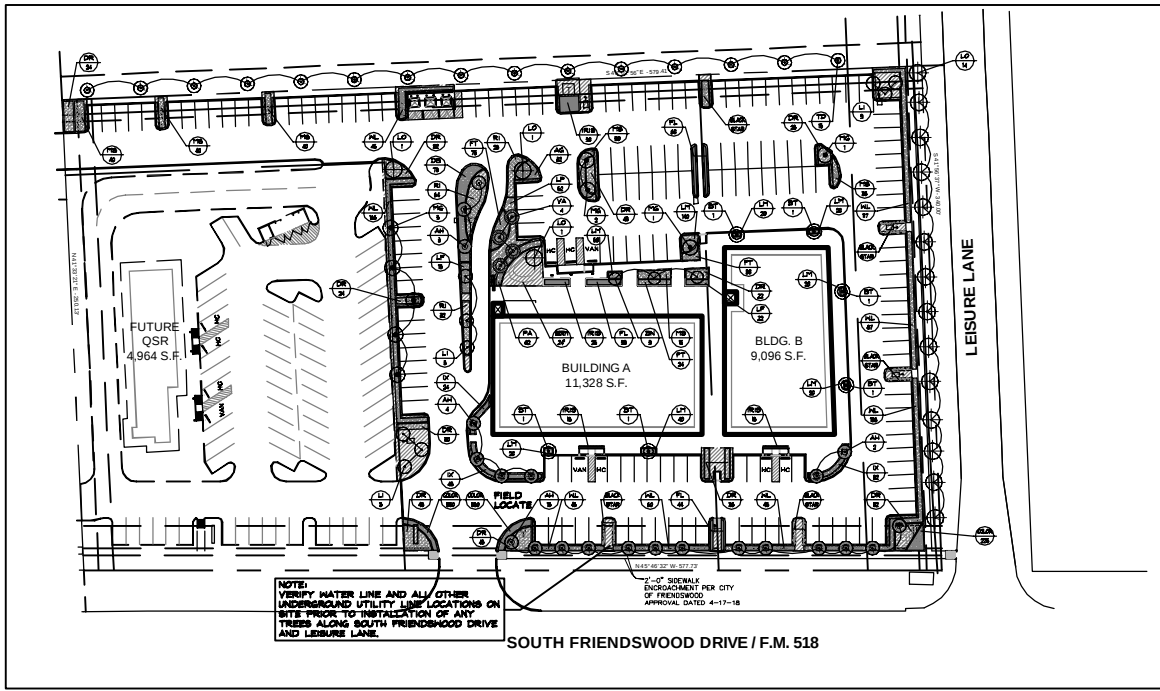
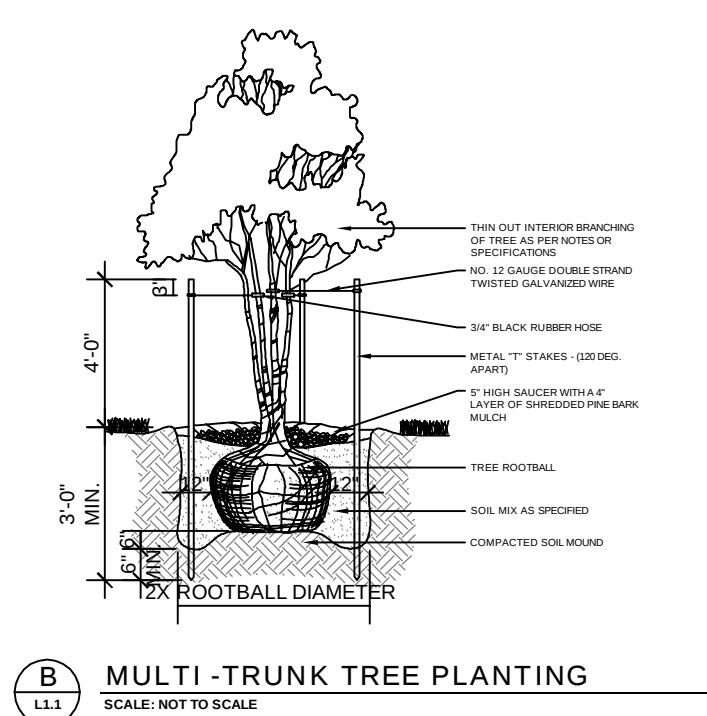
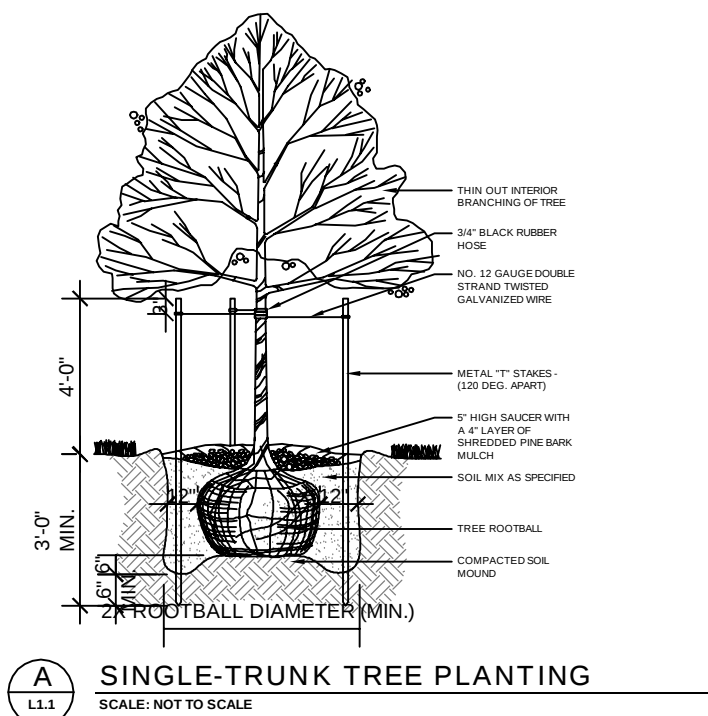
Item	Description of Requirements	Information	Landscape Required	Landscape Provided
A.	Total Area of Parking & Drive	91,596.00 SF		
B.	Total Landscape SF required @ 20%		9,159.60 SF @ 20% 20%-18,319.20 sf	19,608.00 SF
C.	Required Landscape of 18,319.00 SF. x 0.50 = SF of required landscape island		9,159.00 SF	9,472.00 SF
D.	Perimeter Landscape: (1 tree per 30 LF of property line of landscape buffer	579.41 + 250.13= 829.54	28 Trees Required	38 Trees provided.
E.	Plus Landscape Buffer per Subsection 8.1			
1	South Friendswood Drive	295.00 LF/25	12 trees	13 trees
2	Leisure Lane	340.00 LF/25	14 trees	14 trees
	Total Landscape Buffer along Street Frontage			7,034.00 SF
F.	Total Parking Spaces	176 cars	18 Trees	24 Trees



NOTE: VERIFY WATER LINE AND ALL OTHER UNDERGROUND UTILITY LINE LOCATIONS ON SITE PRIOR TO INSTALLATION OF ANY TREES ALONG SOUTH FRIENDSWOOD DRIVE AND LEISURE LANE.

SOUTH FRIENDSWOOD DRIVE / F.M. 518

NOTE: DASHED LINED DESIGNATE LANDSCAPE ISLANDS AT PARKING LOT.

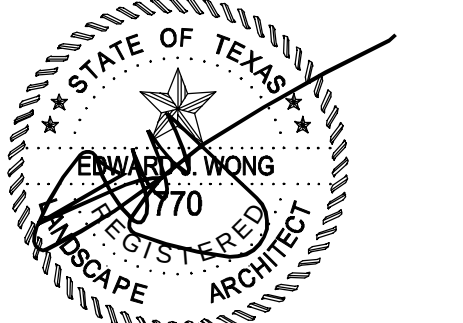


1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

ISSUE	DATE	DESCRIPTION
	06.28.18	ISSUE FOR PERMIT
	07.11.18	ISSUE FOR BID
	07.19.18	PLAN UPDATE
	08.06.18	CITY COMMENT 02



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Landscape Architects
Wong & Associates, Inc.
P.O. Box 2028
Bellaire, Texas 77402-2028
Member: American Society of Landscape Architects

VIRGATA
SOUTH FRIENDSWOOD

Building A:
1765 S. Friendswood Dr.
Building B:
1769 S. Friendswood Dr.

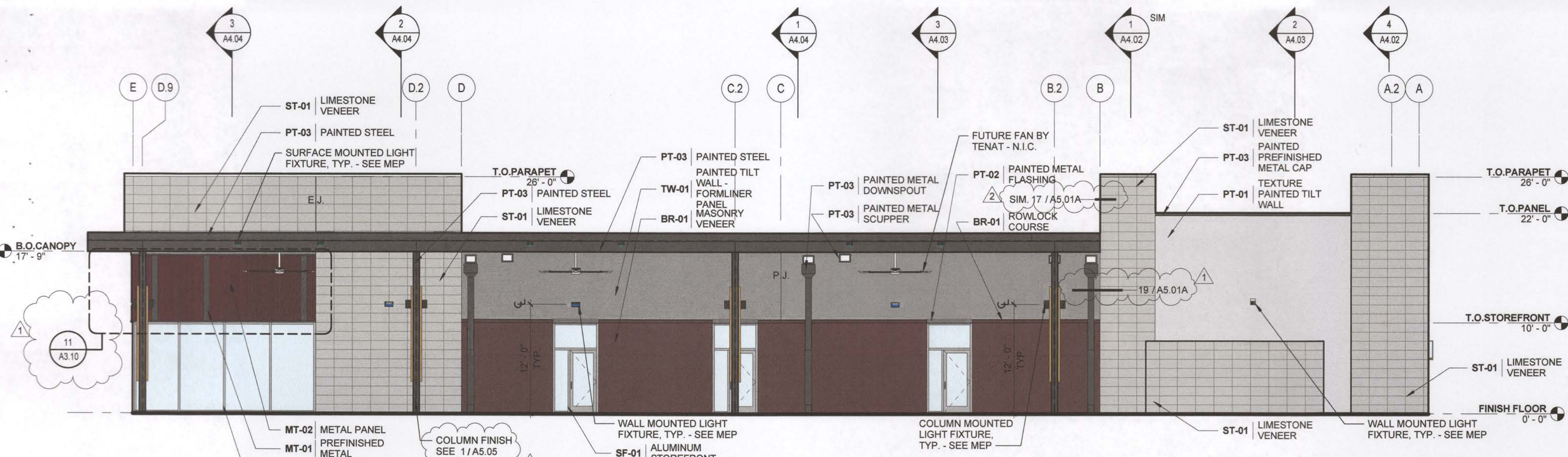
DATE	06-28-18
PROJECT NO.	-
DRAWN BY	EW/SR
CHECKED BY	EW

LANDSCAPE
PLAN

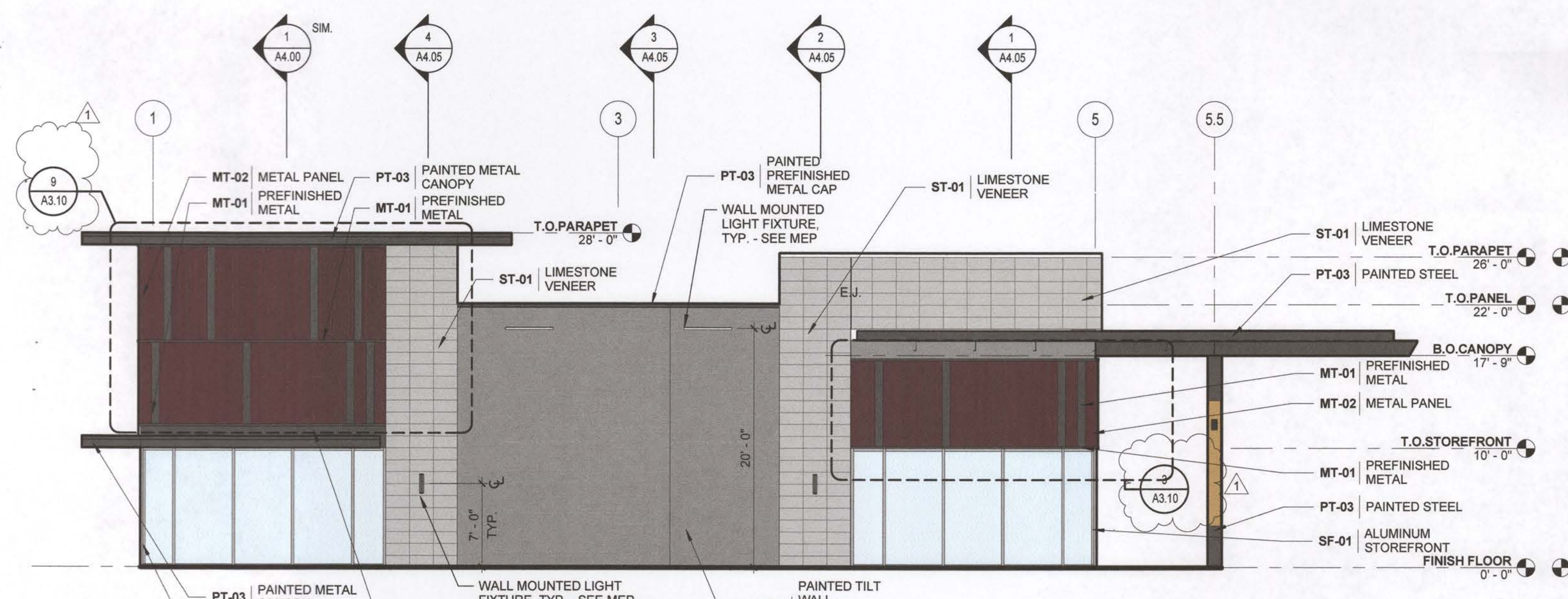
L1.1

MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	COLOR
BR-01	MASONRY VENEER	GENERAL SHALE	COOPERSTOWN. MODULAR SIZE, RUNNING BOND. MORTAR TO BE SPECTRUM HILL COUNTRY BUFF S.
MT-01	METAL PANEL	MORIN CORP.	QUARTZ ZINC. MX 1.0 & 2.0 PROFILES.
MT-02	METAL PANEL	MORIN CORP.	REDWOOD. MX 1.0 & 2.0 PROFILES.
PT-01	PAINT	SHERWIN WILLIAMS	SW 7042 SHOJI WHITE
PT-02	PAINT	SHERWIN WILLIAMS	SW 7066 GRAY MATTERS
PT-03	PAINT	SHERWIN WILLIAMS	SW 7067 CITYSCAPE
SF-01	ALUMINUM STOREFRONT	KAWNEER	CLEAR ANODIZED. IR 501T.
ST-01	LIMESTONE VENEER	TEXAS QUARRIES	CORDOVA CREAM. SMOOTH. 12" X 24", STACK BOND. MORTAR TO BE SPECTRUM HILL COUNTRY BUFF S.
TW-01	PAINTED TILT WALL, FORMLINER PANEL	FITZGERALD FORMLINERS	PAINTED CONCRETE TILT WALL, CAST WITH FITZGERALD FORMLINERS PATTERN 16020 ROUGH SAWN PLANK. PAINT PT-02.

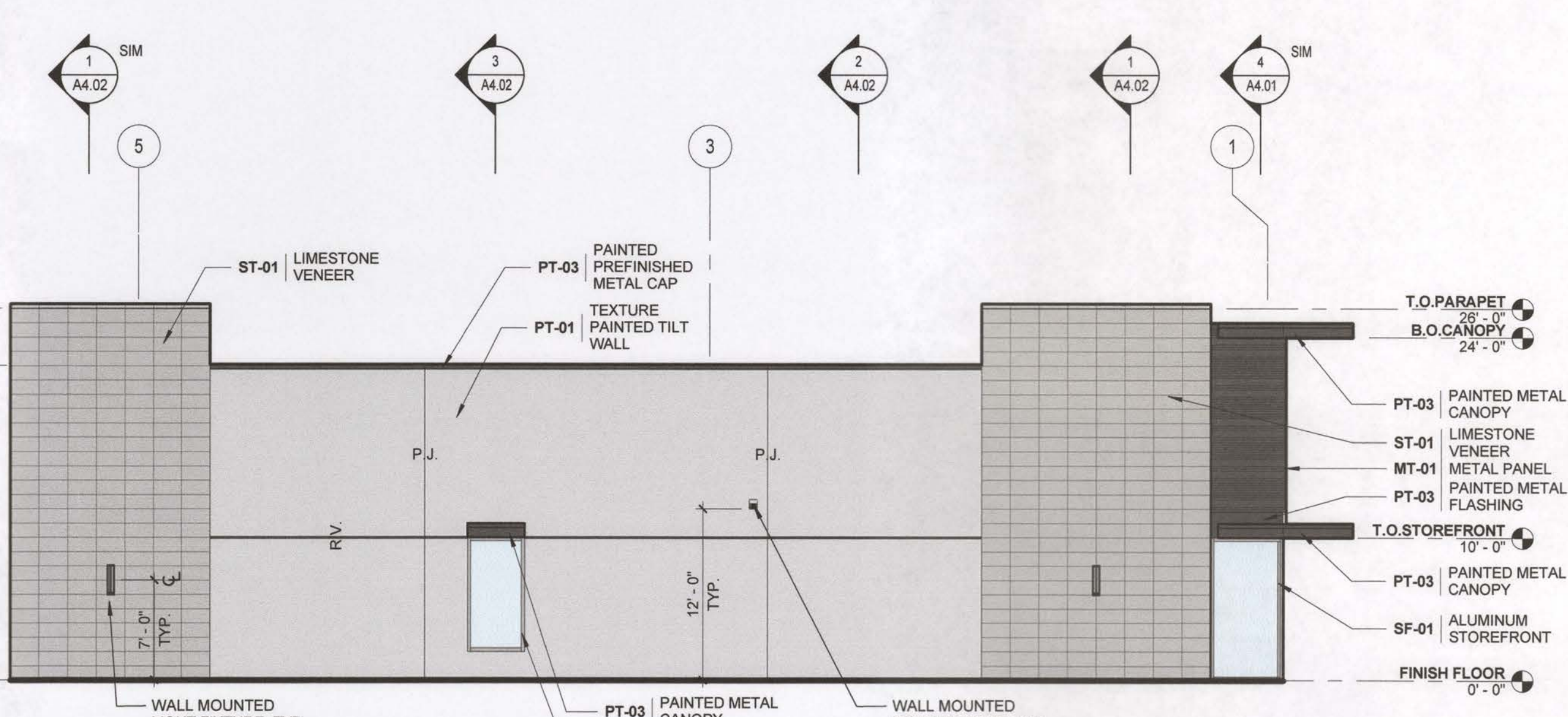
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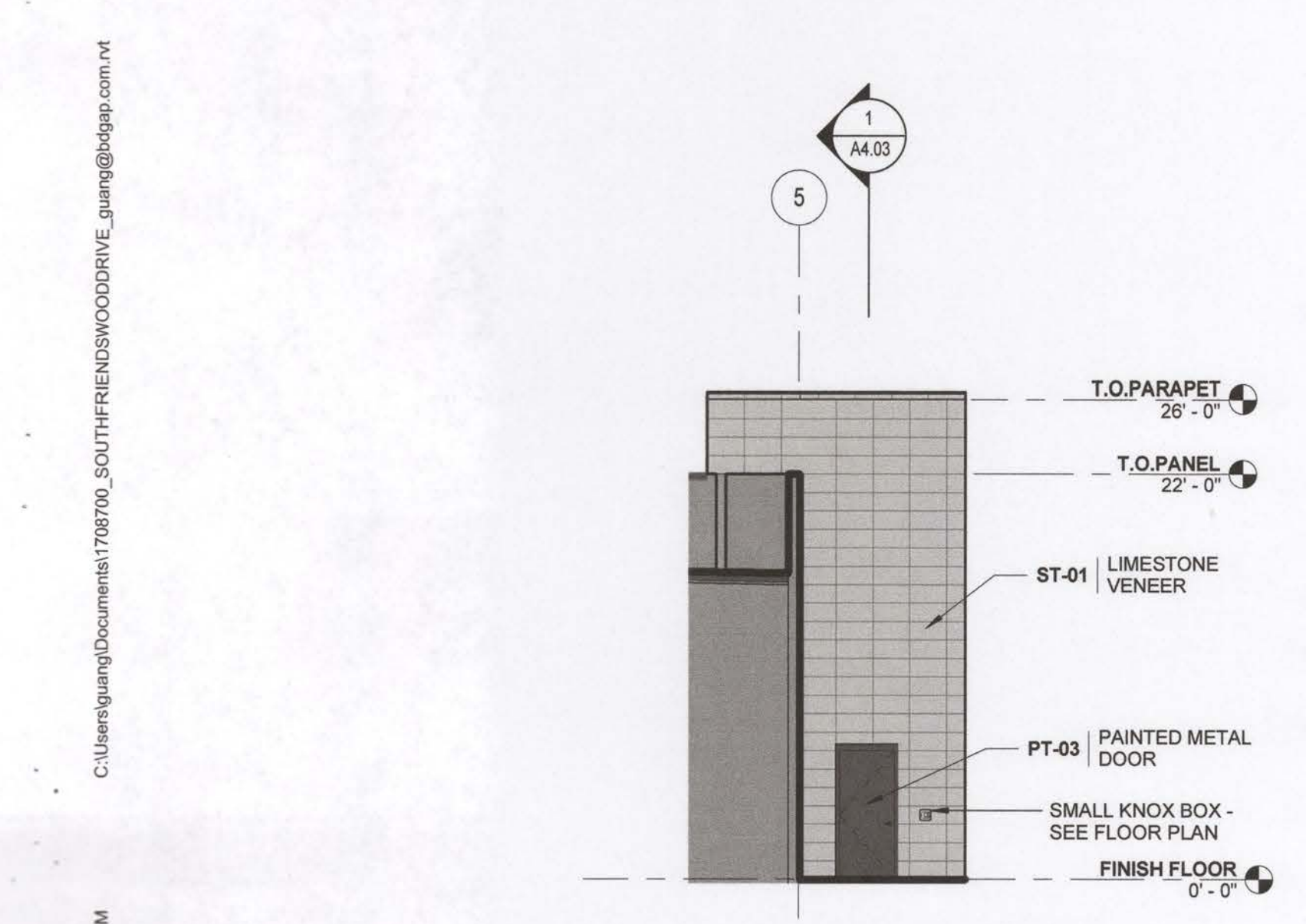
BUILDING A NORTH ELEVATION | 3
1/8" = 1'-0"



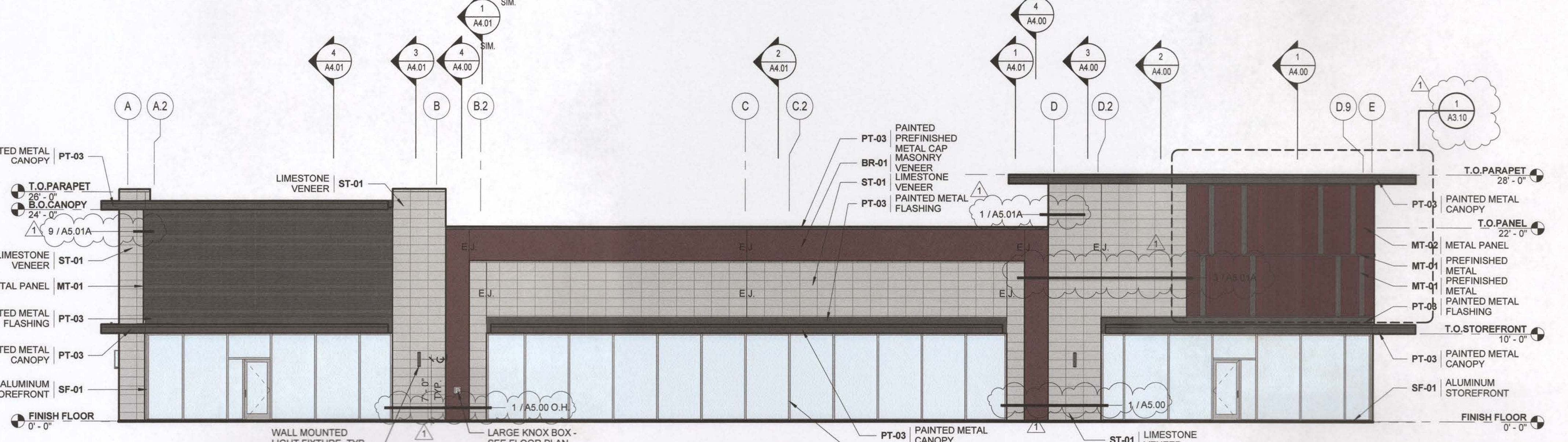
BUILDING A EAST ELEVATION | 4
1/8" = 1'-0"



BUILDING A WEST ELEVATION | 2
1/8" = 1'-0"



BUILDING A EAST ELEVATION | 5
1/8" = 1'-0"



BUILDING A SOUTH ELEVATION | 1
1/8" = 1'-0"

bdg
architecture
+planning
boucher design group

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FRIENDSWOOD SHOPPING CENTER
FRIENDSWOOD, TX 77546

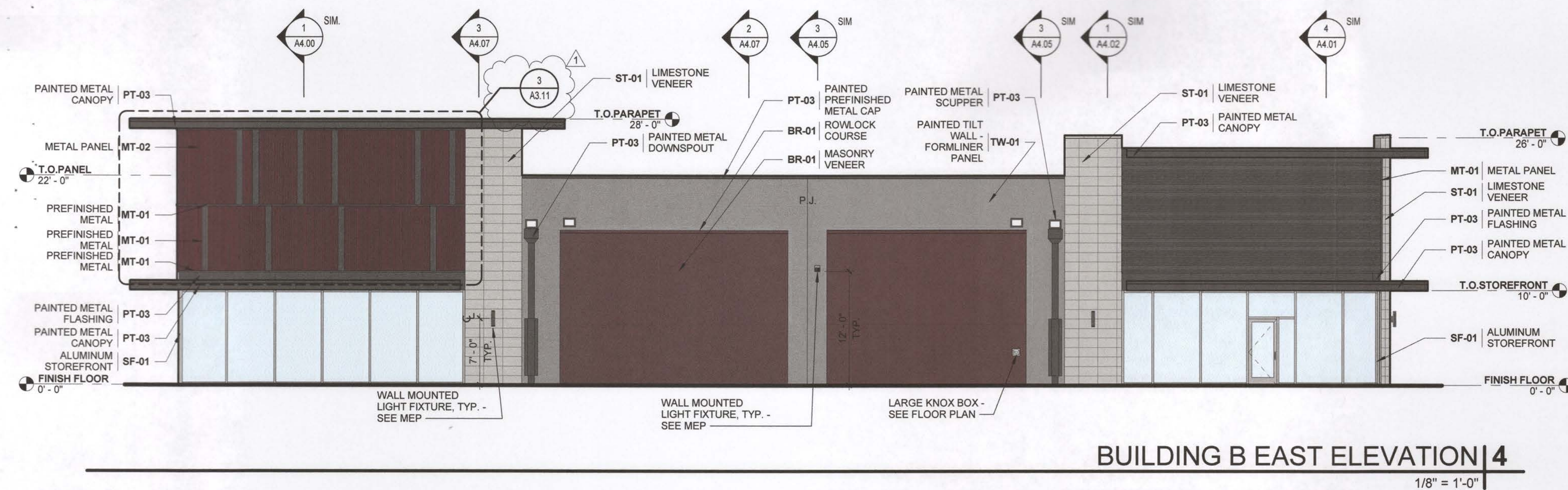
VIRGATA PROPERTY COMPANY

DATE	06/28/2018
PROJECT NO.	1708700
DRAWN BY	AEDHGY
CHECKED BY	GMD

BUILDING A EXTERIOR ELEVATIONS

A3.00

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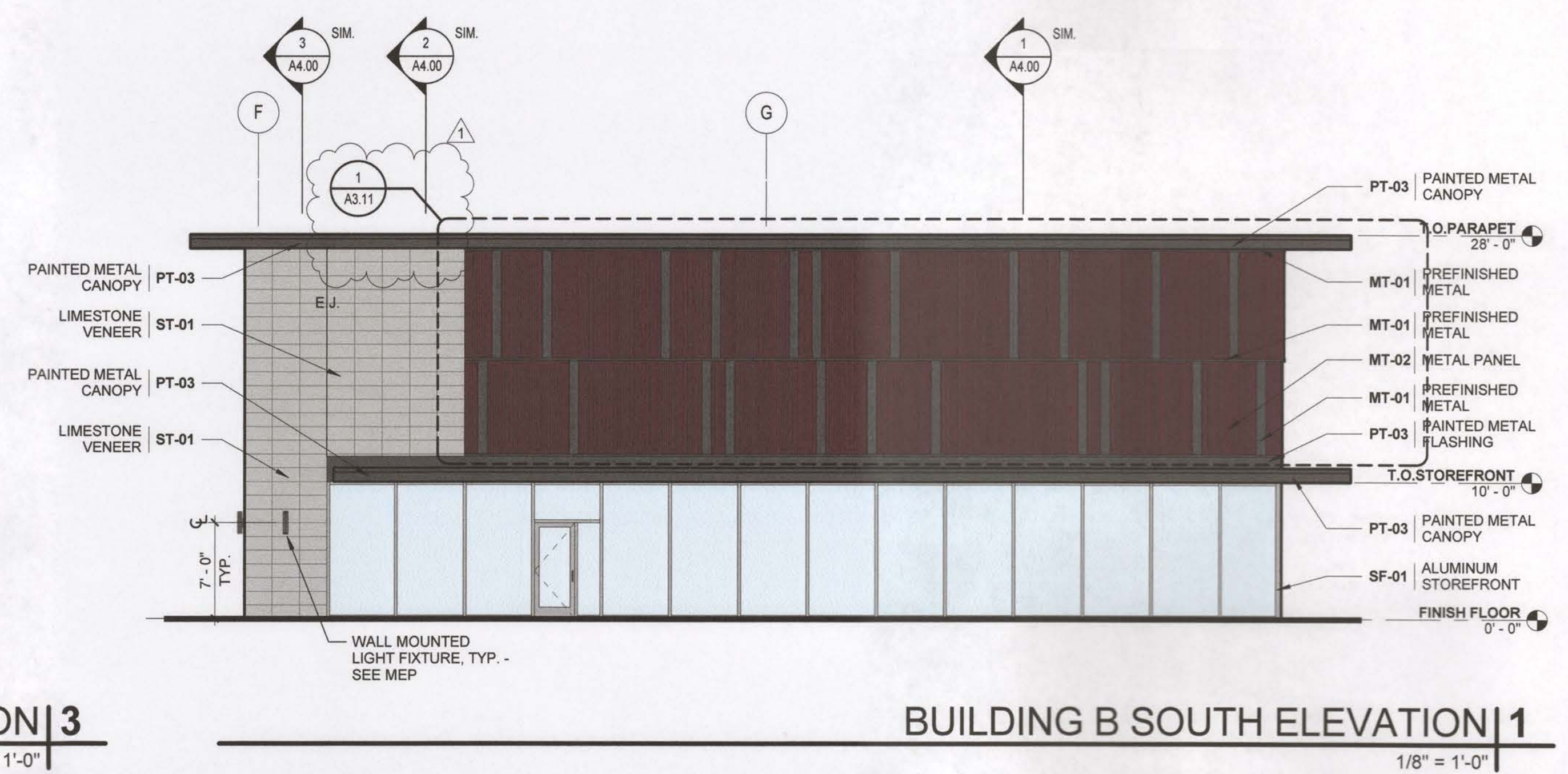
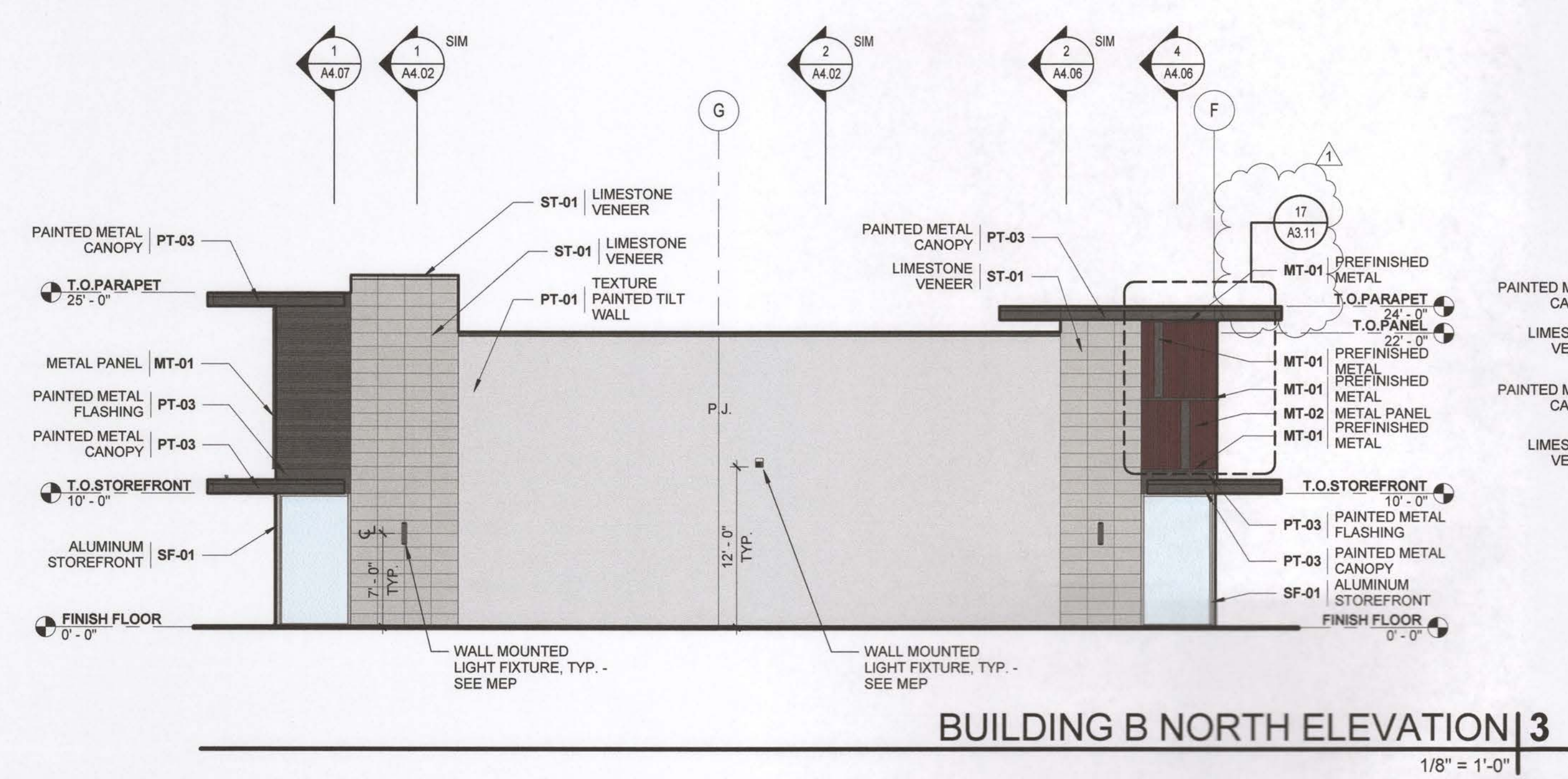
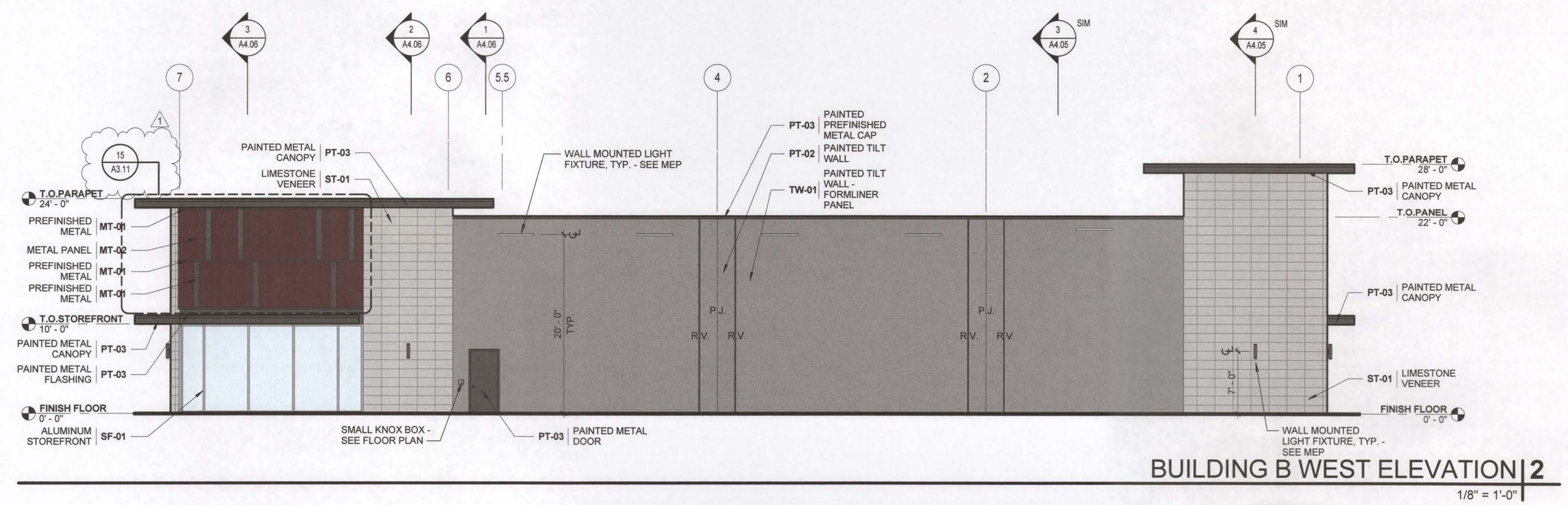


MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	COLOR
BR-01	MASONRY VENEER	GENERAL SHALE	COOPERSTOWN. MODULAR SIZE, RUNNING BOND. MORTAR TO BE SPECTRUM HILL COUNTRY BUFF S.
MT-01	METAL PANEL	MORIN CORP.	QUARTZ ZINC. MX 1.0 & 2.0 PROFILES.
MT-02	METAL PANEL	MORIN CORP.	REDWOOD. MX 1.0 & 2.0 PROFILES.
PT-01	PAINT	SHERWIN WILLIAMS	SW 7042 SHOJI WHITE
PT-02	PAINT	SHERWIN WILLIAMS	SW 7066 GRAY MATTERS
PT-03	PAINT	SHERWIN WILLIAMS	SW 7067 CITYSCAPE
SF-01	ALUMINUM STOREFRONT	KAWNEER	CLEAR ANODIZED. IR 501T.
ST-01	LIMESTONE VENEER	TEXAS QUARRIES	CORDOVA CREAM. SMOOTH. 12" X 24", STACK BOND. MORTAR TO BE SPECTRUM HILL COUNTRY BUFF S.
TW-01	PAINTED TILT WALL, FORMLINER PANEL	FITZGERALD FORMLINERS	PAINTED CONCRETE TILT WALL, CAST WITH FITZGERALD FORMLINERS PATTERN 16020 ROUGH SAWN PLANK. PAINT PT-02.

NOTE:
ALL GLASS, EXCEPT FOR TRANSOMS, MUST BE TEMPERED.
ALL EXPOSED STRUCTURE TO BE PAINTED PT-03.

NOTE:
MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE SCREENED TO A HEIGHT SUFFICIENT TO COMPLETELY SCREEN THE USE FROM VIEW AT GROUND LEVEL.

NOTE:
ACTUAL COLORS MAY VARY DUE TO PRINTER DIFFERENCES.



ISSUE	DATE	DESCRIPTION
1	6-26-18	ISSUE FOR PERMIT
2	7-11-18	ISSUE FOR BID
3	7-20-18	CITY COMMENTS

bdG
architecture
+ planning
boucher design group

Boucher Design Group LLC
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6802 Mapleridge, Suite 200
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MARC E. BOUCHER
REGISTERED ARCHITECT
TEXAS NO. 14291
EXPIRES 5-31-19

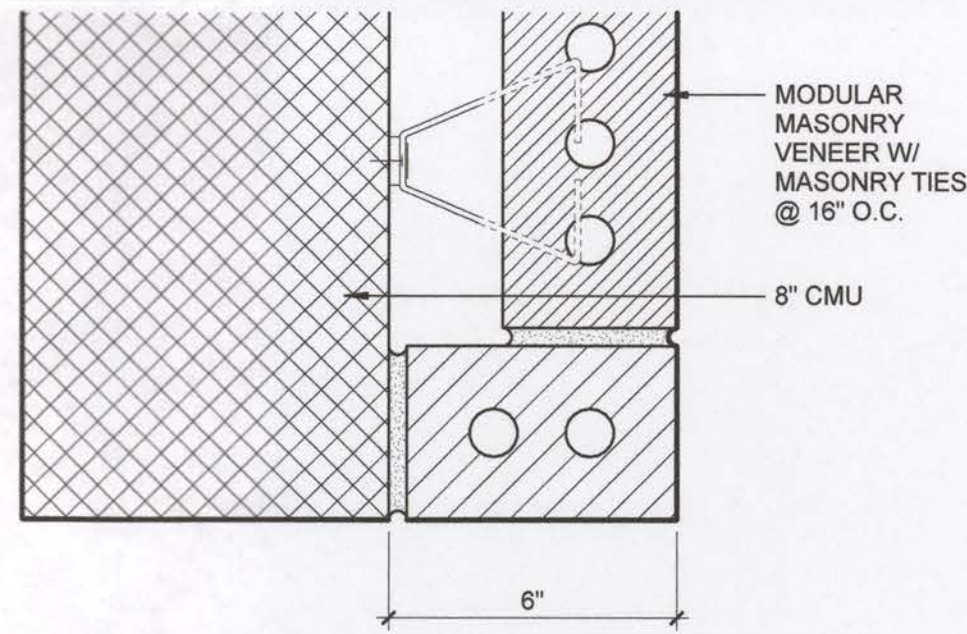
FRIENDSWOOD SHOPPING CENTER
FRIENDSWOOD, TX 77546

VIRGATA PROPERTY COMPANY

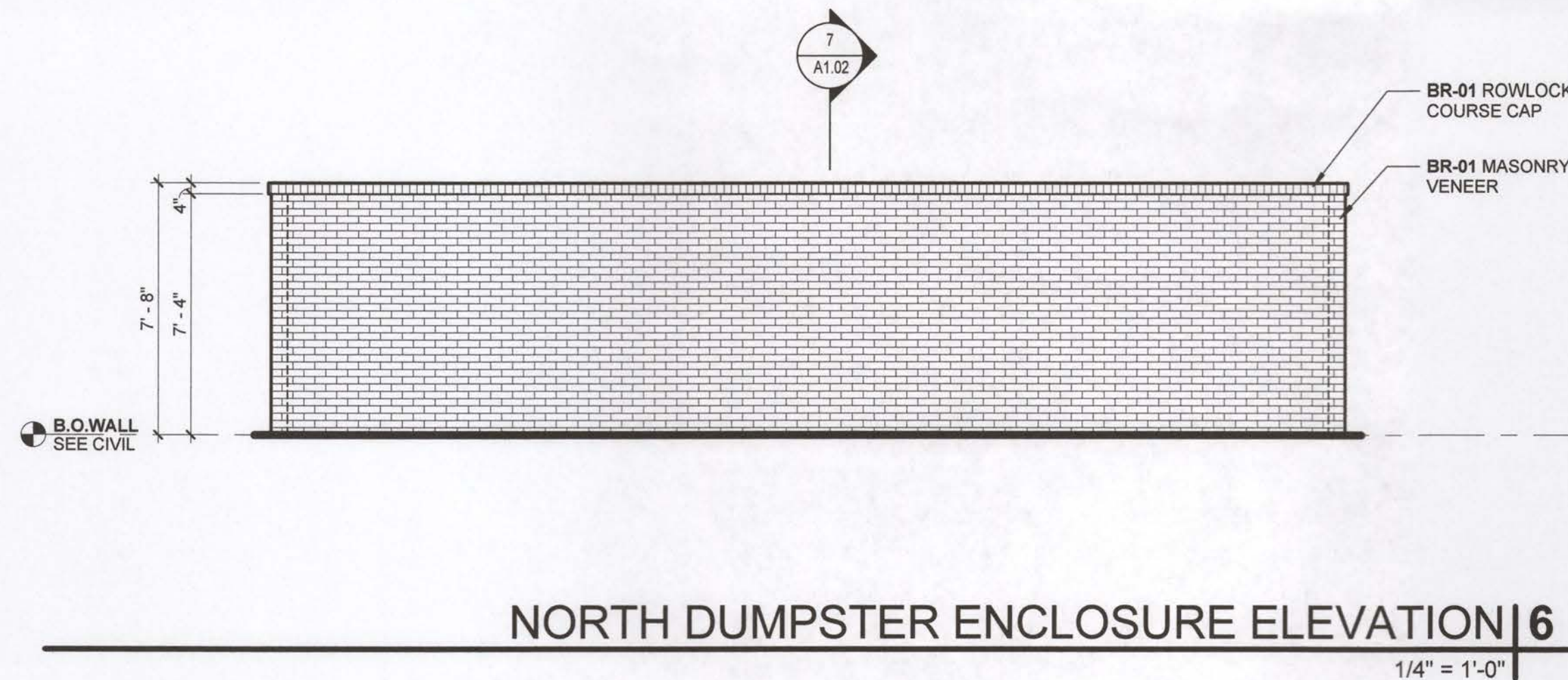
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PROJECT NO.: 1708700
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**BUILDING B
EXTERIOR
ELEVATIONS**

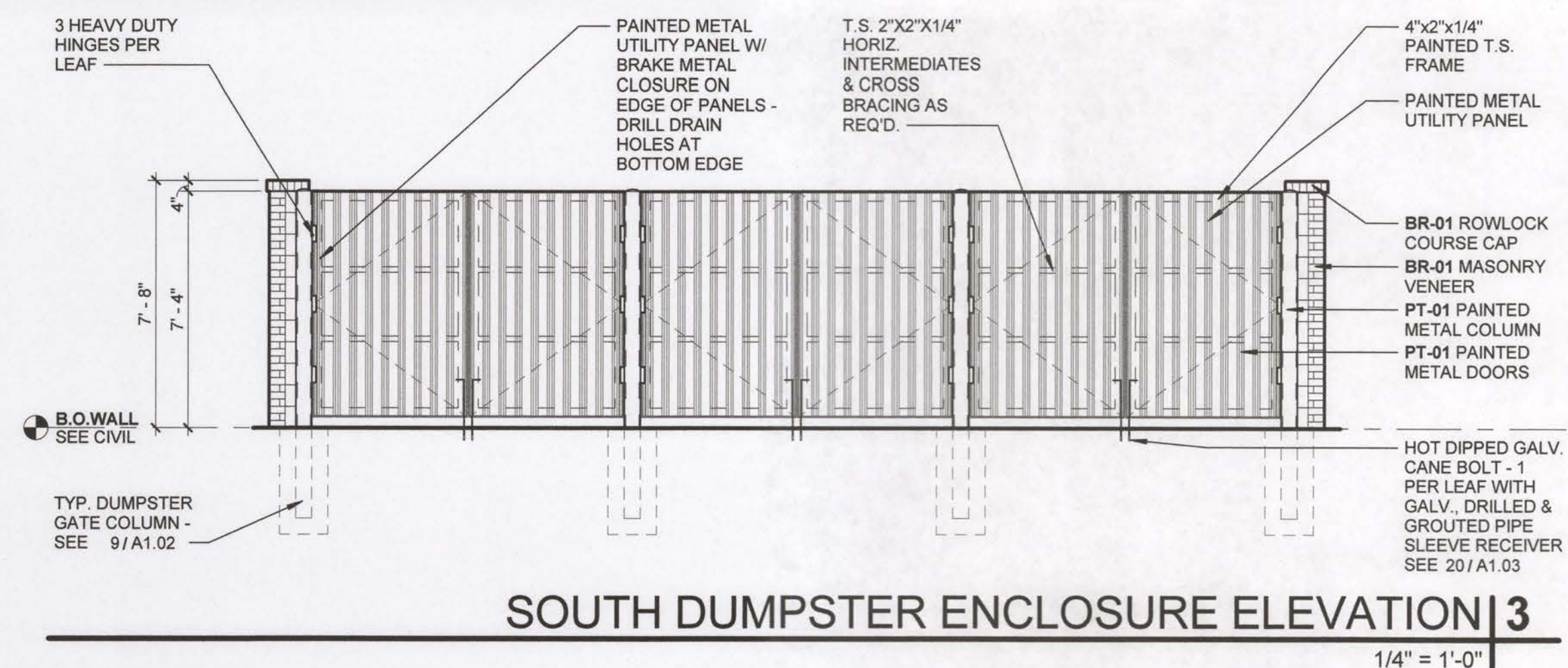
ISSUE	DATE	DESCRIPTION
	6-28-18	ISSUE FOR PERMIT



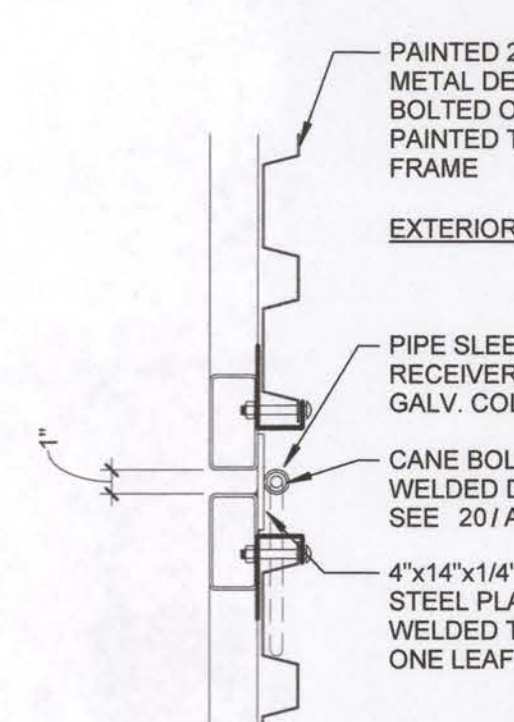
PLAN DETAIL | 11
3" = 1'-0"



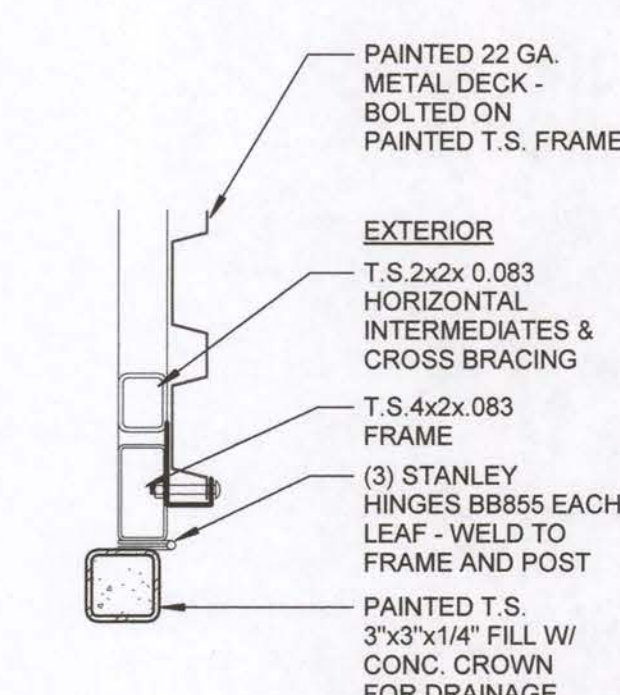
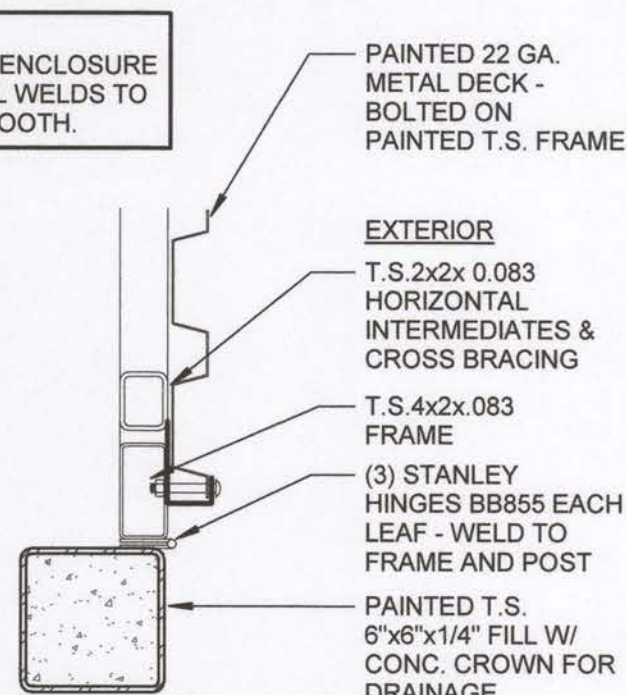
NORTH DUMPSTER ENCLOSURE ELEVATION | 6
1/4" = 1'-0"



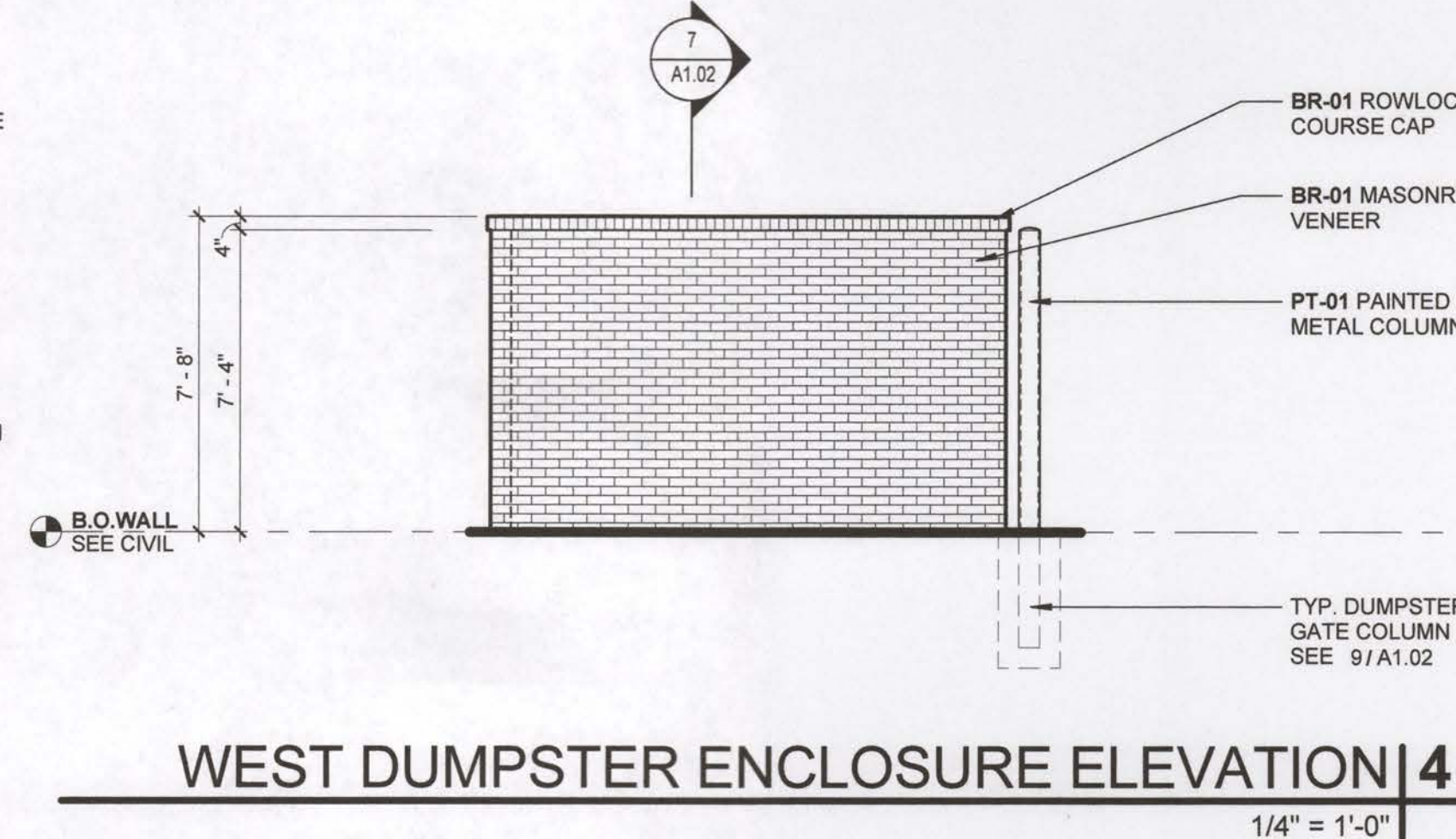
SOUTH DUMPSTER ENCLOSURE ELEVATION | 3
1/4" = 1'-0"



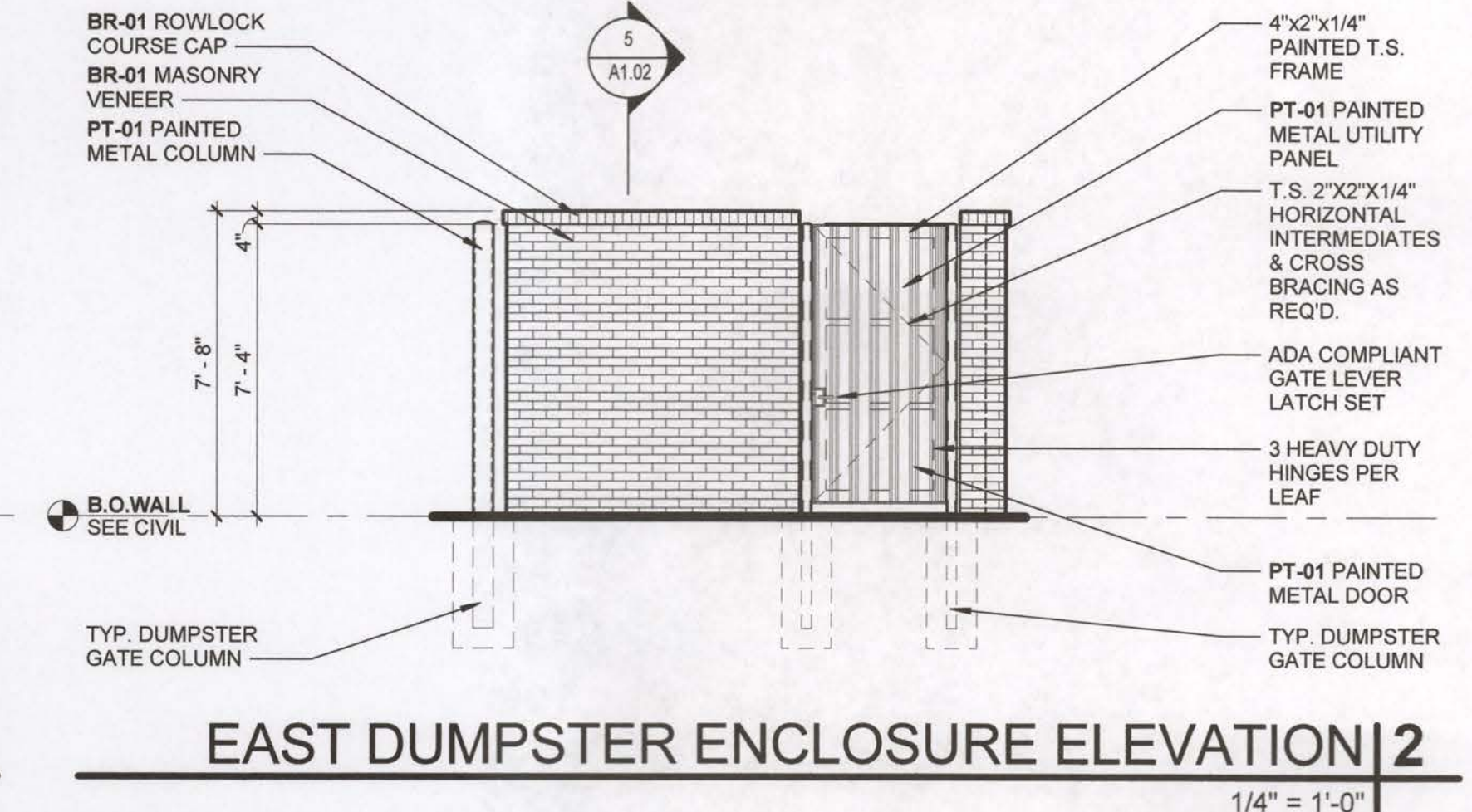
NOTE:
ALL DUMPSTER ENCLOSURE
EXPOSED STEEL WELDS TO
BE GROUND SMOOTH.



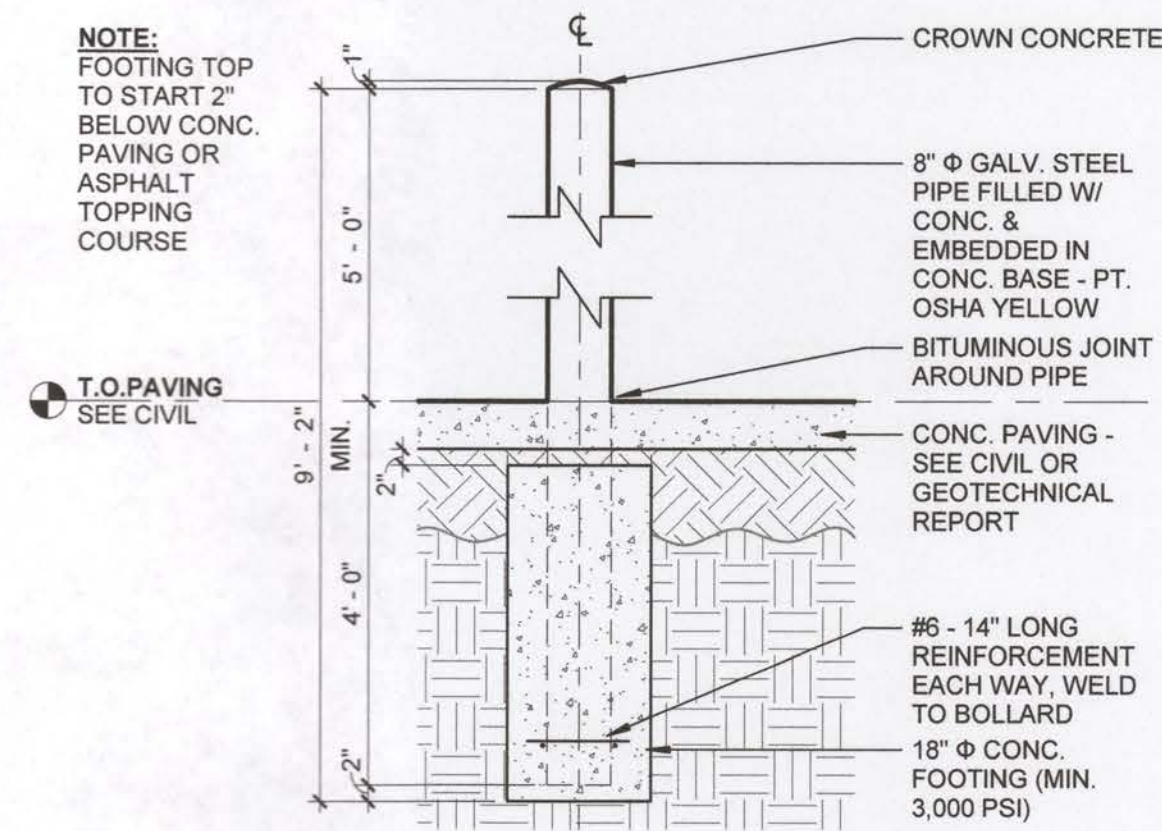
DUMPSTER GATE DETAILS | 8
1 1/2" = 1'-0"



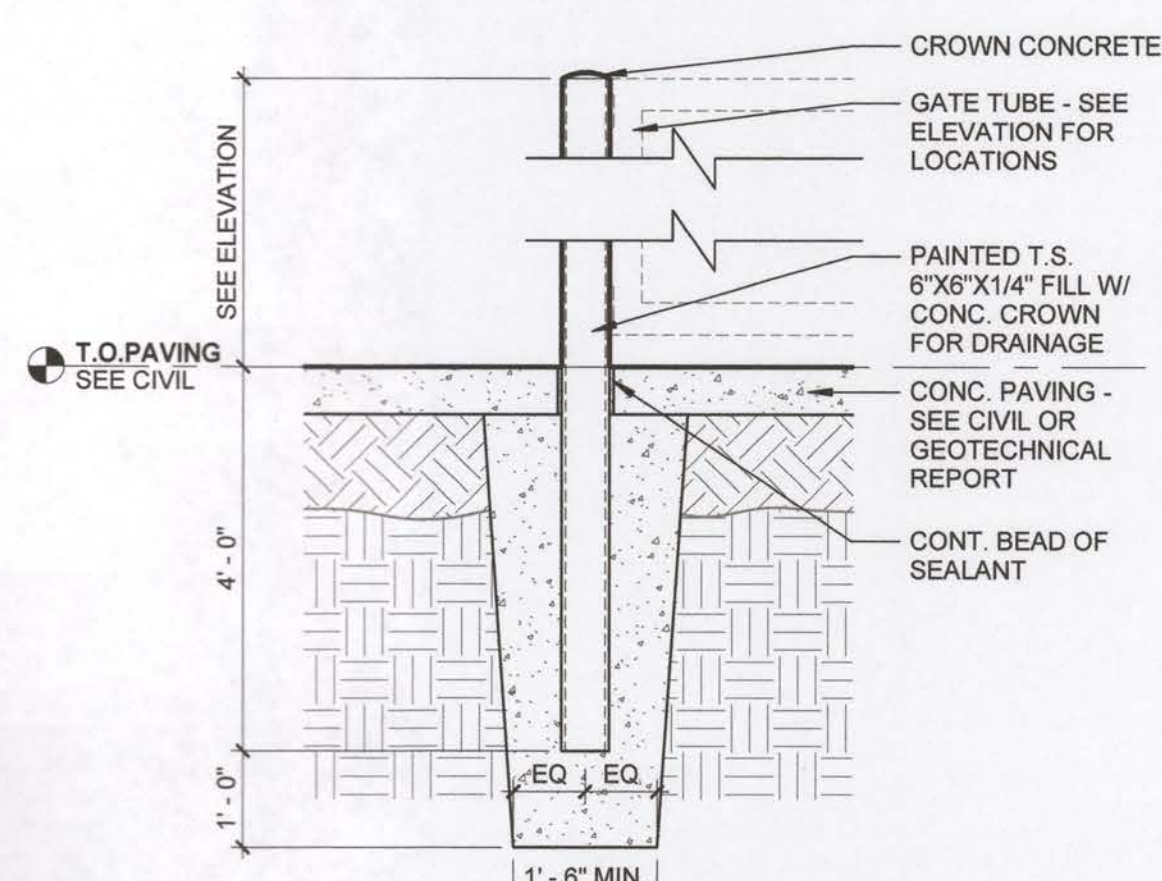
WEST DUMPSTER ENCLOSURE ELEVATION | 4
1/4" = 1'-0"



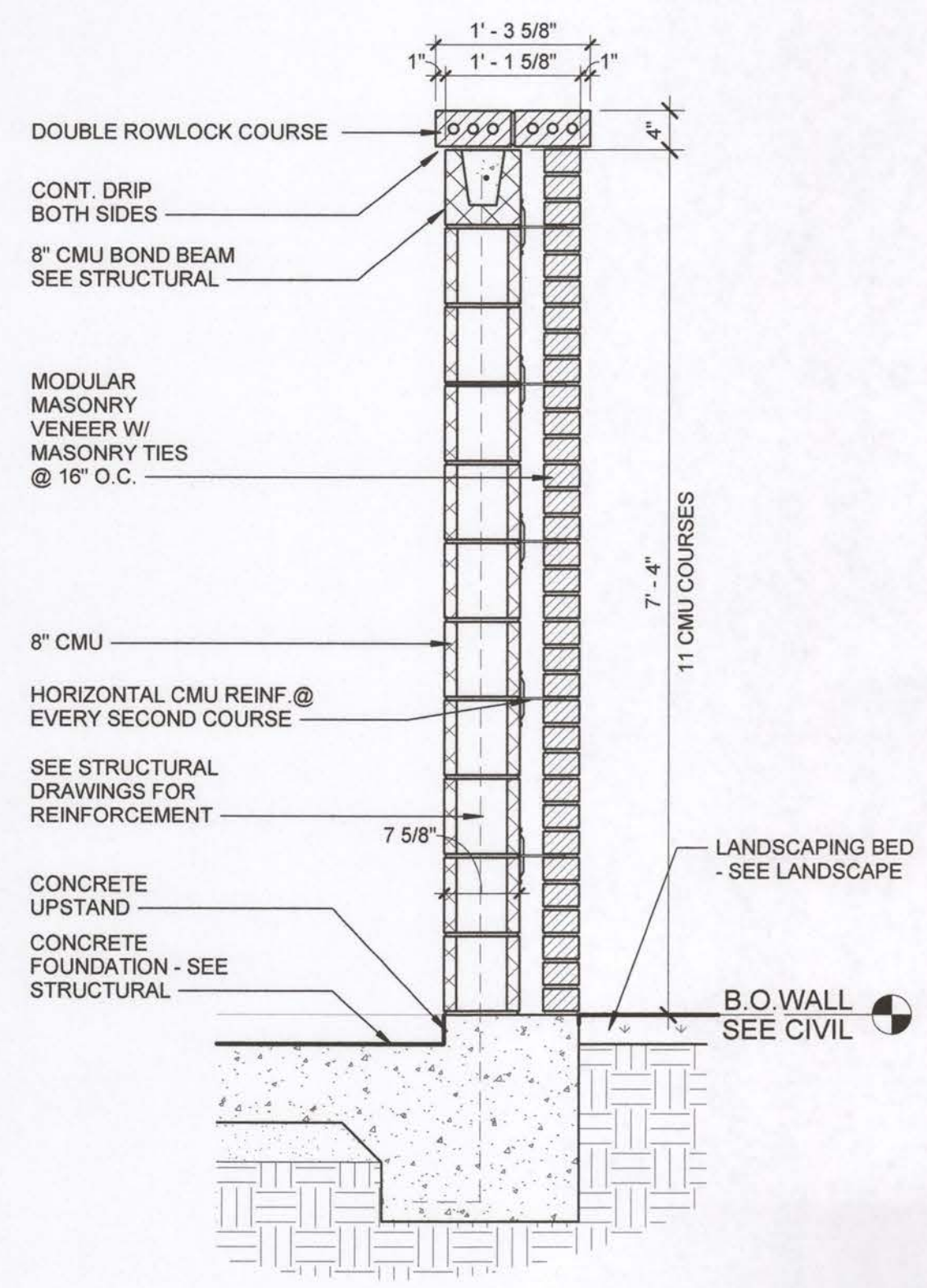
EAST DUMPSTER ENCLOSURE ELEVATION | 2
1/4" = 1'-0"



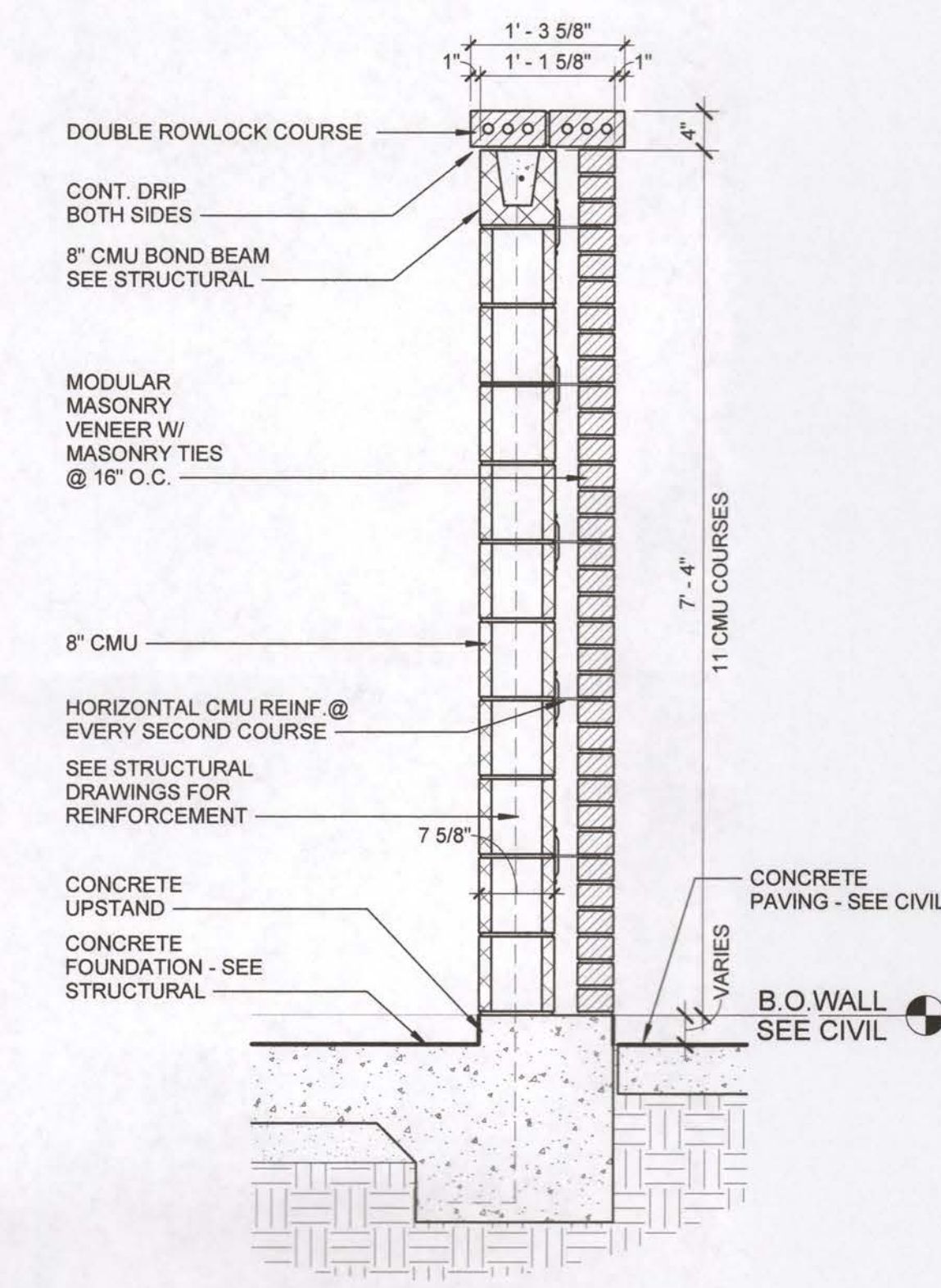
TYP. BOLLARD DETAIL | 10
1/2" = 1'-0"



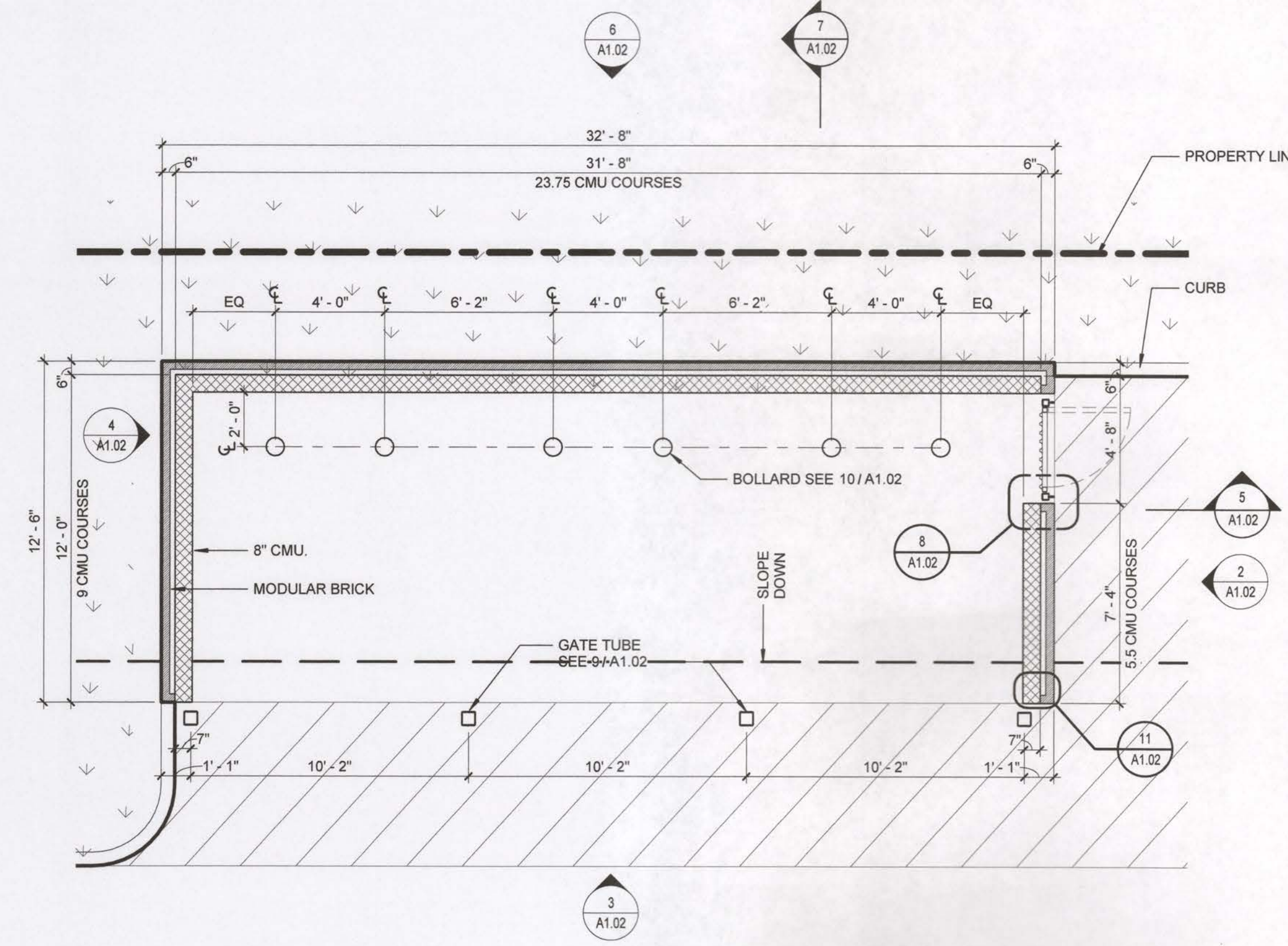
TYPICAL GATE COLUMN | 9
1/2" = 1'-0"



SECTION AT LANDSCAPE | 7
3/4" = 1'-0"



SECTION AT PAVING | 5
3/4" = 1'-0"



DUMPSTER ENCLOSURE PLAN | 1
1/4" = 1'-0"



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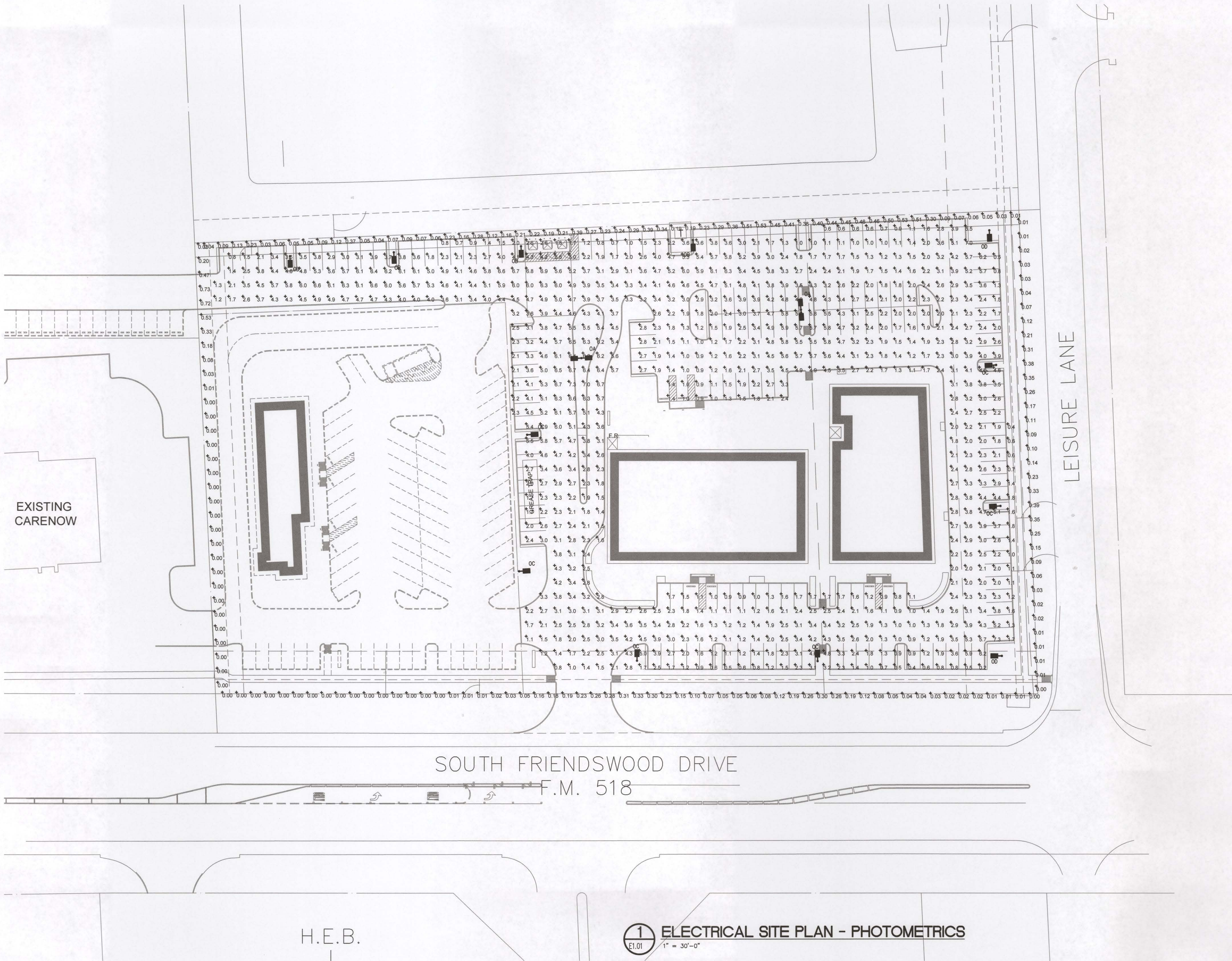
FRIENDSWOOD SHOPPING CENTER
FRIENDSWOOD, TX 77546

VIRGATA PROPERTY COMPANY

DATE	06/28/2018
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DRAWN BY	AEDHGY
CHECKED BY	GMD

DUMPSTER ENCLOSURE DETAILS

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	07/11/18	ISSUE FOR BID



9990 Richmond Avenue
South Building, Suite 300
Houston, Texas 77042
713.914.0888 p 713.914.0886 f
DBPC Firm Registration No. 2234

DBR Project Number

180057.000

JT	JT	DC	BDV	-
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+planning
boucher design group

Boucher Design Group LLC

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FRIENDSWOOD SHOPPING CENTER	
S. FRIENDSWOOD DR	
FRIENDSWOOD, TX 77546	
VIRGATA PROPERTY COMPANY	
DATE	06/28/2018
PROJECT NO.	1708700
DRAWN BY	DBR
CHECKED BY	DBR

ELECTRICAL
SITE PLAN -
PHOTOMETRICS

E1.01

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Friendswood Dermatology Site Plan

A new building to be located at 6 Oak Tree Drive

1. Compliance memo
2. Cover sheet
3. Site plan
4. Landscape plan
5. Building Elevations
6. Colored rendering of building
7. Dumpster Screening details
8. Photometric plan

Memo

To: Planning and Zoning Commission

From: Becky Summers, Development Coordinator

Date: August 13, 2018

Re: Friendswood Dermatology
Commercial Site Plan

Project Description: Two new commercial buildings at the corner of Leisure Lane and FM 518.

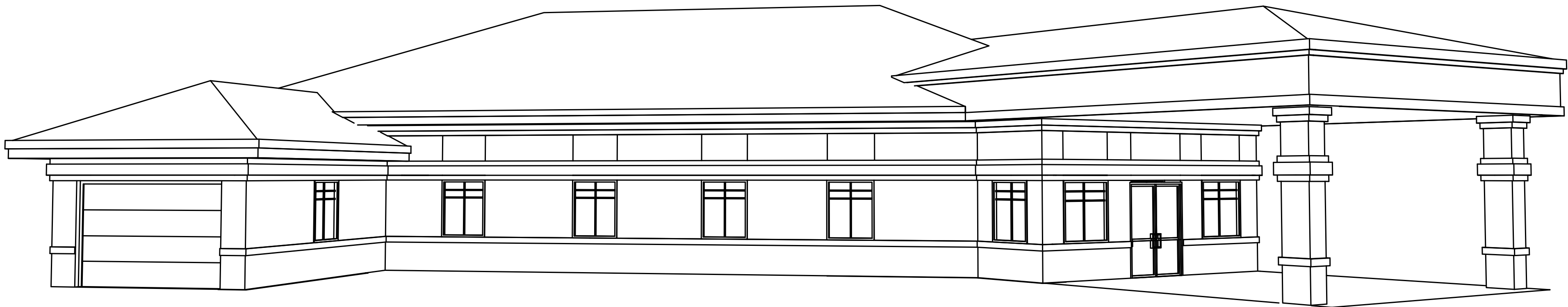
The plan has been reviewed by staff in the following departments: Planning, Public Works/Engineering, Fire Marshal, and Police Department. The proposed project appears to be in compliance with current City codes with the following exceptions:

- 1) Re-align 10-foot side building line
- 2) Request to allow 8-foot wooden fence instead of 8-foot masonry fence along rear property line

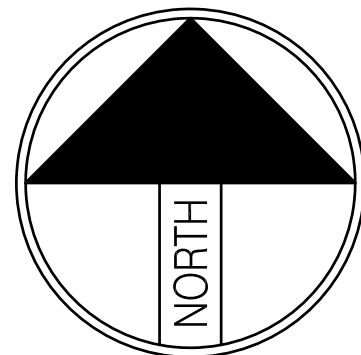
The plan is subject to review and approval by the Planning and Zoning Commission.

PROPOSED FRIENDSWOOD DERMATOLOGY

6 OAK TREE DRIVE, FRIENDSWOOD , TEXAS



VICINITY MAP
SCALE: 1" = 2,000'



DRAWING INDEX

- A-0 - TITLE SHEET
A-1 - ADA SPECIFICATION
A-2 - SITE PLAN
A-2.1 - SITE DETAILS
A-3 - LANDSCAPING PLAN
A-4 - FIRE LANE SITE PLAN
A-5 - BUILDING ELEVATIONS
A-6 - FLOOR PLAN
A-7 - FLOOR PLAN
A-8 - FINISH SCHEDULES
A-9 - RESTROOM ELEVATIONS
A-10 - SECTIONS & DETAILS

- S-1 - FOUNDATION PLAN
S-2 - FOUNDATION DETAILS
S-3 - CEILING FRAMING PLAN
S-4 - ROOF FRAMING PLAN

M-1.0 - HVAC PLAN
M-2.0 - HVAC SCHEDULES & NOTES
M-3.0 - HVAC DETAILS
E-1.0 - LIGHTING PLAN
E-2.0 - POWER PLAN - ELECTRICAL ONE LINE
P-1.0 - PLUMBING SANITARY PLAN & DETAILS
P-2.0 - PLUMBING DOMESTIC WATER PLAN
RISER DIAGRAM & SCHEDULE

- C-1 - TITLE SHEET
C-1.1 - GENERAL NOTES
C-1.2 - GENERAL NOTES
C-2 - SITE PLAN
C-3 - DRAINAGE PLAN
C-4 - UTILITY PLAN
C-4.1 - UTILITY DETAILS
C-4.2 - UTILITY DETAILS
C-5 - STORM WATER POLUTION PROTECTION PLAN
C-5.1 - STORM WATER POLUTION PROTECTION PLAN
C-6 - PAVING PLAN
C-6.1 - PAVING DETAILS
SITE SURVEY

PROJECT DATA

1. SCOPE OF WORK/PROJECT DESCRIPTION

THIS PROJECT COMPRISES CONSTRUCTION OF A ONE STORY WOOD FRAMED BUILDING ON A CONCRETE SLAB-ON-GRADE FOUNDATION. WORK ALSO INCLUDES PAVING, STORM SEWER, LANDSCAPING & INSTALLATION OF UTILITIES.
BUILDING WILL BE USED AS A DERMATOLOGY OFFICE

2. APPLICABLE NATIONAL & STATE CODES

- BUILDING INTERNATIONAL BUILDING CODE 2015
- FIRE INTERNATIONAL FIRE CODE 2012
- MECHANICAL INTERNATIONAL MECHANICAL CODE 2012
- PLUMBING INTERNATIONAL PLUMBING CODE 2015
- ELECTRIC NATIONAL ELECTRIC CODE 2011
- ENERGY INTERNATIONAL ENERGY CONSERVATION CODE 2012
- ACCESSIBILITY TEXAS ACCESSIBILITY STANDARDS 2012

3. PROJECT NAME AND ADDRESS

FRIENDSWOOD DERMATOLOGY
6 OAKTREE DRIVE, FRIENDSWOOD, TEXAS

4. PARKING SPACES (SEE A-3 FOR PARKING TABULATION)

PER CITY OF FRIENDSWOOD DEVELOPMENT CODE:
REQUIRED: MEDICAL OFFICES = 4.5 SPACES PER 1,000 SQ FT GFA
REQUIRED: 4,138 SQ.FT. X 4.5/1000 = 18.6 = 19 SPACES
PROVIDED: 22 SPACES (INCLUDING 2 ADA SPACES)

5. OCCUPANCY TYPE

OCCUPANCY: BUSINESS GROUP B - PROFESIONAL SERVICES

6. TYPE OF CONSTRUCTION

TYPE V-B CONSTRUCTION

7. BUILDING HEIGHT AND AREA REQUIREMENTS

- ALLOWABLE HEIGHT AND AREA PER TABLE 503 (TYPE V-B - CONSTRUCTION)
GROUP B = 2 STORY HIGH AND 9,000 S.F. MAX.
PROPOSED BUILDING SQUARE FOOTAGE = 4,100 S.F.

8. FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS PER TABLE 600

ELEMENT OR COMPONENT	HOURLY RATING
- STRUCTURAL FRAME	0
- BEARING WALLS	
- EXTERIOR	0
- INTERIOR	0
- NON-BEARING WALLS	0
- EXTERIOR	0
- INTERIOR	0
- ROOF CONSTRUCTION (INCLUDES SUPPORTING BEAMS & JOISTS)	0
- FLOOR CONSTRUCTION (INCLUDES SUPPORTING BEAMS & JOISTS)	0

9. OCCUPANT LOAD

BUSINESS GROUP B - PROFESIONAL SERVICES: 1 OCCUPANT PER 100 S.F. OF AREA
3,738 S.F./100 S.F./OCCUPANT= 38 OCCUPANTS

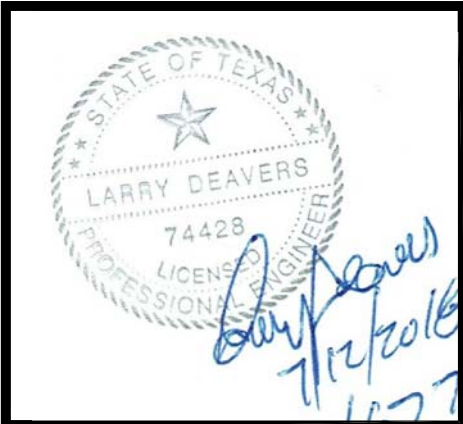
21. MINIMUM PLUMBING FIXTURE REQUIREMENTS TABLE 2902.1

PLUMBING FIXTURES FOR 38 OCCUPANTS (RESIDENTIAL CARE/ASSISTED LIVING FACILITY)		19 MEN	19 WOMEN
TOTAL PLUMBING FIXTURES REQUIRED AND PROVIDED			
- WATER CLOSETS	REQ	3	1
- LAVATORIES	PROVIDED	1	1.5
- URINALS		0	0
- DRINKING FOUNTAIN		1	0
- 1 PER 100, 1 REQUIRED		1 PROVIDED	

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Pinnacle
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FRIENDSWOOD, TX 77546



PROPOSED BUILDING FRIENDSWOOD DERMATOLOGY

6 OAK TREE DRIVE, FRIENDSWOOD, TEXAS

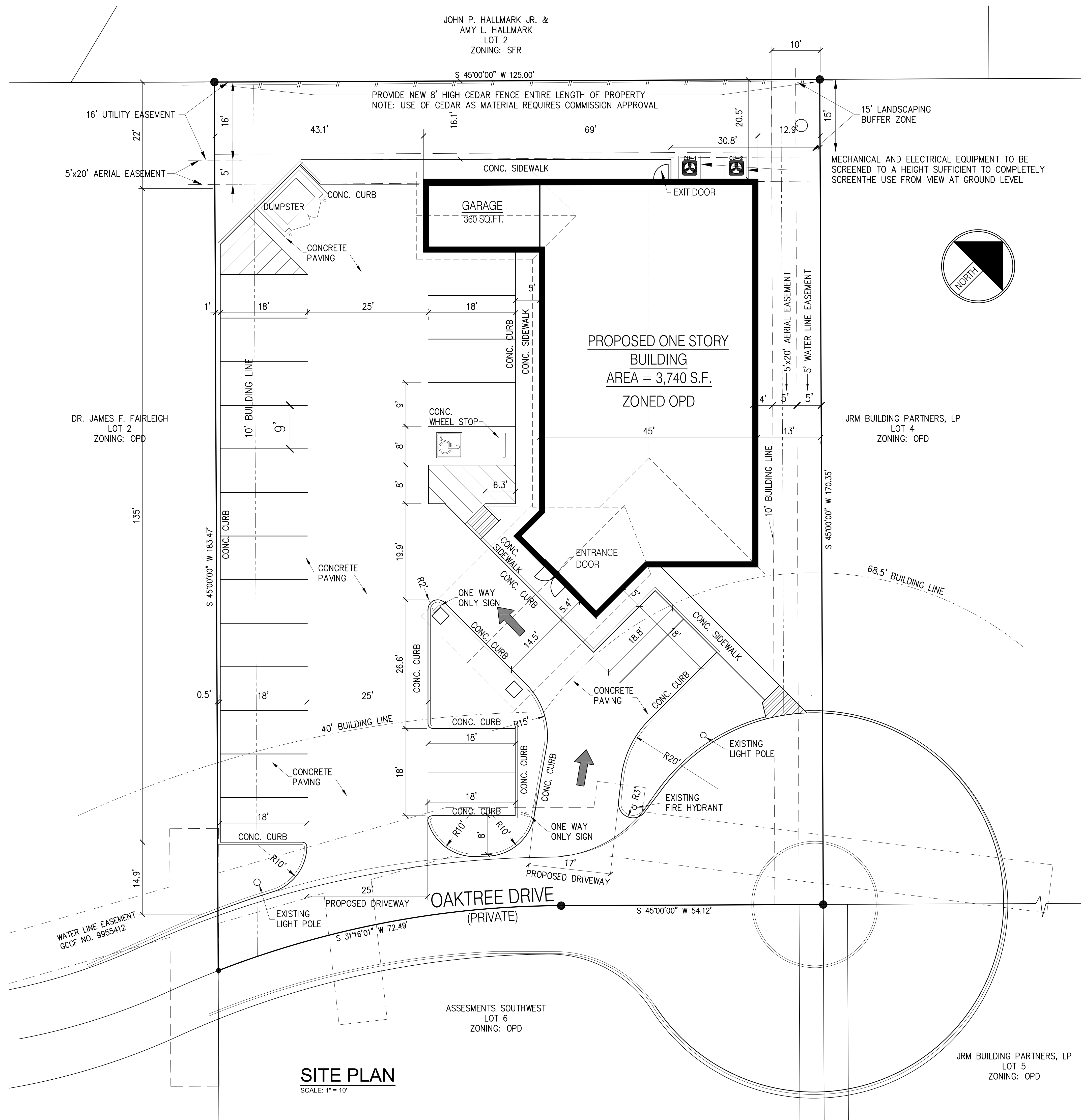


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0	04/05/2018	ISSUED FOR PERMIT
1	05/28/2018	REVISED PER COMMENTS
2	07/12/2018	REVISED PER COMMENTS

DRAWN BY:	H.C.
CHECKED BY:	L.D.

DRAWING TITLE:
TITLE SHEET

DRAWING NO.
A-0



THIS PROPERTY IS LOCATED IN THE COMMUNITY
OVERLAY DISTRICT AND THE SITE PLAN WILL
COMPLY WITH THE CITY ORDINANCES IN THE COD

APPROVAL OF SITE PLAN WILL EXPIRE ONE YEAR
AFTER THE APPROVAL OF THE SITE PLAN BY THE
COMMISSION

LOT COVERAGE

LOT SIZE = 19,400 SQ.FT.
BUILDING STRUCTURE = 4,100 SQ.FT. = 21.13% COVERAGE
CONCRETE PAVED AREA = 8,781 SQ.FT. = 45.26% COVERAGE
CONCRETE SIDE WALKED = 1,172 SQ.FT. = 6.04% COVERAGE
GRASSED AREA = 5,347 SQ.FT. = 27.56% COVERAGE

PARKING ANALYSIS:

STALLS REQUIRED:
PROFESSIONAL BUILDING (DERMATOLOGIST OFFICE):
4.5 PARKING SPACES PER 1,000 SQ.FT. OF BUILDING SPACE PER 1 EMPLOYEE
BUILDING AREA = 4,100 SQ.FT. X 4.5/1000 = 18.45 = 19 SPACES
PARKING SPACES REQUIRED = 19
PARKING PROVIDED: 22 SPACES (INCL. 1 ADA)

SITE PLAN

SCALE: 1" = 10'

DEAVERS ENGINEERING

FIRM no. 16777

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P.O. BOX 289 KEMAH, TX

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Email: chen.synergy@comcast.net



PROPOSED BUILDING FRIENDSWOOD DERMATOLOGY

6 OAK TREE DRIVE, FRIENDSWOOD, TEXAS

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3	08/03/2018	REVISED PER COMMENTS

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CHECKED BY: L.D.

DRAWING TITLE:

SITE PLAN

DRAWING NO.

A-2



Large Parking Lot (more than 20 cars)
Total area of Parking & Driveways (area) $8,781 \times 20\% = \frac{1,756 \text{ SF}}{5,309 \text{ SF}}$ Landscape Area Required
Landscape Area Provided

Required landscaping $\frac{1,756 \text{ SF}}{5,309 \text{ SF}}$ multiplied by .50 = $\frac{878 \text{ SF}}{2,000 \text{ SF}}$ Landscape area in Islands Required
Landscape area in Islands Provided
1 tree required per island

AND Perimeter Landscaping: 1 tree per 30 linear feet for property lines not requiring a landscape buffer
 $183.47 + 170.35 + 72.49 + 54.12 = 480.43 - \text{DRIVEWAYS } (41.6) = 438.83 / 30 = 15 \text{ TREES}$

Perimeter Trees Required: 15 TREES
Perimeter Trees Provided: 15 TREES

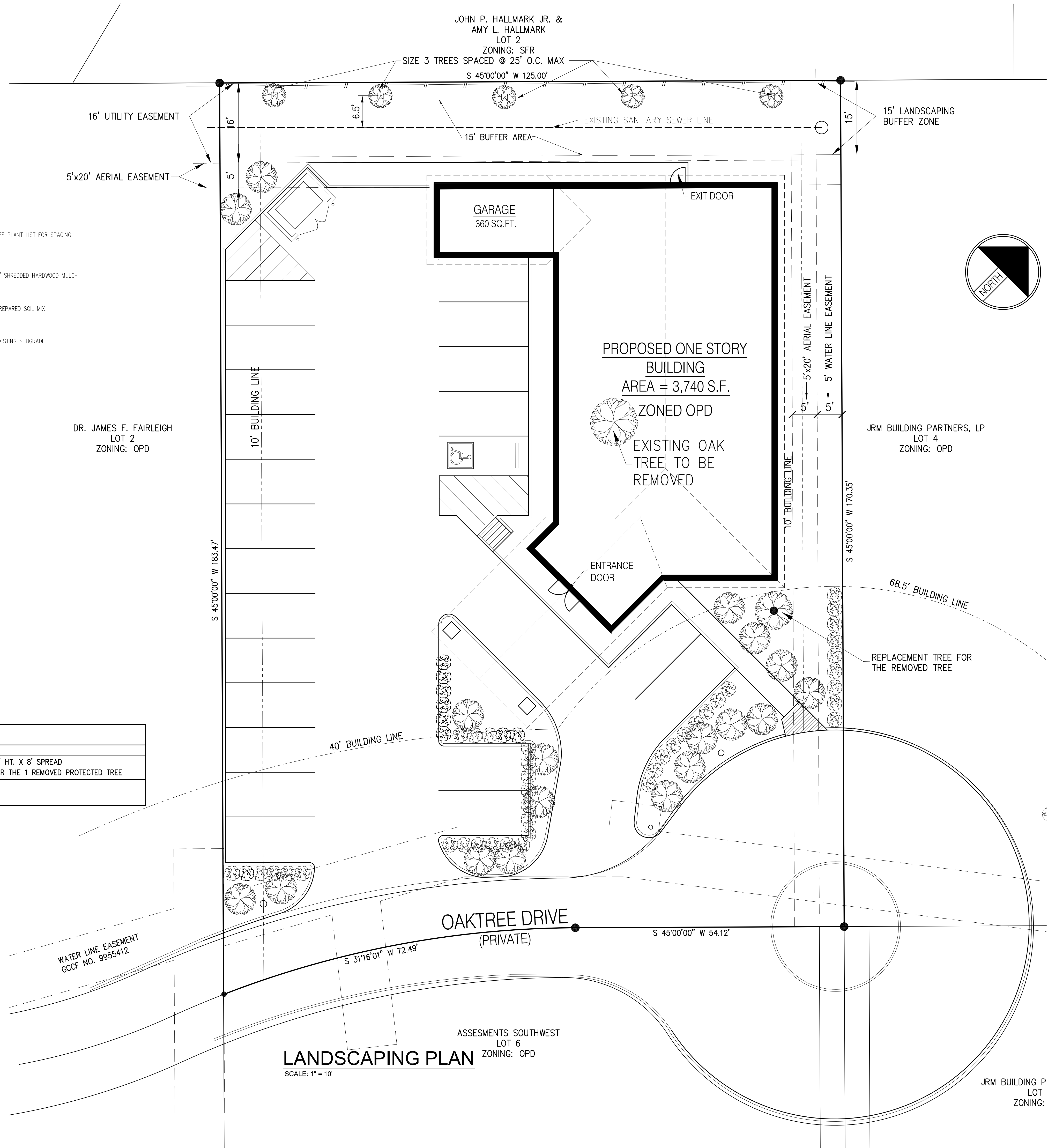
PLUS Landscape Buffers (along ROWs and/or to separate uses per Subsection 8.1)
Buffer Width abutting ROW: Minimum 15 feet
Buffer Width separating uses: Minimum 15 feet
Requires 1 tree planted every 25 linear feet; minimum 2" caliper tree measured 18 inches above natural ground level
 $125 / 25 = 5 \text{ TREES REQUIRED}$
5 TREES REQUIRED

PLANT SCHEDULE – REPLACEMENT TREES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
	TREES - QUERCUS VIRGINIANA	LIVE OAK	3" CAL.	STRAIGHT SINGLE TRUNK FULL SYMMETRICAL HEAD 12'-14' HT. X 8' SPREAD * TOTAL OF 1 TREE TO BE PLANTED AS REPLACEMENT FOR THE 1 REMOVED PROTECTED TREE
				

GENERAL NOTES

1. ALL PLANTS SHALL BE FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
2. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
3. GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AND AVERAGE OF 1" SHARP SLOPE OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING; OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
4. ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
5. LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT

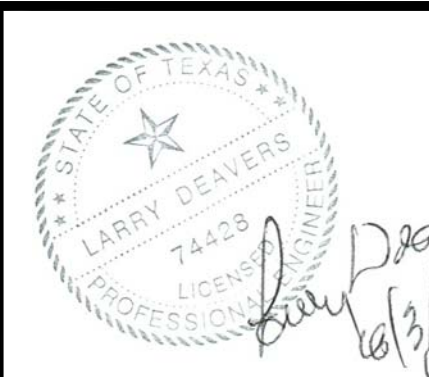


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PROPOSED BUILDING FRIENDSWOOD DERMATOLOGY

6 OAK TREE DRIVE, FRIENDSWOOD, TEXAS

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LANDSCAPING
PLAN

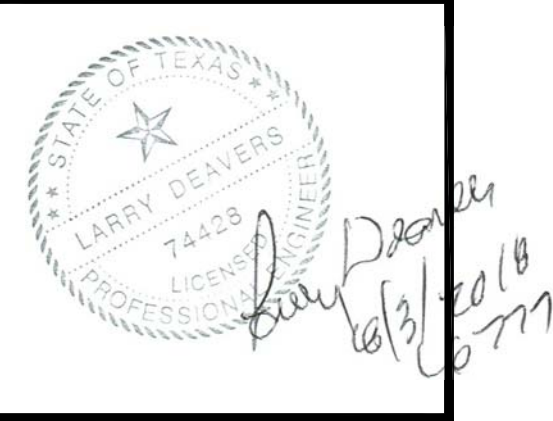
DRAWING NO.

A-3

DEAVERS
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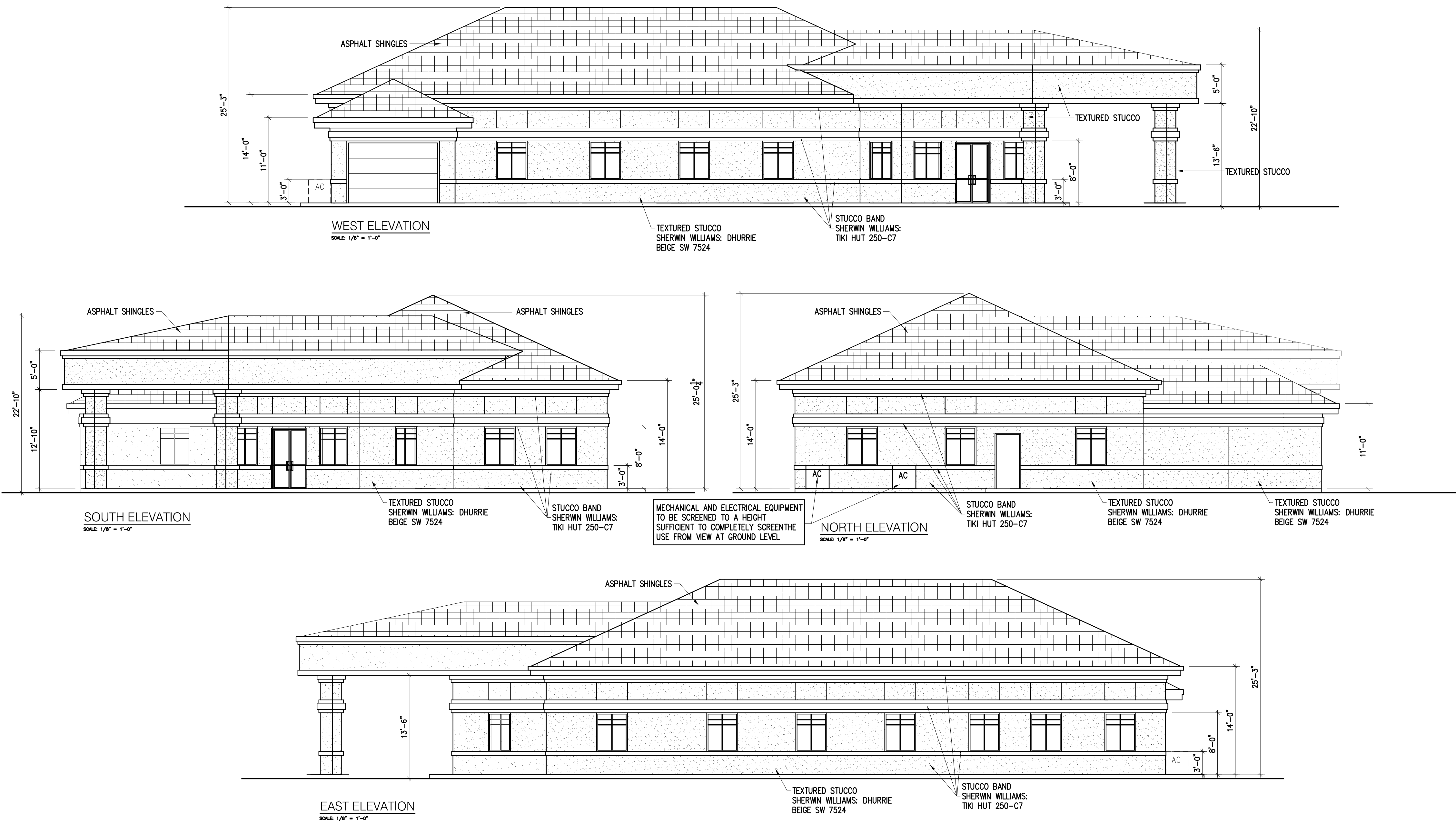
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DRAWN BY:	H.C.
CHECKED BY:	L.D.

DRAWING TITLE:

BUILDING
ELEVATIONS

DRAWING NO.

A-5

PROPOSED FRIENDSWOOD DERMATOLOGY

6 OAK TREE DRIVE, FRIENDSWOOD , TEXAS



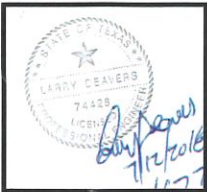
DEAVERS
ENGINEERING
FIRM no. 16777

LARRY DEAVERS, P.E.
3103 PEACH TREE LN
MISSOURI CITY, TX 77459
Phone: (713)-828-8901
Email: deaversengineering@gmail.com

SYNERGY
DESIGN COMPANY
P.O. BOX 289 KEMAH, TX

Contact: Hank Chen
Phone: (832)-748-8018
Email: chen.synergy@comcast.net

Pinnacle
Construction Industries Inc.
308 W. PARKWOOD AVE, SUITE 104B
FRIENDSWOOD, TX 77548



PROPOSED BUILDING FRIENDSWOOD DERMATOLOGY

6 OAK TREE DRIVE, FRIENDSWOOD, TEXAS

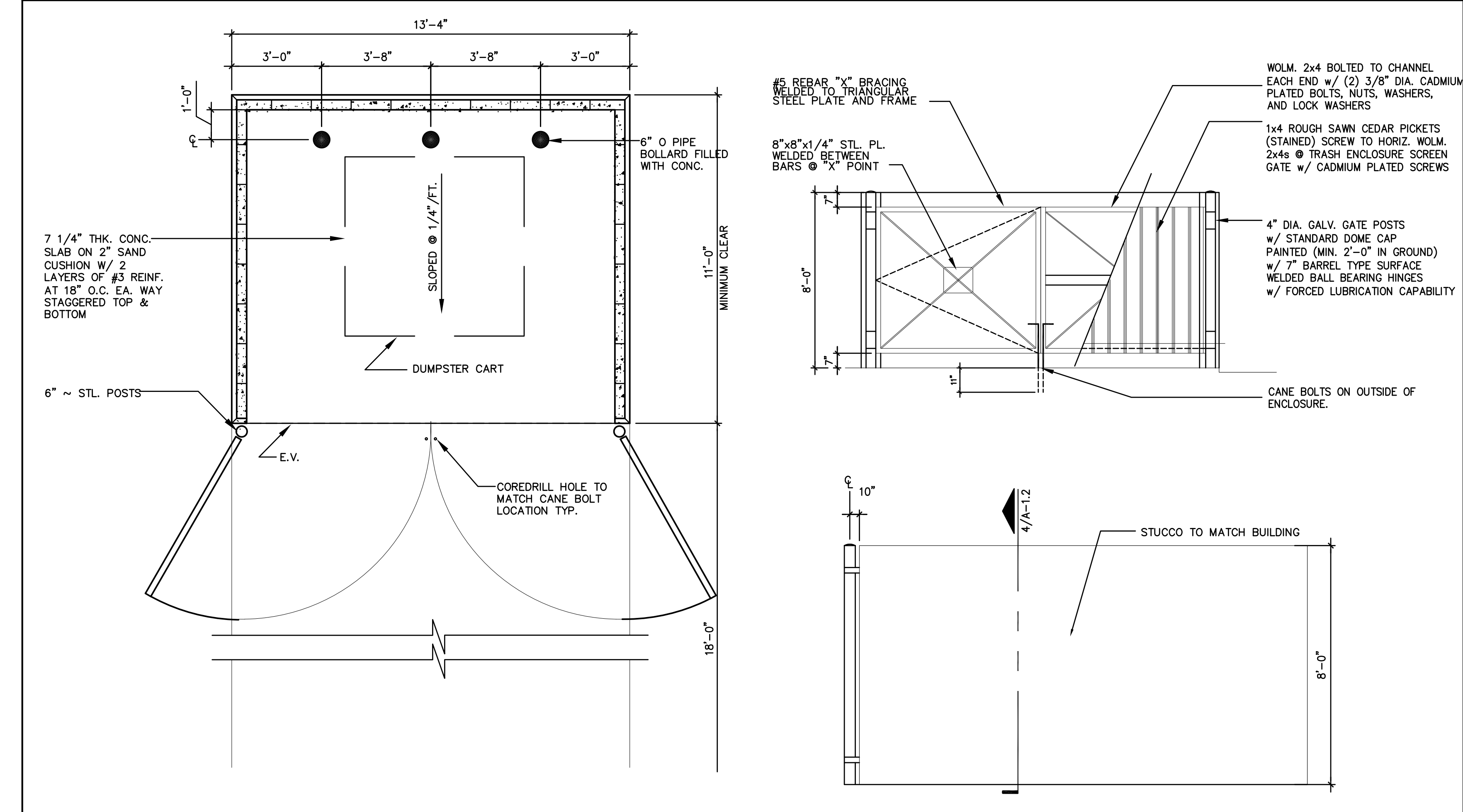
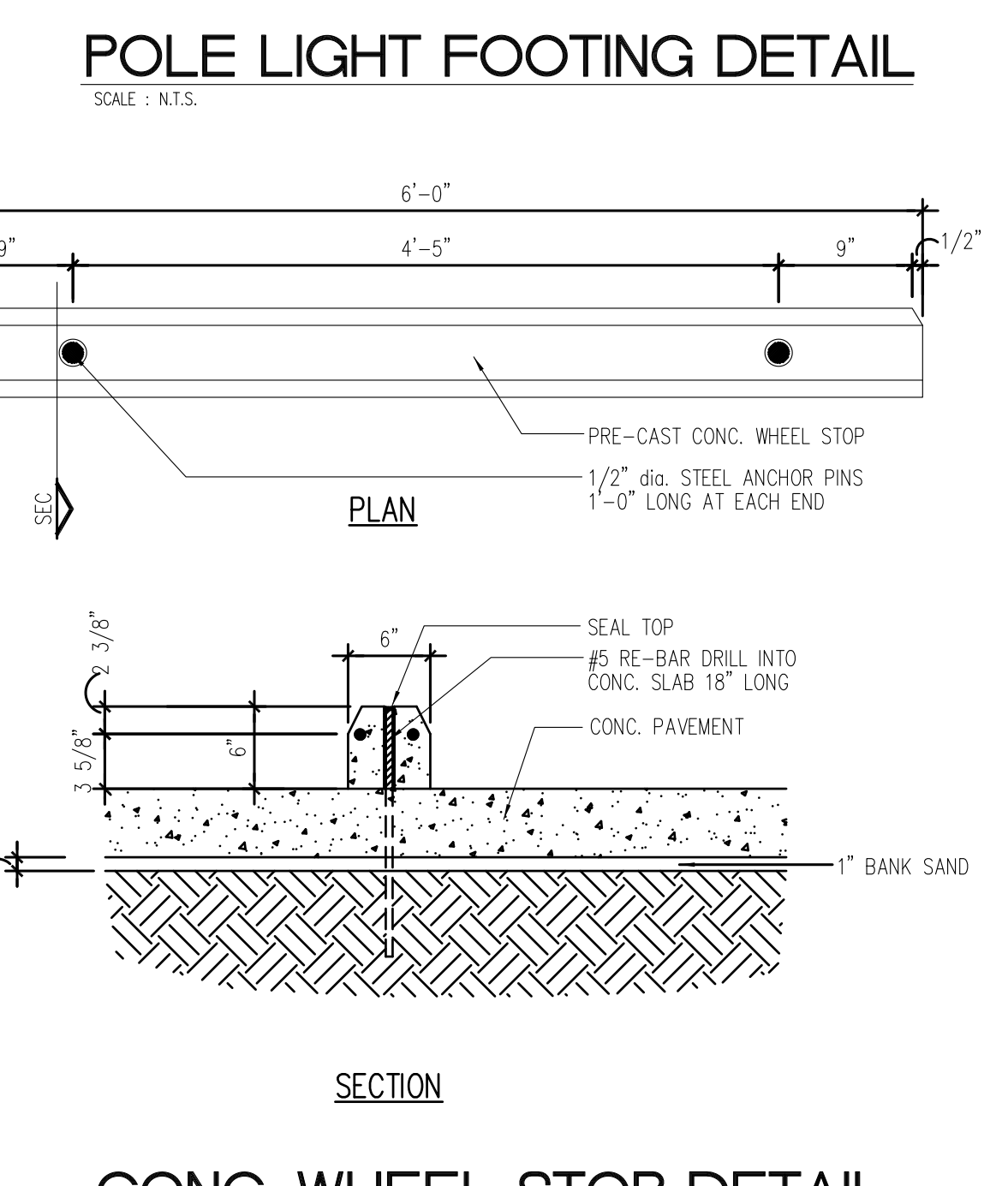
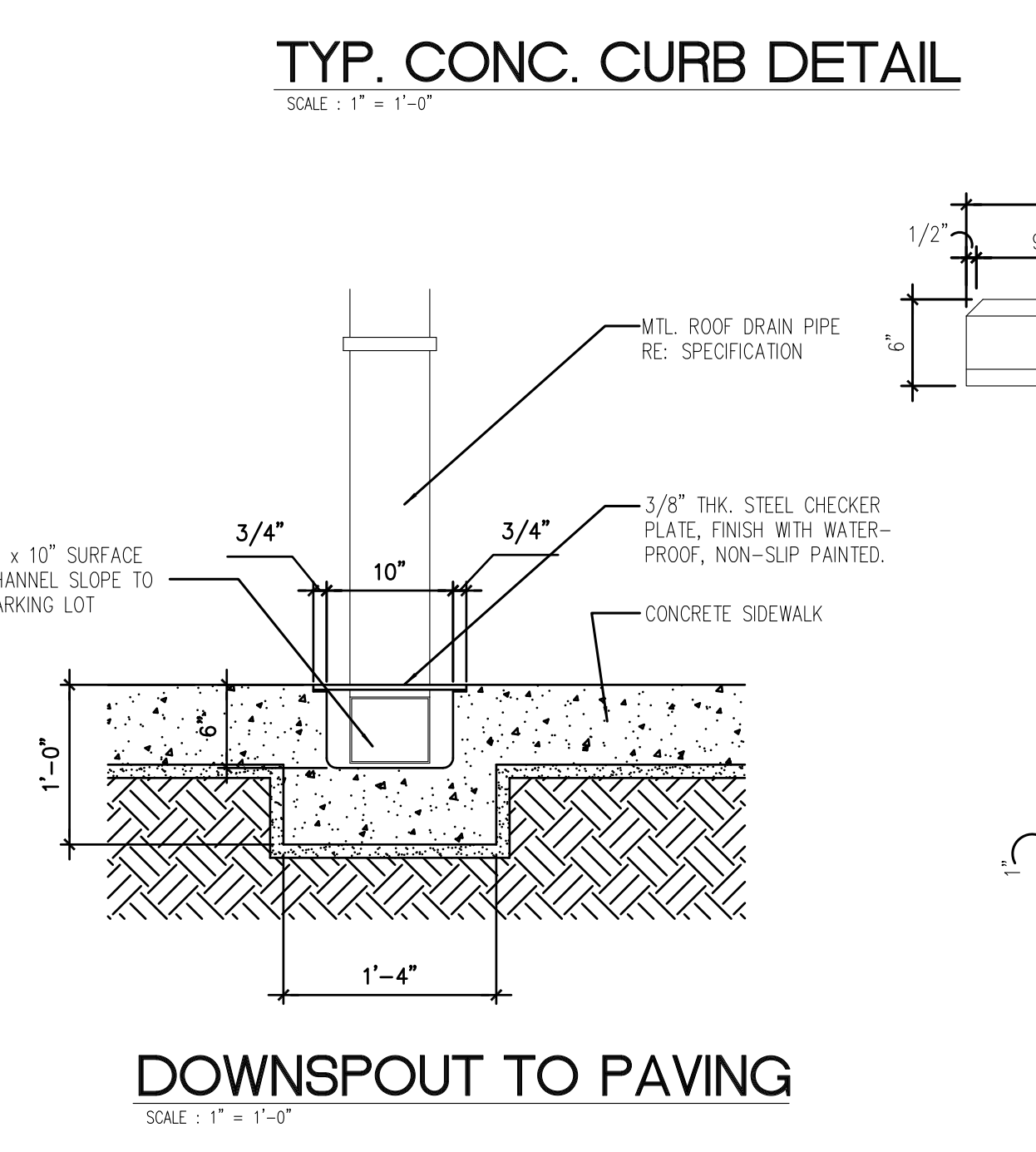
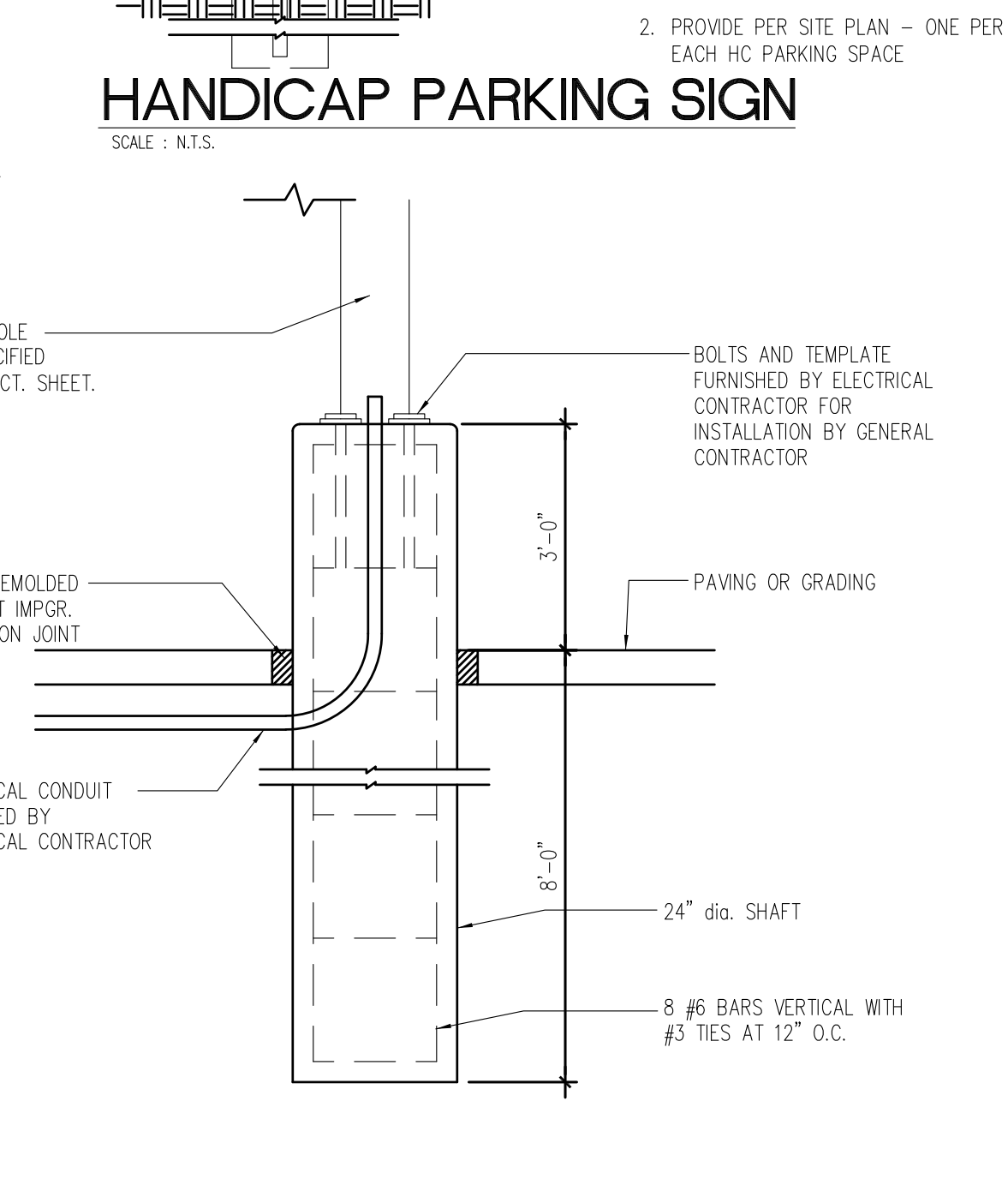
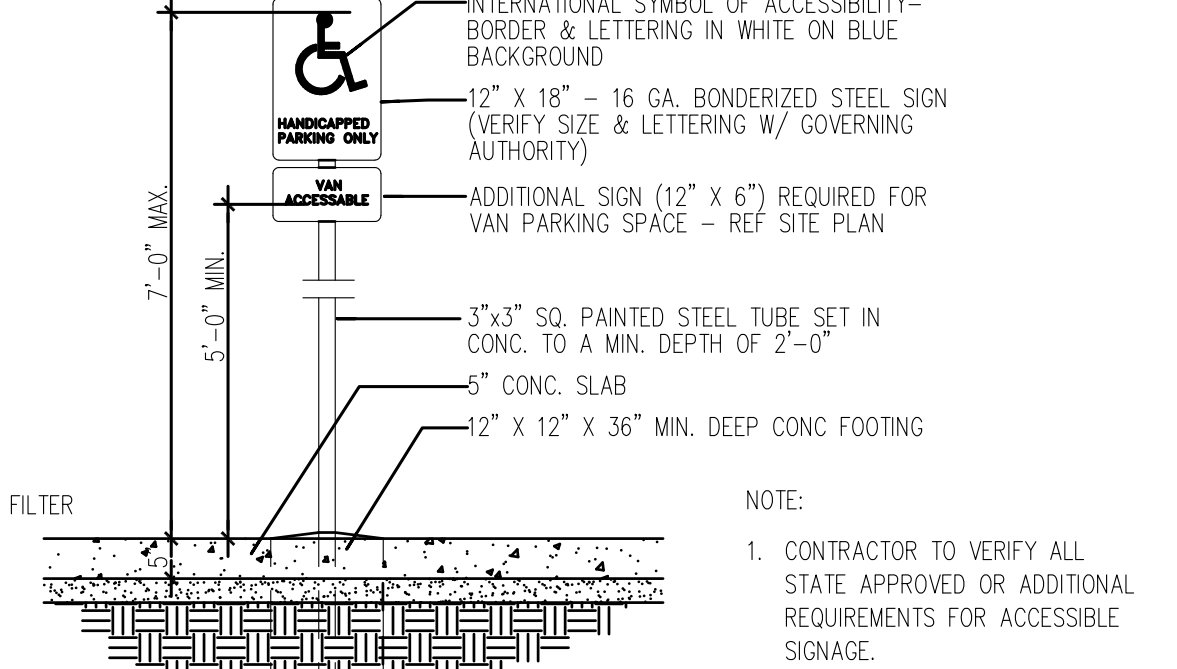
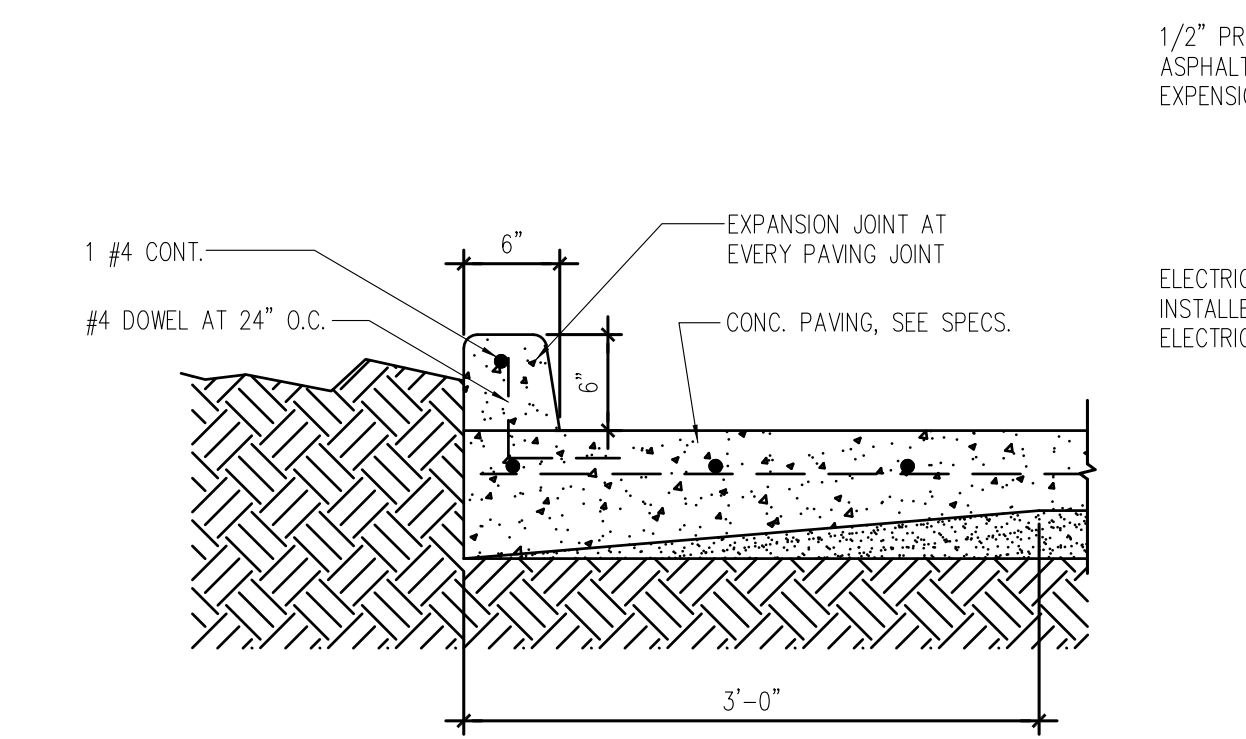
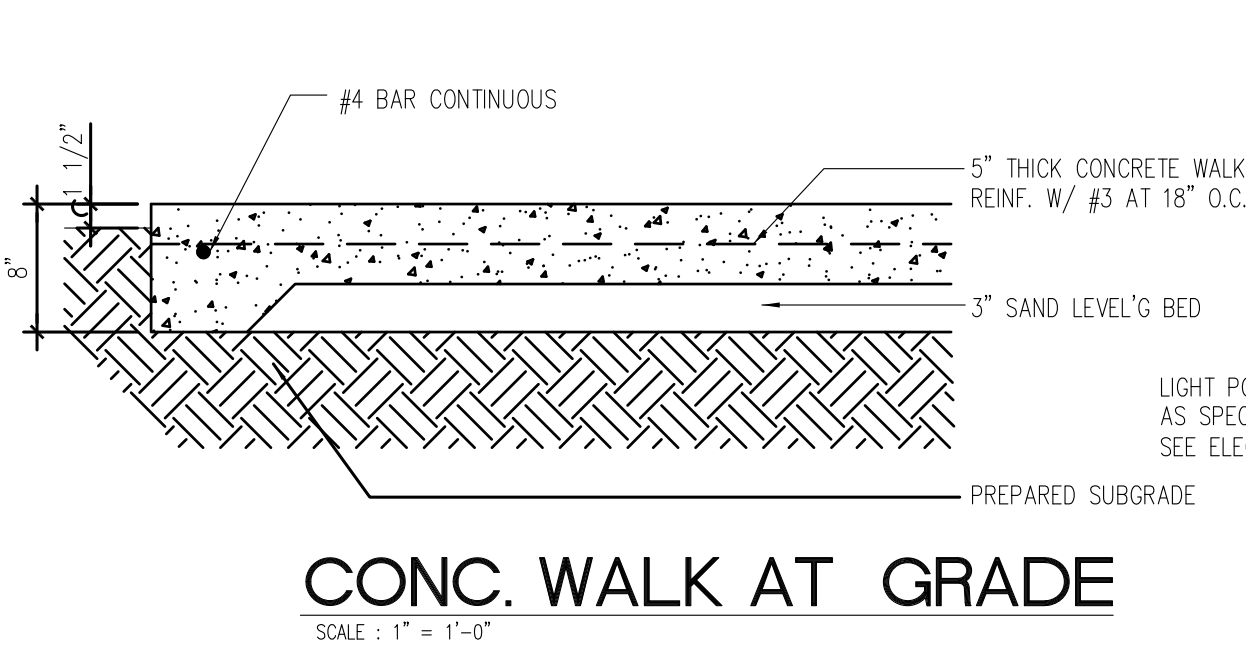
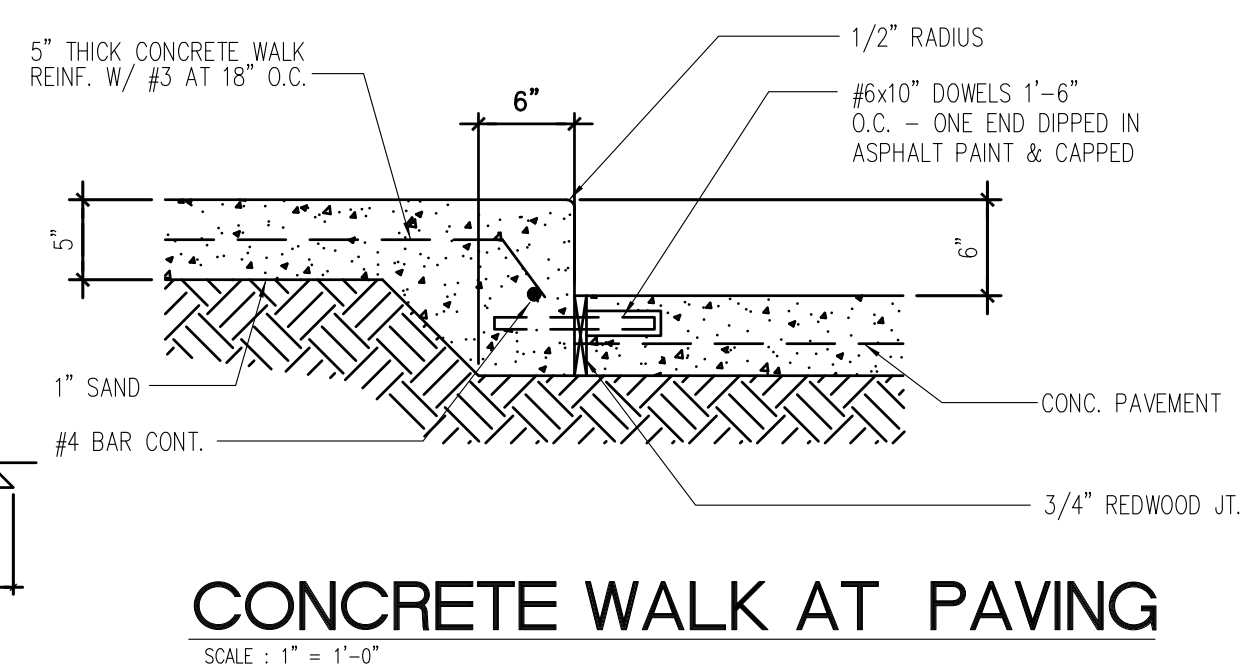
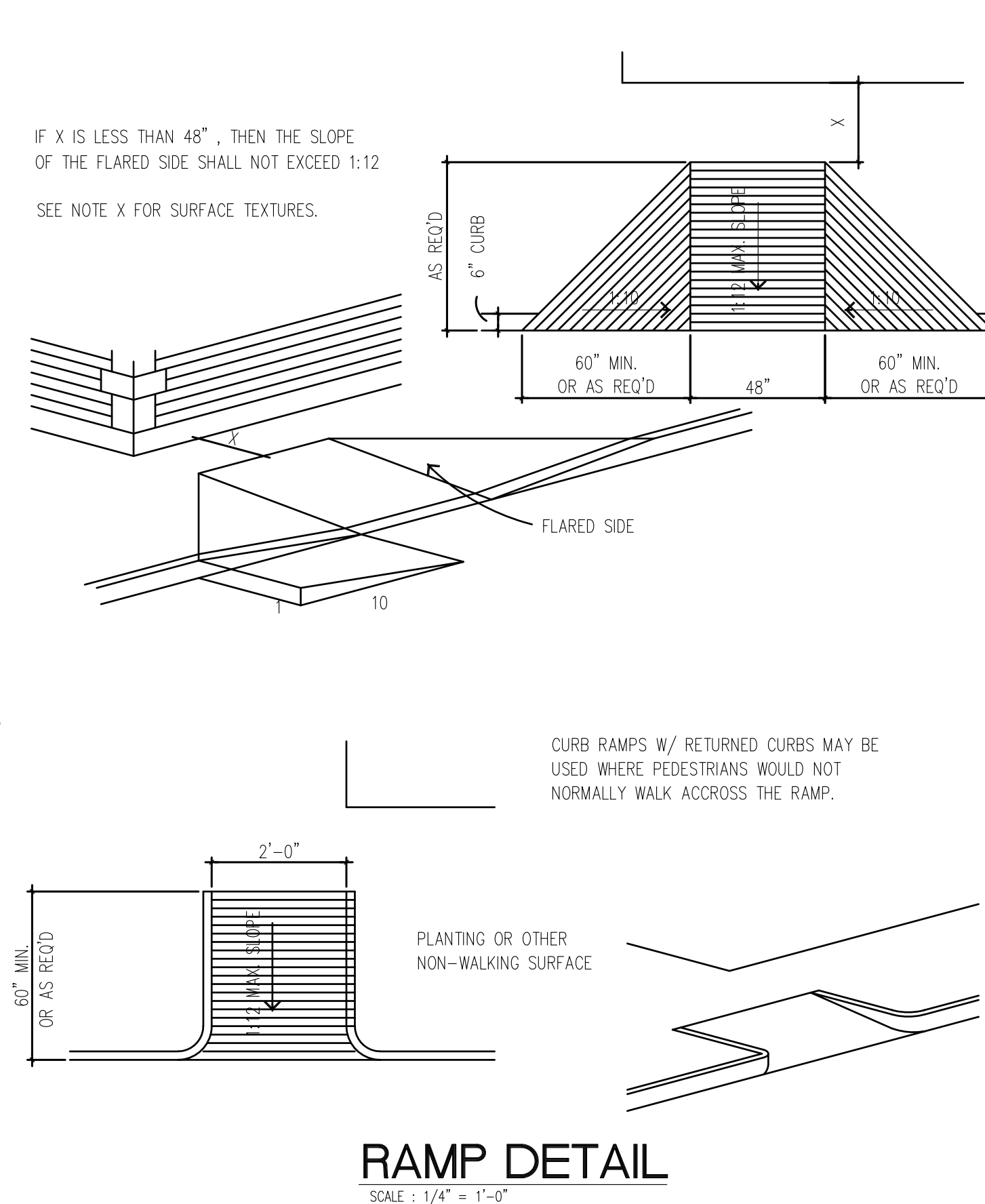
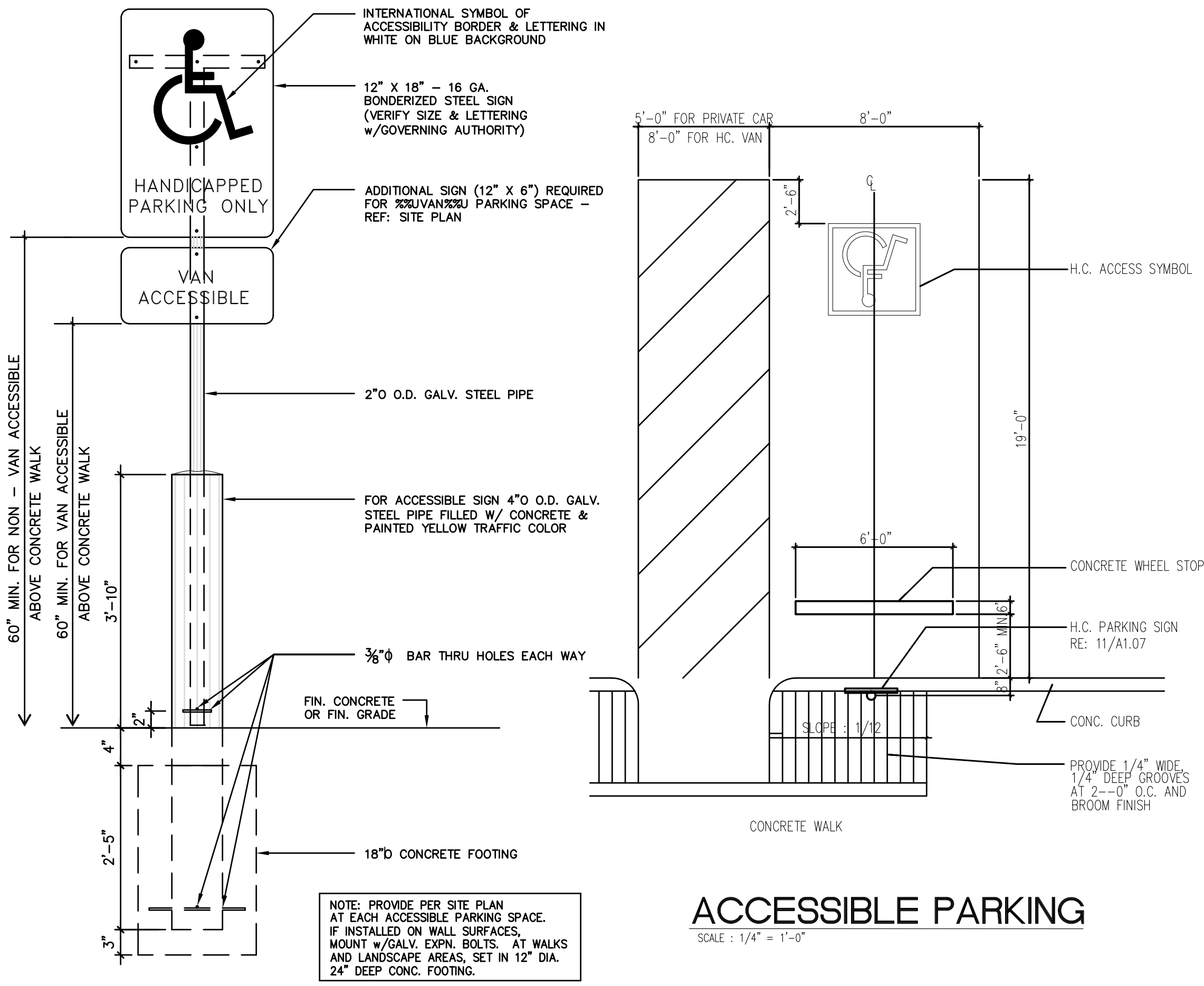


ISSUED / REVISED		
NO.	DATE	DESCRIPTION
0	04/05/2018	ISSUED FOR PERMIT
1	05/28/2018	REVISED FOR COMMENTS
2	07/12/2018	REVISED FOR COMMENTS

DRAWN BY:	H.C.
CHECKED BY:	L.D.

DRAWING TITLE:
BUILDING
RENDERING

PROJECT NO.
R-1



DEAVERS
ENGINEERING
FIRM no. 16777

LARRY DEAVERS, P.E.
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PROPOSED BUILDING FRIENDSWOOD DERMATOLOGY

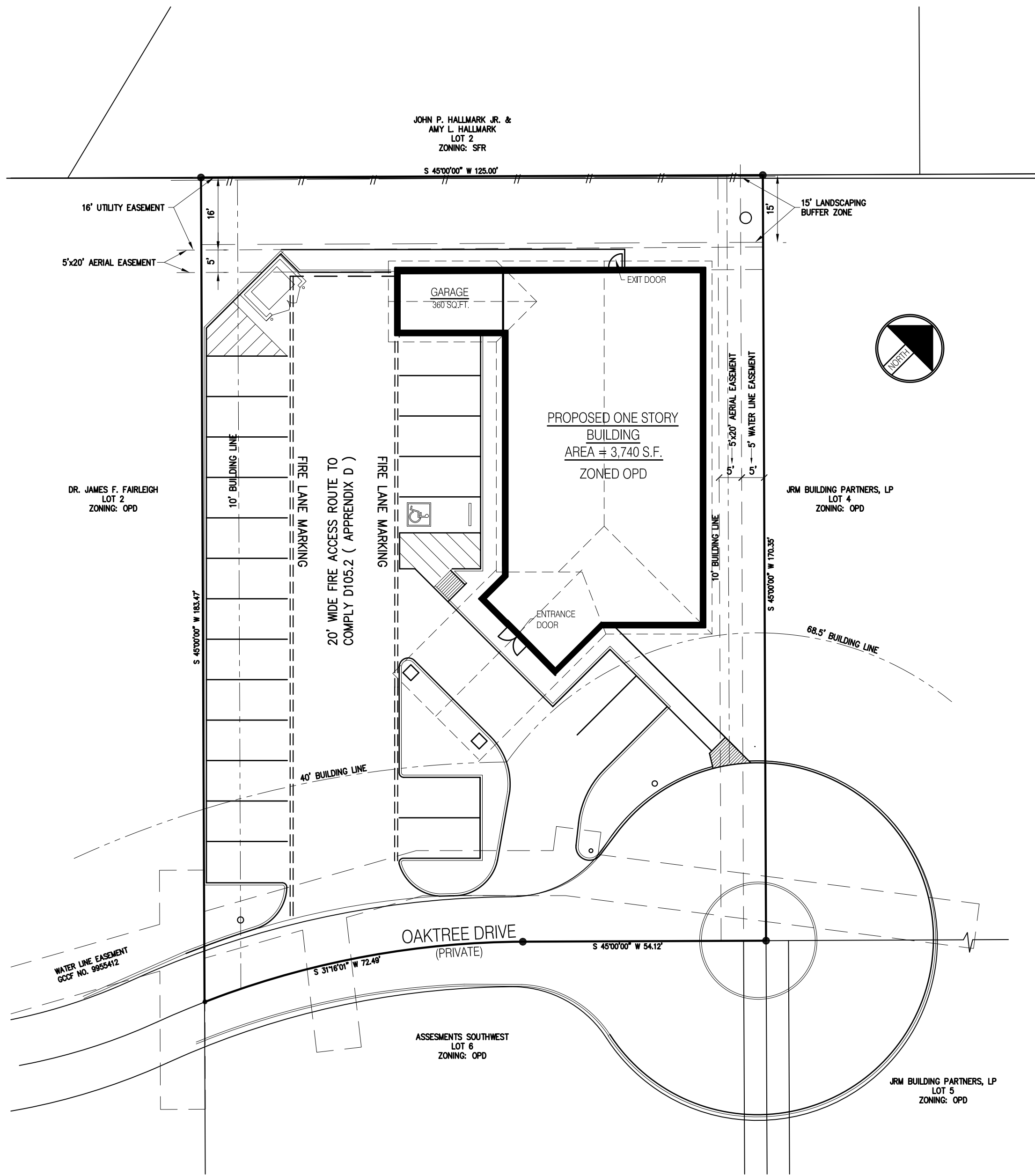
6 OAK TREE DRIVE, FRIENDSWOOD, TEXAS

ISSUED / REVISED		
NO.	DATE	DESCRIPTION
0	04/06/2018	ISSUED FOR PERMIT
1	05/28/2018	REVISED PER COMMENTS
2	07/12/2018	REVISED PER COMMENTS

DRAWN BY:	H.C.
CHECKED BY:	L.D.

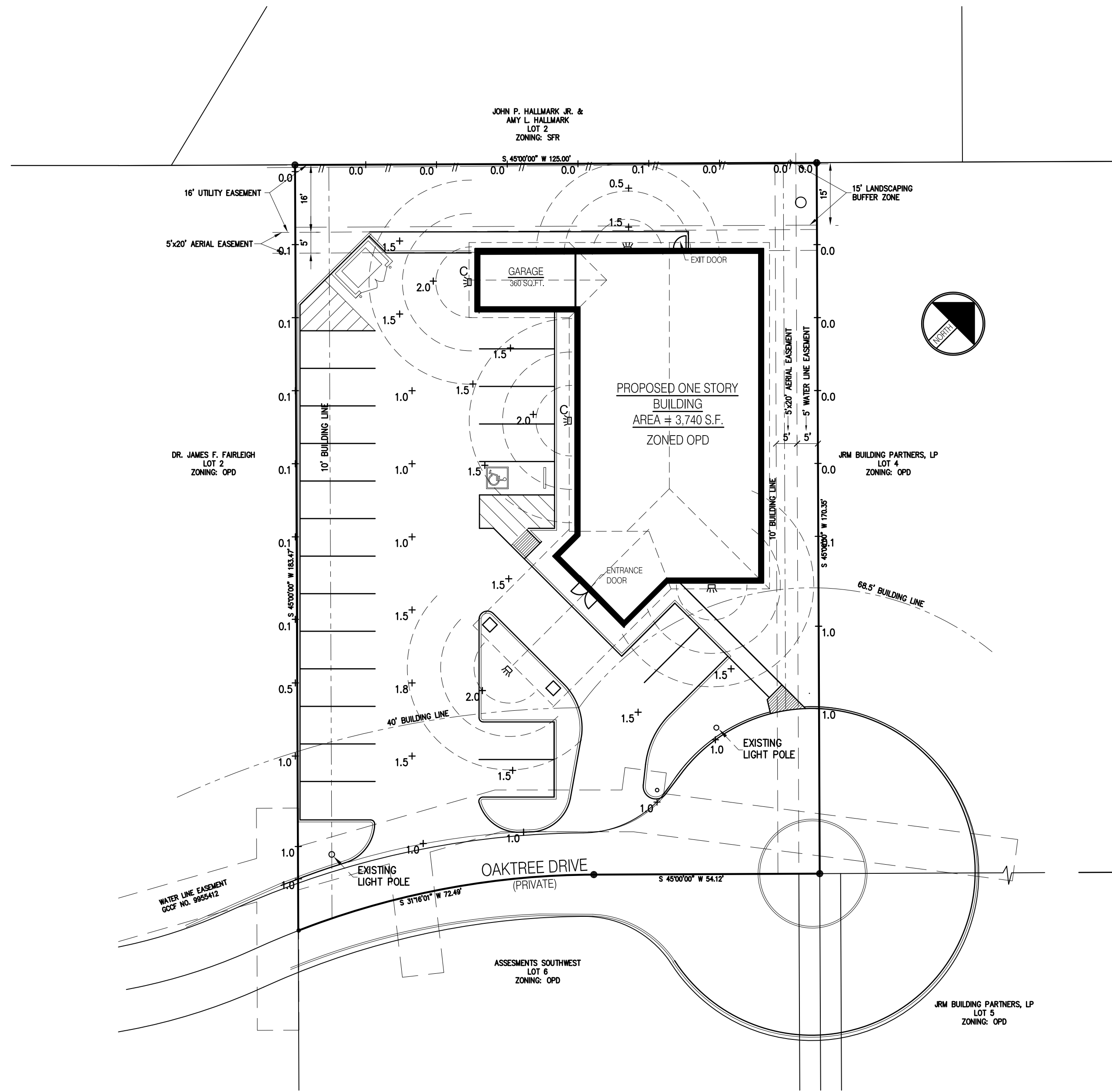
DRAWING TITLE:	
SITE DETAILS	

DRAWING NO.	
A-2.1	



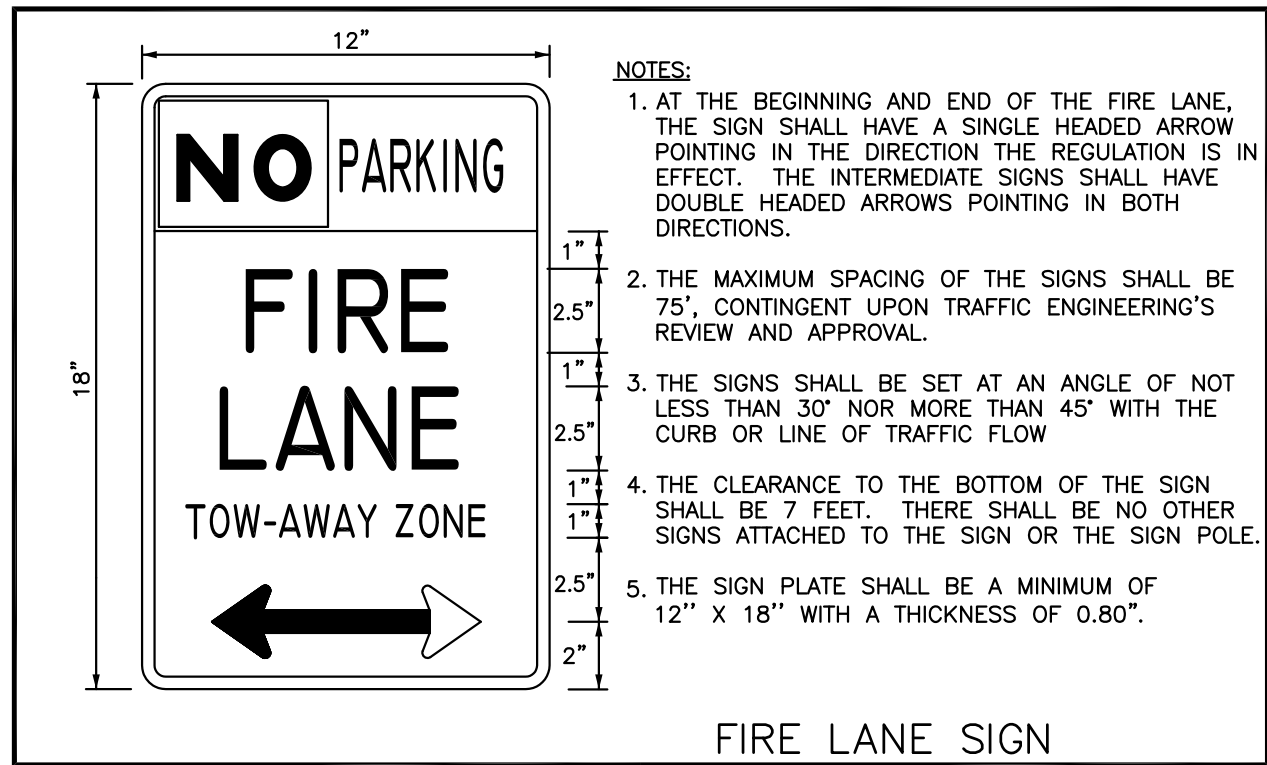
FIRE LANE PLAN

SCALE: 1" = 20'



PHOTOMETRIC PLAN

SCALE: 1" = 20'



Fire Lane Striping - Fire Department Access Roadway

All required fire lanes shall be provided and maintained with fire lane striping that consists of a minimum six inch (6") wide red background stripe with four inch (4") high white letters stating "Fire Lane No Parking Tow-away Zone" to be painted upon the red stripe every twenty feet (20') along the entire length of the fire lane showing the exact boundary of the fire lane.

The fire lane markings shall be upon the vertical surface of the curb.

On curbless driveways, the design shall be a twelve inch (12") wide red background stripe with six inch (6") high white letters stating "Fire Lane No Parking Tow-away Zone" to be painted upon the red stripe every Twenty feet (20') along the entire length of the fire lane showing the exact boundary of the fire lane.

Illustration of approved fire lane markings is as follows:



1. "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED THE ENTIRE LENGTH OF DEDICATED FIRE LANE.

2. FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.

3. WHERE THE ABOVE FIRE LANE MARKINGS ARE DETERMINED TO BE INADEQUATE IN CONTROLLING TRAFFIC OR NOT PRUDENT TO THE APPLICATION, THE PROPERTY OWNER WILL BE REQUIRED TO POST APPROVED FIRE LANE SIGNS IN PLACE OF PAINTED AREAS OF THE ROADWAY BOTH PUBLIC OR PRIVATE.

4. WHEN RESTRIPIING, ADDITIONS TO THE EXISTING FIRE LANES ARE NOT ALLOWED WITHOUT PRIOR APPROVAL OF THE FIRE DEPARTMENT.

Maintenance - All designated fire lanes/fire department access roadways shall be maintained and kept in a state of good repair at all times by the owner or person in control of the premises. Upon notification that the fire lane is not clearly marked, the fire lane shall be repaired or repainted to meet the city code. Failure to maintain the fire lane shall constitute a violation of the fire code.

WALL MOUNTED LIGHT PACK

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Spill Light_Planar	Illuminance	Fc	0.05	0.24	0.00	N.A.	N.A.
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	
	5	C	SINGLE	3450	0.699	MPIP-W-50-MT-LL, WITH HOOD	

ALL LIGHT FIXTURES TO HAVE HOODS TO DIRECT LIGHT TOWARDS THE GROUND.

DEAVERS ENGINEERING

FIRM no. 16777

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PROPOSED BUILDING FRIENDSWOOD DERMATOLOGY

6 OAK TREE DRIVE, FRIENDSWOOD, TEXAS

ISSUED / REVISED

NO.	DATE	DESCRIPTION
0	04/05/2018	ISSUED FOR PERMIT
1	05/28/2018	REVISED PER COMMENTS
2	07/12/2018	REVISED PER COMMENTS
3	08/03/2018	REVISED PER COMMENTS

DRAWN BY: H.C.
CHECKED BY: L.D.

FIRE LANE PHOTOMETRIC SITE PLAN

DRAWING NO.

A-4

Planning and Zoning Commission Subcommittees

Planning Subcommittee – standing committee to consider and study long-term plans such as the Future Land Use Map, Comprehensive Plan, Official Zoning Map, etc.

Brett Banfield

Ordinance Subcommittee – standing subcommittee to consider and study proposed changes to the Subdivision Ordinance, Zoning Ordinance and any other ordinance topics as requested by City Council.

Richard Sasson

2018 P&Z Liaison Schedule

City Council 1st Monday - monthly - at 4:30 City Hall Contact: Melinda Welsh Commissioner: Joe Matranga
Community and Economic Development Committee (CEDC) 1st Wednesday - monthly - at 3:30pm 2nd Floor at City Hall Contact: Karen Capps Commissioner: Eric Guenther
Galveston County Consolidated Drainage District 2nd & 4th Tuesdays at 8am 1605 Whitaker Dr. Contact: Joseph Anderson Commissioner: Brett Banfield
Construction Board Of Adjustment as needed Council Chambers at City Hall Contact: Brian Rouane Commissioner: Brett Banfield
Zoning Board Of Adjustment 4th Tuesday as needed at 7pm Council Chambers at City Hall Contact: Brian Rouane/Aubrey Harbin Commissioner: Dick Clark
Keep Friendswood Beautiful 4th Tuesday monthly at 6:30pm 2nd Floor Conference Room at City Hall Contact: Kim Ramirez Commissioner: Vacant
Friendswood ISD / Clear Creek ISD 2nd Monday – monthly – 5:45pm FISD Admin Building (302 Laurel) Contact: David Montz, Tony Hopkins Commissioner: Richard Sasson