

NOTICE OF A REGULAR MEETING OF THE CITY OF FRIENDSWOOD PLANNING AND ZONING COMMISSION, TO BE HELD THURSDAY, SEPTEMBER 20, 2018, BEGINNING AT 7 PM, IN THE COUNCIL CHAMBERS AT CITY HALL LOCATED AT 910 S. FRIENDSWOOD DRIVE, FRIENDSWOOD, TEXAS

1. Call to order
2. Communication from the public/committee liaisons
(To comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects be placed on a later regular Commission agenda for discussion and/or possible action.)
3. Consent agenda
These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner or citizen so requests in which case the item would be removed from the consent agenda and considered separately.

A. Minutes from September 10, 2018

B. Final Plat of Flying Leaf Estates

Action Items

According to the Planning and Zoning Rules of Procedure (R2010-09), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

4. Consideration and possible action regarding **site plan approval for Shadowbend Office Park to be located at 103 and 105 E. Shadowbend**
5. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

Thursday, October 4 – Regular Meeting

Thursday, October 18 – No Meeting – APA Conference

6. Communications
 - a. Commissioners
 - Suggestions for future agenda items and general comments
 - Updates from liaison assignments
 - b. Council Liaison – Sally Branson
 - c. Staff
7. Adjournment



PLANNING & ZONING COMMISSION

**MINUTES OF A
SPECIAL MEETING
HELD MONDAY, SEPTEMBER 10, 2018
AT 7:00 PM**

**CITY HALL
2ND FLOOR CONFERENCE ROOM
910 S. FRIENDSWOOD DRIVE
FRIENDSWOOD, TEXAS**

Special Meeting

1. The special meeting was called to order at 7:00 pm with the following people in attendance:

Chairman Joe Matranga
Commissioner Eric Guenther
Commissioner Marc Perry
Becky Summers, Development Coordinator
Aubrey Harbin, City Planner/Director of CDD

Commissioner Richard Sasson
Commissioner Lisa Lundquist

Absent: Clark, Banfield

2. Communication from the public/committee liaisons
(To comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects be placed on a later regular Commission agenda for discussion and/or possible action.)

None.

Action Items

According to the Planning and Zoning Rules of Procedure (R2010-09), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

3. **Oath of Office:** Aubrey Harbin, Notary Public, will administer **Oath of Office for new Commissioner, Marc Perry**

Harbin administered Oath of Office to Marc Perry.

4. Consent agenda

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner or citizen so requests in which case the item would be removed from the consent agenda and considered separately.

- A. Minutes from August 16, 2018**
- B. Partial Replat Reserve A2 of Forest Creek Subdivision**
- C. Howard Subdivision Partial Replat No. 2**

Motion to approve: Guenther

Second: Lundquist

Vote: 5 to 0 Unanimous

Motion Passed

Action Items

According to the Planning and Zoning Rules of Procedure (R2010-09), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

5. Discussion regarding conceptual plan of **Georgetown Subdivision**

Harbin explained a conceptual plan was not an action item by the Commission and could not be approved nor disapproved. She stated conceptual plans were informational for the City and a means to show what development was about to be submitted. Harbin said the developer had submitted three preliminary plats this morning. She said the subdivision would be in phases much like West Ranch but while West Ranch was a Planned Unit Development, Georgetown would be Single Family Residential with 90-foot lots.

Jacob Floyd/Pape-Dawson Engineers stated the subdivision would consist of 572 lots developed by pristine Emerald Homes, a DR Horton product. He explained the project was proposed in 2014 by another developer but the financing fell through. He said the subdivision had lots of detention and they had a pending meeting with the Galveston County Consolidated Drainage District on Wednesday. Floyd further explained the subdivision would be split between the City of Friendswood/Galveston County and City of Alvin/Brazoria County, as the main entrance is within Alvin.

Lundquist mentioned Dickinson Bayou flowing through the property. Jonathan Woodruff/DR Horton said the project did not lie in a high risk floodplain. He explained the proposed detention ponds would improve drainage in the area.

Guenther asked how the adjacent shooting range impacted the development. Floyd stated the developer would be adding an additional berm for aesthetics within an easement near the range. He explained safety precautions were already in place for the range.

Guenther asked if they were proposing any commercial development along with the homes. Woodruff said the seller would be retaining the land along FM 528 and had plans for it already. Matranga asked if there would be any commercial opportunity along the future Grand Parkway. Woodruff said, in his experience, the parkway would be elevated without exit or entrance ramps, and commercial opportunity would not be likely.

Lundquist asked if the subdivision would include any trail systems. Woodruff said an amenity center would be built and trails could be installed in places that made sense to the development. He explained projects usually held some meaning to the sellers. He stated the Bakers project in Pearland was themed for Mr. Baker who was a helicopter pilot. He said Georgetown was for Mr. George Bofysil.

Matranga inquired about the price range of the new homes. Woodruff explained Emerald Homes was a higher end product so the homes would range from high \$300,000 to low \$500,000 values. Matranga asked if City services were available in that area of town. Floyd explained the developer would be upgrading a main water line, installing a lift station, and other items. Woodruff stated a utility agreement was already in place with the City from 2014.

Perry asked if a Traffic Impact Analysis had been completed. Floyd said the TIA would be subject to TxDot regulations and would be calculated based on each section as well as total build out. Harbin explained the City would receive the TIA and that staff ensures compliance during construction. Perry asked if a bridge would be installed over Dickinson Bayou and how emergencies would be handled. Harbin explained the bridge would be boulevarded providing two lanes each way.

Matranga asked staff what plans would come back to the Commission. Harbin said the preliminary and final plats would be on future Commission agendas.

Woodruff added they would be re-routing the American Canal with underground pipes. He said DR Horton had also met with Thad Rohr/FISD Superintendent to keep the school district updated.

6. Consideration and possible action regarding **updating the Liaison Assignments**

Matranga stated he spoke or emailed with all Commissioners regarding assignments. Harbin distributed the list of Liaison Assignments. Sasson said he was hoping to change from the FISD position but he was okay staying there.

7. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

Thursday, September 20 – Regular Meeting
Monday, October 1 – JPH with City Council
Thursday, October 4 – Regular Meeting

Motion to move Oct 4 meeting to Oct 1: Sasson

Second: Lundquist

Vote: 5 to 0 Unanimous

Motion Passed

8. Communications from the Commission

a. Commissioners- Perry suggested the Commission talk to the City about the hazards of a subdivision being built next to a shooting range. Summers explained the range is self contained and Harbin stated the subdivision meets City code. She explained public hearings would not be required.

- b. Council Liaison – Branson attending Council meeting.
- c. Staff – Harbin reminded the Commission the APA Conference was coming up in October and asked who would like to attend. Matranga and Sasson stated they felt the conference was very helpful.

9. The meeting was adjourned at 7:49 pm.

These minutes respectfully submitted by:

Becky Summers

Becky Summers
Development Coordinator/P&Z Secretary

Flying Leaf Estates – Final Plat; 2 lots

1. Compliance memo
2. Final Plat

Memo

To: Planning and Zoning Commission
From: Becky Summers, Development Coordinator
Date: September 17, 2018
Re: Flying Leaf Estates
Short Form Final Plat

Project Description: Single residential lot being divided into two residential lots. Property has street frontage, access to utilities, and is dedicating right-of-way to the Galveston County Consolidated Drainage District via separate instrument making the plat eligible to process as a “short form” final plat.

The plan has been reviewed by staff in the following departments: Planning, Public Works/Engineering, Fire Marshal, Parks, and Police Department. The proposed project appears to be in compliance with current City codes with the following exceptions:

- 1) Name as a Final Plat and remove replat references
- 2) Only front building line to be shown on plat

The plan is subject to review and approval by the Planning and Zoning Commission.



VICINITY MAP
(1"=2,000')

THE STATE OF TEXAS, COUNTY OF GALVESTON
THIS IS TO CERTIFY THAT I, EDDIE HABIB and wife PAMELA A. HABIB, ARE THE LEGAL OWNERS OF THE LAND SHOWN ON THIS PLAT, BEING THE TRACT OF LAND AS CONVEYED TO US BY DEED DATED AND RECORDED IN CLERK'S FILE NO. 201022558 OF THE DEED RECORDS OF GALVESTON COUNTY, TEXAS, AND DESIGNATED HEREIN AS FALLING LEAF ESTATES SUBDIVISION IN THE CITY OF FRIENDSWOOD, TEXAS.

FURTHER, I, THE UNDERSIGNED, DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES SHOWN ON THIS PLAT FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

FURTHER OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBTSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR SEVEN FEET (7' 0") FOR FOURTEEN FEET (14' 0") PERIMETER GROUND EASEMENTS, OR FIVE FEET (5' 0") FOR SIXTEEN FEET (16' 0") PERIMETER GROUND EASEMENTS, FROM A PLANE SIXTEEN (16' 0") ABOVE THE GROUND LEVEL, UPWARD, LOCATED ADJACENT TO AND ADJOINING SAID PUBLIC UTILITY EASEMENT THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U. E. AND A. E.) AS INDICATED AND DEPICTED HEREON WHEREBY THE AERIAL EASEMENTS TOTALS TWENTY-ONE (21' 0") IN WIDTH.

FURTHER OWNERS HAVE DEDICATED AND BY THESE PRESENTS DO DEDICATE TO THE USE OF THE PUBLIC FOR PUBLIC UTILITY PURPOSE FOREVER UNOBTSTRUCTED AERIAL EASEMENTS. THE AERIAL EASEMENTS SHALL EXTEND HORIZONTALLY AN ADDITIONAL TEN FEET (10' 0") FOR TEN FEET (10' 0") BACK-TO-BACK GROUND EASEMENTS, OR EIGHT FEET (8' 0") FOR FOURTEEN FEET (14' 0") BACK-TO-BACK GROUND EASEMENTS, OR SEVEN FEET (7' 0") FOR SIXTEEN FEET (16' 0") BACK-TO-BACK GROUND EASEMENT, FROM A PLANE SIXTEEN (16' 0") ABOVE GROUND LEVEL, UPWARD, LOCATED ADJACENT TO BOTH SIDES AND ADJOINING SAID PUBLIC UTILITY EASEMENTS THAT ARE DESIGNATED WITH AERIAL EASEMENTS (U. E. AND A. E.) AS INDICATED AND DEPICTED HEREON, WHEREBY THE AERIAL EASEMENTS TOTALS THIRTY FEET (30' 0") IN WIDTH.

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THIS REPLAT DOES NOT ATTEMPT TO AMEND OR REMOVE ANY COVENANTS OR RESTRICTIONS.

WITNESS MY HAND IN THE CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS THIS ____ DAY OF ____ 2018.

EDDIE HABIB, OWNER

PAMELA A. HABIB, OWNER

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED EDDIE HABIB and wife PAMELA A. HABIB, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO BE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____ DAY OF ____ 2018.

NOTARY IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: ____

CITY OF FRIENDSWOOD

THIS IS TO CERTIFY THAT THE PLANNING & ZONING COMMISSION OF THE CITY OF FRIENDSWOOD, TEXAS HAS APPROVED THIS PLAT OF FALLING LEAF ESTATES AS SHOWN HEREON.

IN TESTIMONY WHEREOF, WITNESS THE OFFICIAL SIGNATURE OF THE CHAIRMAN AND DEVELOPMENT COORDINATOR OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF FRIENDSWOOD, TEXAS THIS ____ DAY OF ____ 2018.

BECKY SUMMERS
DEVELOPMENT COORDINATOR

JOE MATRANGA
CHAIRMAN

I, PATRICK DONARTY, P.E., C.E.M. - DIRECTOR OF PUBLIC WORKS/CITY ENGINEER
OF THE CITY OF FRIENDSWOOD, TEXAS DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE CITY OF FRIENDSWOOD, TEXAS, AND FURTHER IT COMPLIES WITH ALL OF THE ORDINANCES AS CURRENTLY ADOPTED BY THE CITY COUNCIL.

PATRICK DONARTY, P.E., C.E.M. - DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

STATE OF TEXAS
COUNTY OF GALVESTON

I, DWIGHT SULLIVAN, COUNTY CLERK, GALVESTON COUNTY, TEXAS DO HEREBY CERTIFY THAT THE WRITTEN INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE ON ____ 2018, AT ____ O'CLOCK ____ A.M. AND DAILY RECORDED ON ____ GALVESTON COUNTY MAP RECORDS.

WITNESS MY HAND AND SEAL OF OFFICE, AT GALVESTON, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

DWIGHT SULLIVAN, COUNTY CLERK
GALVESTON COUNTY, TEXAS

BY
DEPUTY

KNOW ALL MEN BY THESE PRESENTS:
THAT I, CASEY FARLOOTH, DO HEREBY CERTIFY THAT I MADE AN ACTUAL AND ACCURATE SURVEY OF THE PLATTED LAND, AND THAT THE CORNER MONUMENTS SHOWN ON THE FOREGOING PLAT WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION AND DEVELOPMENT ORDINANCE OF THE CITY OF FRIENDSWOOD, TEXAS.

CASEY W. FARLOOTH
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6262

PRELIMINARY
THIS DOCUMENT SHALL
NOT BE RECORDED FOR
ANY PURPOSE AND
SHALL BE USED OR
RELIED UPON AS A FINAL
SURVEY DOCUMENT

APPROVED BY THE GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT

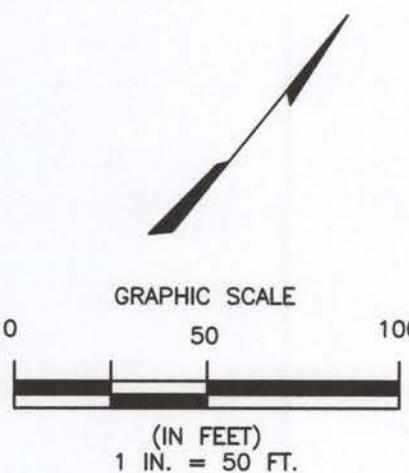
DIRECTOR

DATE

DIRECTOR

DATE

This is to certify that the above was signed based on the recommendation of the District's Engineer having reviewed all sheets provided and found them to be in general compliance with the District's "Drainage Criteria Manual". This approval does not constitute a warranty, nor does it constitute a guarantee of any kind. The plat as submitted, was prepared, signed, and sealed by a Professional Land Surveyor licensed to practice surveying in the State of Texas, which conveys responsibility and accountability to that Surveyor.



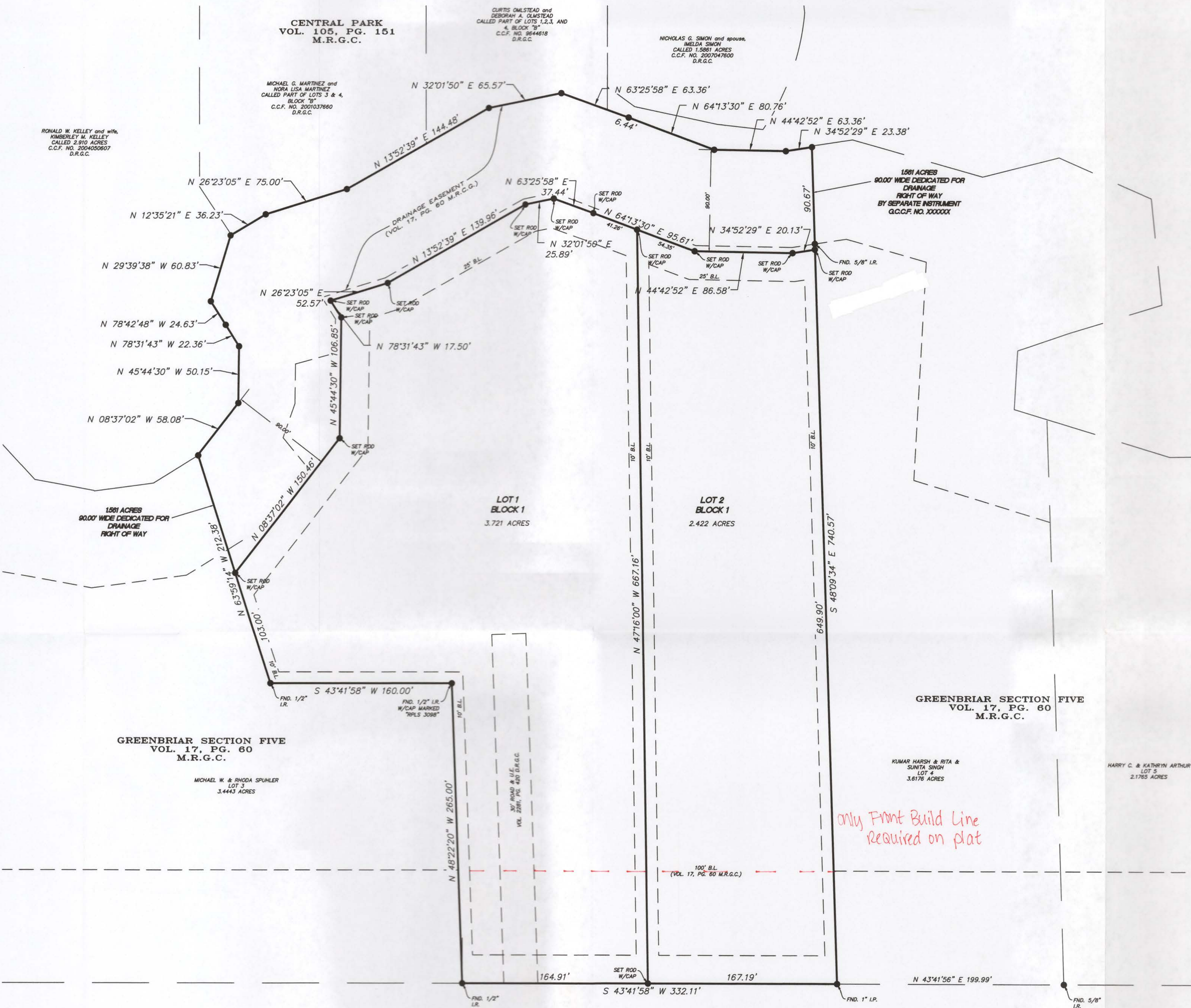
CENTRAL PARK
VOL. 105, PG. 151
M.R.G.C.

MICHAEL G. MARTINEZ and
NORA LISA MARTINEZ
CALLED PART OF LOTS 3 & 4,
BLOCK "D",
C.C.F. NO. 2001037860
D.R.G.C.

RONALD W. KELLEY and wife
KIMBERLEY M. KELLEY
CALLED 2.810 ACRES
C.C.F. NO. 2004050607
D.R.G.C.

CURTIS OALSTEAD and
DEBORAH A. OALSTEAD
CALLED PART OF LOTS 1,2,3 AND
4, BLOCK "B",
C.C.F. NO. 9644618
D.R.G.C.

NICHOLAS G. SIMON and spouse,
MELBA SIMON
CALLED 1.581 ACRES
C.C.F. NO. 2007047600
D.R.G.C.



GREENBRIAR SECTION FIVE
VOL. 17, PG. 60
M.R.G.C.

MICHAEL W. & RHODA SPUEHLER
LOT 3
3.4443 ACRES

GREENBRIAR SECTION FIVE
VOL. 17, PG. 60
M.R.G.C.

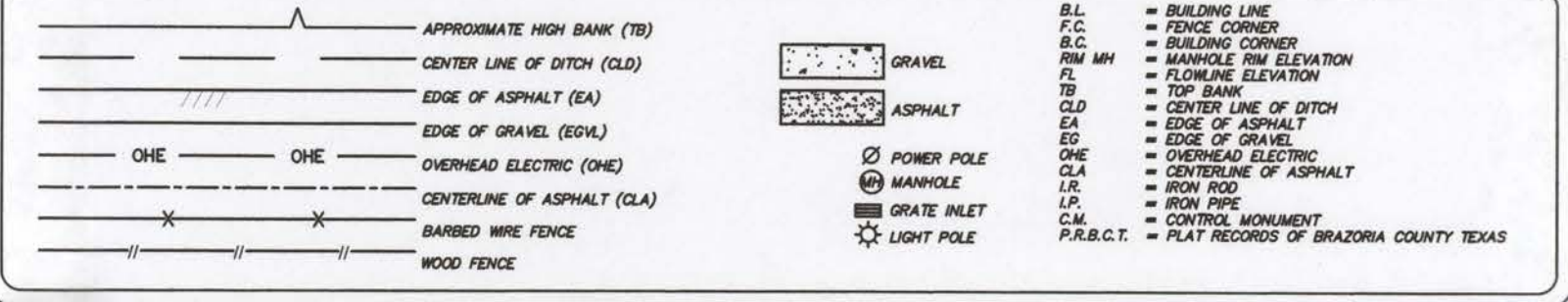
KUMAR HARSH & RITA &
SUNITA SINGH
LOT 4
3.6176 ACRES

HARRY C. & KATHRYN ARTHUR
LOT 5
2.1765 ACRES

FALLING LEAF DRIVE
60' R.O.W.

LEGEND

NO.	DATE	REVISION	BY	APPROVED
1	7/25/18	SUBMIT FOR PRELIMINARY REVIEW	AJT	CMF
2	8/17/18	SUBMIT FOR FINAL REVIEW	CMF	CMF



GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT'S NOTES

- BUILDINGS, FENCES OR OTHER STRUCTURES SHALL NOT BE ERRECTED IN GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT RIGHT-OF-WAYS OR DRAINAGE EASEMENTS. FURTHERMORE, NO PERMANENT IMPROVEMENTS INCLUDING LANDSCAPING, PAVING, TREES, SPRINKLERS, UTILITIES, PLAYGROUND EQUIPMENT, PARK BENCHES, TABLES, SPORT FIELDS, PIERS, OR SIDEWALKS SHALL BE CONSTRUCTED WITHIN SAID RIGHT-OF-WAYS OR DRAINAGE EASEMENTS WITHOUT THE APPROVAL OF THE DISTRICT.
- THE DETENTION AND DRAINAGE FACILITIES ARE TO BE MAINTAINED BY THE PROPERTY OWNERS.
- NO BUILDING PERMIT SHALL BE ISSUED FOR ANY LOT WITHIN THIS SUBDIVISION UNTIL A DETENTION AND DRAINAGE PLAN HAS BEEN APPROVED BY THE GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT.
- ADDITIONAL DRAINAGE EASEMENTS MAY BE REQUIRED AT THE TIME A DRAINAGE PLAN IS SUBMITTED TO THE GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT FOR APPROVAL.
- PLANTINGS, FLOWER BEDS, OR OTHER LANDSCAPING IS NOT PERMITTED IN SIDE LOT DRAINAGE OR DETENTION EASEMENTS.
- NO BUILDING PERMIT SHALL BE APPLIED FOR UNTIL ALL DRAINAGE AND DETENTION FACILITIES ARE CONSTRUCTED, INSPECTED AND APPROVED BY THE DISTRICT.
- NO PERMANENT IMPROVEMENTS INCLUDING LANDSCAPING, PAVING, TREES, SPRINKLERS, UTILITIES, PLAYGROUND EQUIPMENT, PARK BENCHES, TABLES, SPORT FIELDS, PIERS, OR SIDEWALKS SHALL BE CONSTRUCTED WITHIN SAID RIGHT-OF-WAYS OR DRAINAGE EASEMENTS WITHOUT THE APPROVAL OF THE DISTRICT.

GENERAL NOTES

- U.E. - INDICATES UTILITY EASEMENT
- B.L. - INDICATES BUILDING LINE
- W.L.E. - INDICATES WATER LINE EASEMENT
- S.S.E. - INDICATES SANITARY SEWER EASEMENT
- ST.M.S.E. - INDICATES STORM SEWER EASEMENT
- A.E. - INDICATES AERIAL EASEMENT
- D.E. - INDICATES DRAINAGE EASEMENT
- G.C.C.F. - INDICATES GALVESTON COUNTY CLERK'S FILE
- G.C.M.R. - INDICATES GALVESTON COUNTY MAP RECORDS
- G.C.D.R. - INDICATES GALVESTON COUNTY DEED RECORDS
- I.E./P.U.E. - INDICATES INGRESS/EGRESS AND PUBLIC UTILITY EASEMENT
- ALL OF THE PIPELINE EASEMENTS ARE SHOWN HEREON.
- SIDEWALKS AND ADA RAMPS ARE REQUIRED ALONG ALL CURB AND GUTTER STREETS PER THE APPROVED SIDEWALK ACCESSIBILITY PLAN. THE DEVELOPER MUST INSTALL SIDEWALKS AND ADA RAMPS ALONG RESERVES AND COMMON AREAS PRIOR TO THE CITY COUNCIL'S ACCEPTANCE OF SUBDIVISION INFRASTRUCTURE. WHEN SIDEWALKS ARE REQUIRED THEY SHALL BE A WIDTH OF NO LESS THAN FOUR FEET AND COMPLY WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE PERMITTED TO BE BUILT NEARER THAN 150 FEET AWAY FROM A WELL OR RELATED FACILITY, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE WELL OR FACILITY.
- EXCEPT FOR LOW-PRESSURE DISTRIBUTION SYSTEM PIPELINES AS DEFINED IN CHAPTER 26, OF THE FRIENDSWOOD CITY CODE, NO RESIDENTIAL, COMMERCIAL OR INDUSTRIAL STRUCTURE SHALL BE ERRECTED OR MOVED TO A LOCATION NEARER THAN 50 FEET TO ANY PIPELINE, OTHER THAN STRUCTURES NECESSARY TO OPERATE THE PIPELINE.
- THE CITY OF FRIENDSWOOD SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE STREETS (DRIVEWAYS, SIDEWALKS, AND EMERGENCY ACCESS EASEMENTS), WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES (DETENTION PONDS, DRAINAGE EASEMENTS, OUTFALLS AND SHALES), RECREATIONAL AREAS, RESERVES AND OTHER PRIVATE FACILITIES THAT ARE WITHIN PRIVATE EASEMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THESE ITEMS. THE CITY OF FRIENDSWOOD SHALL BE RESPONSIBLE FOR MAINTENANCE OF PUBLIC STREETS, SIDEWALKS, STREET SIGNS, WATERLINES, SANITARY SEWER LINES, STORM SEWER FACILITIES, DRAINAGE EASEMENTS, OUTFALLS AND SHALES THAT ARE WITHIN THE PUBLIC RIGHT-OF-WAY OR WITHIN PUBLIC AND/OR EXCLUSIVE EASEMENTS. THE MAINTENANCE OF STREET LIGHTS SHALL BE THE RESPONSIBILITY OF TEXAS NEW MEXICO POWER.
- ALL UTILITY COMPANIES HAVE BEEN CONTACTED AND THE EASEMENTS SHOWN ON THE PLAT CONSTITUTE ALL OF THE EASEMENTS REQUIRED BY THE UTILITY COMPANIES FOR THEIR OPERATIONS.
- THE FINISHED FLOOR ELEVATIONS OF ALL STRUCTURES SHALL BE LOCATED ABOVE THE BASE FLOOD ELEVATIONS ESTABLISHED BY FEMA, AND AS PRESCRIBED IN THE FLOOD DAMAGE PREVENTION ORDINANCE OF THE CITY OF FRIENDSWOOD, TEXAS.
- ANY AND ALL RIGHT OF WAY ISLANDS LOCATED WITHIN THE BOUNDARIES OF THIS PLAT, EVEN IF NOT SHOWN ON THE FACE OF THE PLAT, SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- THIS BOUNDARY SURVEY SHALL CLOSE TO WITHIN 1:10,000.
- ONE FOOT RESERVE DEDICATED TO THE PUBLIC IN FEE AS A BUFFER SEPARATION BETWEEN THE SIDE OR END STREETS WHERE SUCH STREETS ADJUT ADJACENT ACRES. TRACTS THE CONDITION OF SUCH DEDICATION BEING THAT WHEN THE ADJACENT PROPERTY IS SUBDIVIDED IN A RECORDED PLAT, THE ONE FOOT RESERVE SHALL THEREUPON BECOME VESTED IN THE PUBLIC FOR STREET RIGHT-OF-WAY PURPOSES AND THE FEE TITLE THEREBY SHALL REVERT TO AND REVEST IN THE DEDICATOR, HIS HEIRS, ASSIGNS OR SUCCESSORS.

METES AND BOUNDS

Being a 7.704 acre tract of land out of and a part of Lot 2 and Lot 4, Block B, Central Park Subdivision according to the map or plat thereof recorded at Volume 105, Page151 of the Galveston County Map Records, being that same described in deed to Eddie and Pamela Habib as recorded at G.C.C.F. No. 201022558 and being more particularly described by metes and bounds as follows:

BEGINNING at a 1 inch iron pipe found at the most easterly corner of the the herls described tract, being the south corner of Lot 4, GREENBRIAR SECTION FIVE, as recorded at Vol 17, Page 60, G.C.M.R., and being in the northerly right-of-way line of Falling Leaf Drive (60' R.O.W.)

THENCE S43° 41' 58"W along the northerly right-of-way line of Falling Leaf Drive a distance of 332.11' to a 1/2 inch iron rod found at the east corner of Lot 3 of said GREENBRIAR SECTION FIVE;

THENCE N45° 22' 20"W along the northeast line of said Lot 3 a distance of 285.00 feet to a 1/2 inch iron rod with cap stamped "78PLS 3088" found;

THENCE S43° 41' 58"W continuing along the northeast line of said Lot 3 a distance of 160.00 feet to a 1/2 inch iron rod found;

THENCE N63° 58' 14"W continuing along the northeast line of said Lot 3 a distance of 212.38 feet to a point for corner in the centerline of Cowarts Creek;

Thence along the centerline of Cowarts Creek the following Courses:
THENCE N8° 37' 02"W a distance of 58.08 feet to a point for corner;

THENCE N45° 44' 30"W a distance of 50.15 feet to a point for corner;

THENCE N78° 31' 43"W a distance of 22.36 feet to a point for corner;

THENCE N78° 42' 48"W a distance of 24.83 feet to a point for corner;

THENCE N28° 39' 38"W a distance of 60.83 feet to a point for corner;

THENCE N12° 35' 21"E a distance of 36.23 feet to a point for corner;

THENCE N26° 23' 05"E a distance of 75.00 feet to a point for corner;

THENCE N13° 52' 39"E a distance of 144.48 feet to a point for corner;

THENCE N32° 01' 50"E a distance of 65.57 feet to a point for corner;

THENCE N63° 25' 58"E a distance of 63.36 feet to a point for corner;

THENCE N64° 13' 50"E a distance of 80.76 feet to a point for corner;

THENCE N44° 42' 52"E a distance of 63.36 feet to a point for corner;

THENCE N34° 52' 29"E a distance of 23.38 feet to a point for corner being the most westerly corner of said Lot 4, GREENBRIAR SECTION FIVE;

THENCE S48° 00' 34"E with the southwestern line said Lot 4 GREENBRIAR SECTION FIVE, a distance of 740.57 feet to the point of beginning and containing 7.704 acres of land.

PROJECT BENCHMARK: HCS MONUMENT E459 (4W1002) ELEVATION=26.02' NAVD83(1991 RELEVING ADJUSTMENT)

FLOODPLAIN STATEMENT: THIS PROPERTY IS LOCATED PARTIALLY IN ZONE "AE", ZONE "X" SHADED, AND ZONE "X" UNSHADED ACCORDING TO FEMA FIRM #84660002E, EFFECTIVE 09/22/1999.

Final PLAT OF FLYING LEAF ESTATES

-A REPLAT TO CREATE 2 LOTS-

BEING A REPLAT OF 7.704 ACRES OUT OF LOTS 2 AND 4, BLOCK B, CENTRAL PARK SUBDIVISION, VOL. 105, PG. 151, G.C.M.R.

GALVESTON COUNTY, TEXAS
1 BLOCK, 2 LOTS

OWNER:

EDDIE AND PAMELA A. HABIB
901 TIMBER CREEK COURT
FRIENDSWOOD, TX 77546
281-380-9393

SURVEYOR:

CORNERSTONE SURVEY GROUP, LLC
907 S. FRIENDSWOOD DRIVE, SUITE 203
FRIENDSWOOD, TEXAS 77546
281-993-3777

DRAWING INFORMATION

JOB NO. 18-0078
CLIENT: EDDIE & PAMELA A. HABIB
DRAWN BY: AJT
BEARING BASE: TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE 4204, NAD 83
DATE SUBMITTED: 8/17/2018
Cornerstone
SURVEY GROUP
907 S. Friendswood Dr., Suite 203
Friendswood, TX 77546
TBLPLS FIRM # 10194306

Shadowbend Office Park Site Plan – 103 and 105 E. Shadowbend

Two commercial lease buildings

1. Compliance memo
2. Cover sheet Building A
3. Cover sheet Building B
4. Overall site plan
5. Landscape plan
6. Building elevations Building A
7. Building elevations Building B
8. Colored rendering
9. Photometric plan

Memo

To: Planning and Zoning Commission

From: Becky Summers, Development Coordinator

Date: September 17, 2018

Re: Shadowbend Office Park
Commercial Site Plan

Project Description: Two commercial lease buildings to be located at 103 and 105 E. Shadowbend, on the corner of S. Friendswood Drive and East Shadowbend.

The plan has been reviewed by staff in the following departments: Planning, Public Works/Engineering, Fire Marshal, and Police Department. The proposed project appears to be in compliance with current City codes with the following exceptions:

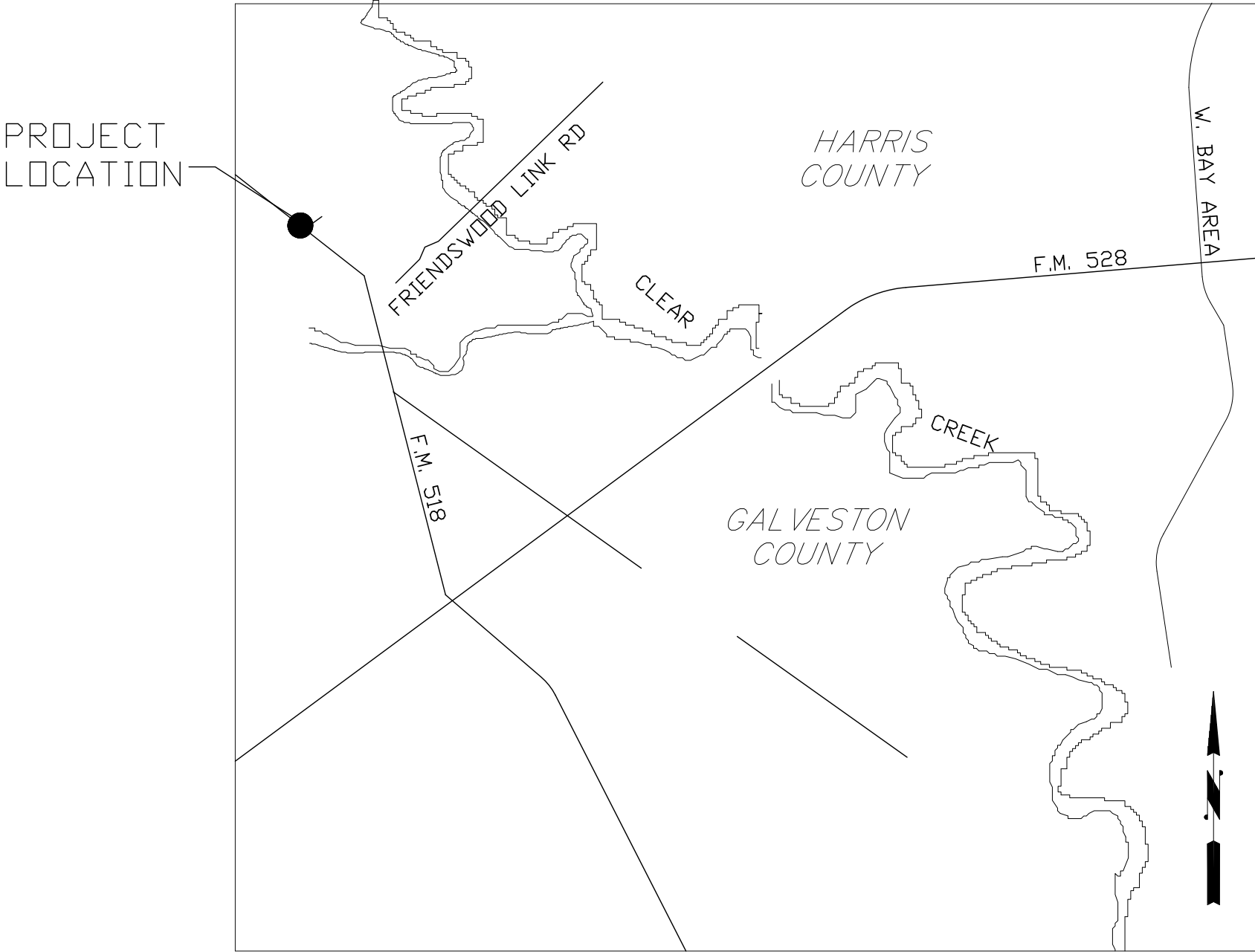
- 1) Sheet L-1: Impervious Cover by Lot calculations incorrect.

The plan is subject to review and approval by the Planning and Zoning Commission.

CITY OF FRIENDSWOOD

103 EAST SHADOWBEND AVENUE
FRIENDSWOOD TX. 77546

PROJECT
BUILDING OFFICE A - LEASE SPACE



VICINITY MAP
SCALE: 1" = 1/2 MI.
KEY MAP NO. 411-S

ZQ DESIGNS
1506 WINDINGWAY DRIVE SUITE 301
FRIENDSWOOD TX 77546

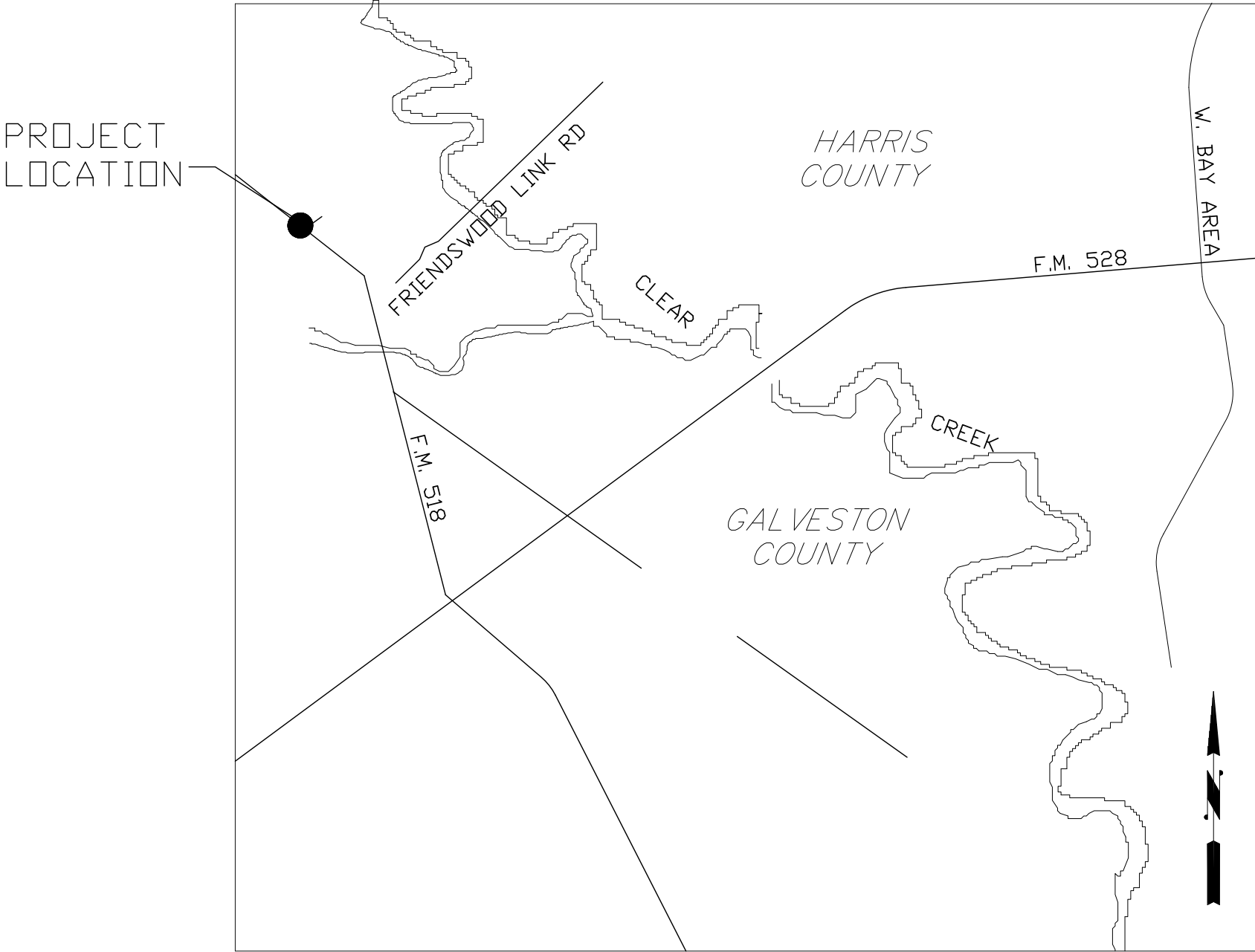
APPROVAL OF THE SITE PLAN WILL EXPIRE ONE YEAR AFTER THE APPROVAL OF THE SITE PLAN BY THE COMMISSION. UPON EXPIRATION OF THAT TIME, THE APPLICANT MUST RESUBMIT A SITE PLAN THAT CONFORMS TO CURRENT ORDINANCES. PROVIDED, HOWEVER, THE APPLICANT MAY REQUEST AN EXTENSION IN WRITING, WHICH MAY BE GRANTED BY THE COMMISSION, FOR A PERIOD NOT TO EXCEED A TOTAL OF SIX (6) MONTHS.

THIS PROPERTY IS LOCATED IN THE DOWNTOWN DISTRICT (DD) AND SHALL COMPLY WITH THE ZONING REQUIREMENTS OF THAT DISTRICT."

CITY OF FRIENDSWOOD

105 EAST SHADOWBEND AVENUE
FRIENDSWOOD TX. 77546

PROJECT
BUILDING OFFICE B - LEASE SPACE



VICINITY MAP
SCALE: 1" = 1/2 MI.
KEY MAP NO. 411-S

ZQ DESIGNS
1506 WINDINGWAY DRIVE SUITE 301
FRIENDSWOOD TX 77546

APPROVAL OF THE SITE PLAN WILL EXPIRE ONE YEAR AFTER THE APPROVAL OF THE SITE PLAN BY THE COMMISSION. UPON EXPIRATION OF THAT TIME, THE APPLICANT MUST RESUBMIT A SITE PLAN THAT CONFORMS TO CURRENT ORDINANCES. PROVIDED, HOWEVER, THE APPLICANT MAY REQUEST AN EXTENSION IN WRITING, WHICH MAY BE GRANTED BY THE COMMISSION, FOR A PERIOD NOT TO EXCEED A TOTAL OF SIX (6) MONTHS.

THIS PROPERTY IS LOCATED IN THE DOWNTOWN DISTRICT (DD) AND SHALL COMPLY WITH THE ZONING REQUIREMENTS OF THAT DISTRICT."

1. SITE CLEARING: REMOVE ALL TRASH, RUBBISH, SHRUBS, TREES AND STUMPS FROM ENTIRE LOT UNLESS NOTED OTHERWISE ON SITE PLAN, TO 6" BELOW FINISH GRADE MINIMUM. IN AREAS TO BE OCCUPIED BY IMPROVEMENTS GREATER THAN 6", STUMPS SHALL BE ENTIRELY REMOVED.

PROTECT AGAINST DAMAGE TO ANY LAWNS, SHRUBS, TREES, ROADS, WALKS
AND OTHER WORK THAT IS TO REMAIN IN PLACE.

3. STORM SEWERS: WHERE A STORM WATER DRAINAGE SYSTEM IS REQUIRED, THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE SYSTEM AS REQUIRED BY LOCAL CODE, OR AS SHOWN ON THE DRAWINGS.

5. ACCESSIBLE ROUTE: NO RISE GREATER THAN $\frac{1}{2}$ " INCH ALLOWED. SLOPE SHALL BE LESS THAN 1:20 (5%) WITH A 6-0 BY 6-0 FLAT AREA LOCATED OUTSIDE THE ENTRANCE DOOR. HANDICAPPED PARKING SHALL BE LEVEL (NO SLOPE). IF AN ACCESSIBLE ROUTE HAS A RUNNING SLOPE GREATER THAN 1:20 THEN IT IS A RAMP & MUST COMPLY ACCORDINGLY.

7. RAMPS: THE LEAST POSSIBLE SLOPE SHALL BE USED FOR AND RAMP. THE MAXIMUM SLOPE OF THE RAMP SHALL BE 1:12 WITH A MAXIMUM RISE FOR ANY RUN OF 30 INCHES. THE MINIMUM CLEAR WIDTH OF A RAMP SHALL 44 INCHES UNO WITH A LANDING LENGTH OF 60 INCHES CLEAR AT THE TOP AND BOTTOM OF RAMP.

9. FIRELANE: EACH FIRE LANE SHALL BE CONTINUOUSLY MARKED WITH RED PAINT, EITHER ON THE CURB OR, WHERE THE CURBS ARE NOT PRESENT, WITH A CONTINUOUS LINE NOT LESS THAN FOUR INCHES WIDE. ON THE RED PAINTED SURFACES, THE WORDING "FIRE LANE- NO PARKING" IN WHITE LETTERS THREE INCHES HIGH SHALL BE CONSPICUOUSLY AND LEGIBLY MARKED AND APPLIED AT EACH END AND AT LEAST EVERY 25 FEET.



1 HANDICAP/ 25 STANDARD SPACES REQUIRED



SOUTH FRIENDSWOOD DR
(FM 518)
(80' R.O.W.)

Ezequiel Sosa
Owner/Designer
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Email: zqdesigns@gmail.com
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Bldg 104 Suite 303
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RESIDENTIAL CONSTRUCTION
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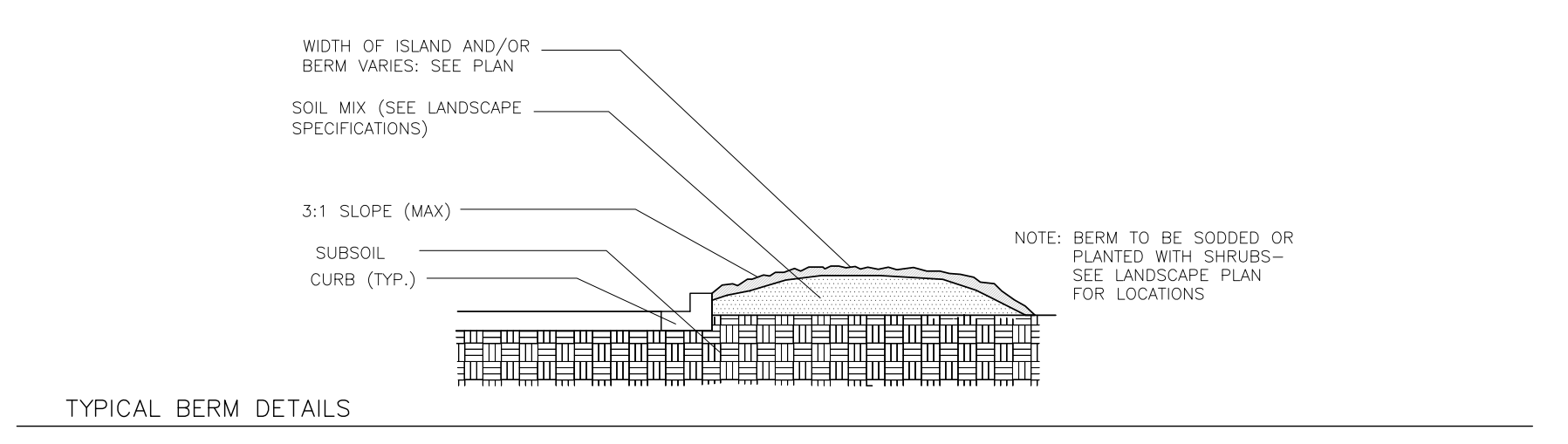
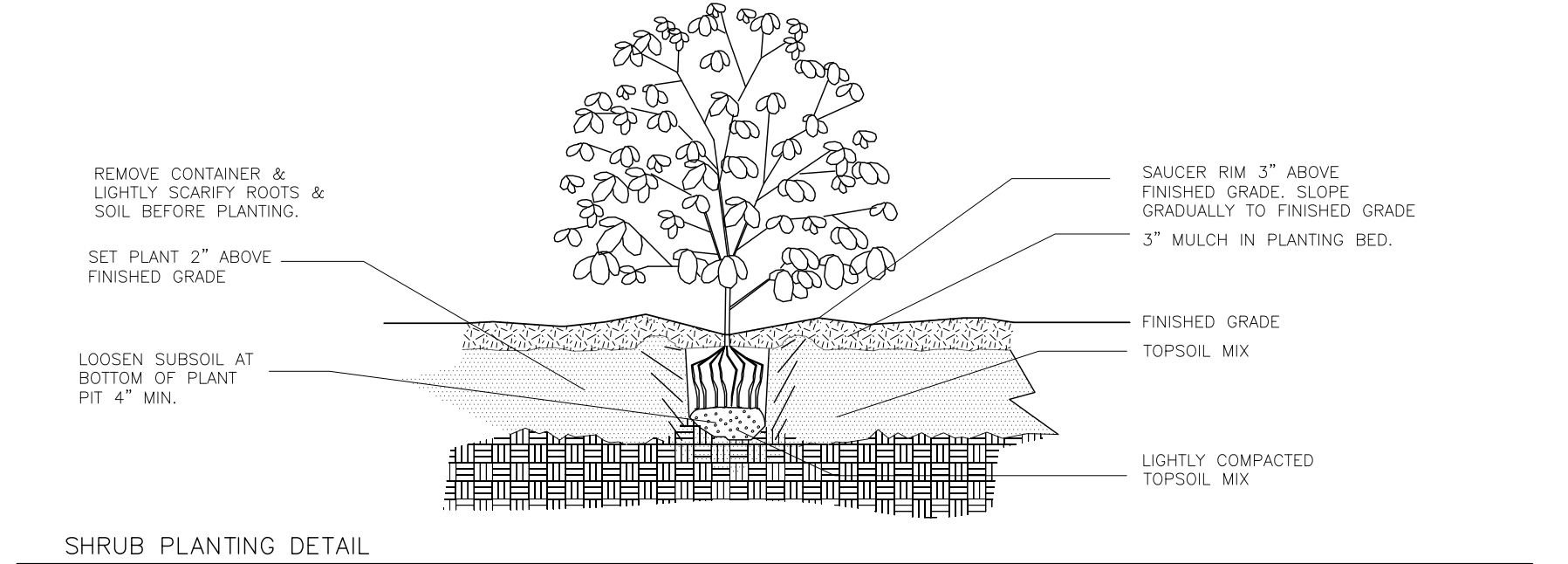
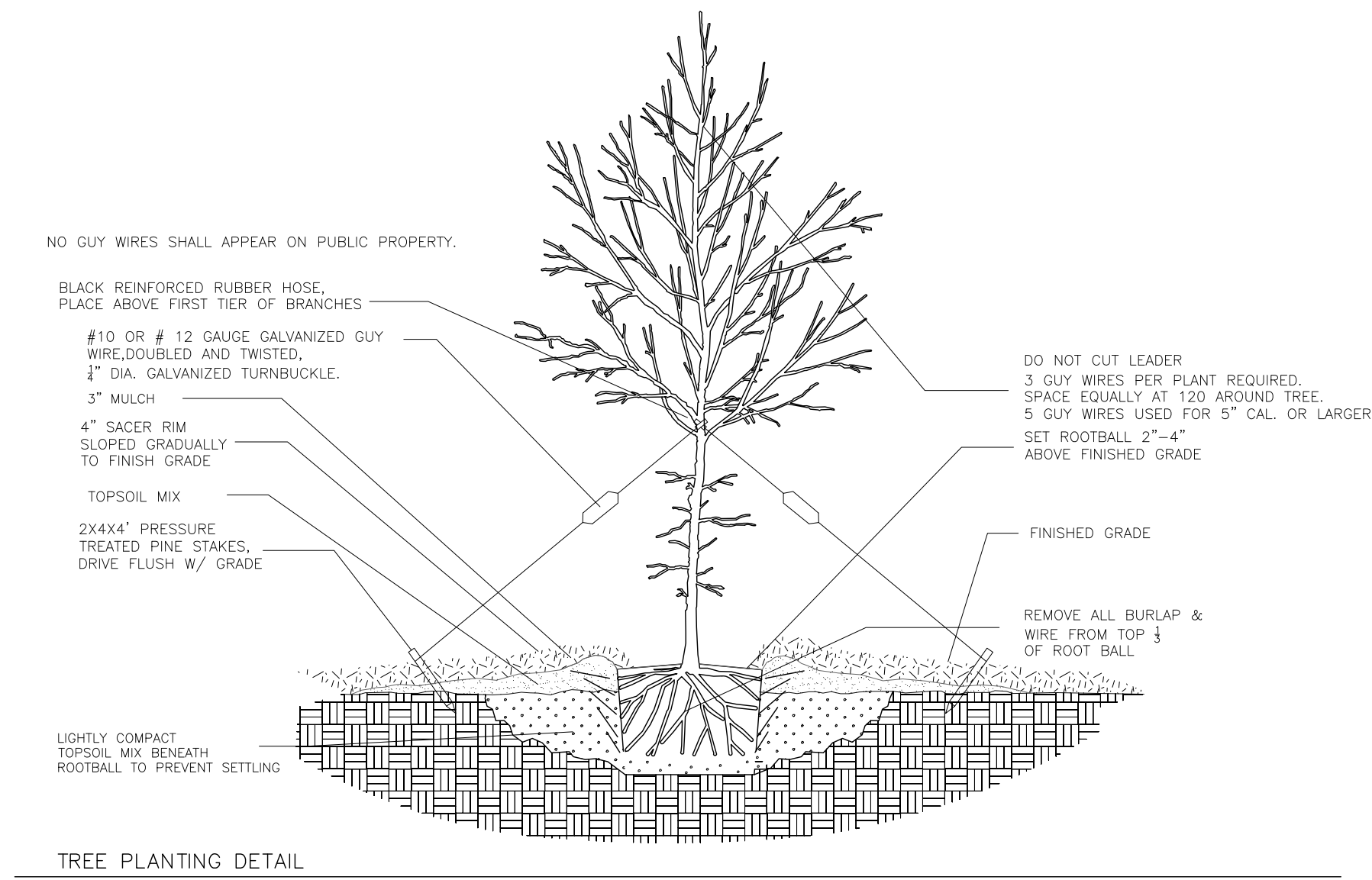
PROJECT NAME & ADDRESS:

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DRAWN BY:	ZQSOSA
DATE:	05/10/2018
SCALE:	1"=20'-0"
SHEET :	

A-0

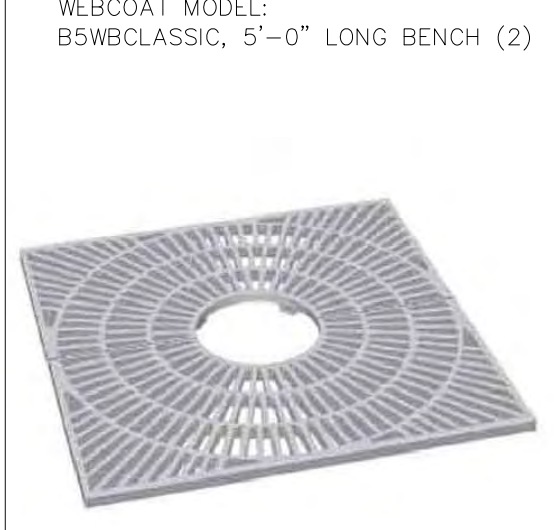
REFERENCE BUILDING CODES TO 2012



LANDSCAPE TABLE - DOWNTOWN DISTRICT			
LARGE PARKING LOT (MORE THAN 20 CARS)			
TOTAL AREA OF PARKING & DRIVEWAYS (AREA)	13,718 X 10 =	1,372	LANDSCAPE AREA REQUIRED
		1,715	LANDSCAPE AREA PROVIDED
REQUIRED LANDSCAPING 1,372 MULTIPLIED BY .50 = 686 LANDSCAPE AREA IN ISLANDS REQUIRED			
		1,765	LANDSCAPE AREA IN ISLANDS PROVIDED
AND PERIMETER LANDSCAPING: 1 TREE PER 40 LINEAR FEET FOR PROPERTY LINES NOT REQUIRING A LANDSCAPE BUFFER			
PERIMETER TREES REQUIRED	11	93x346 = 439/40x10.9 = 11	RED
PERIMETER TREES PROVIDED:	11		
AND LANDSCAPING BUFFERS (ALONG ROWS)			
BUFFER WIDTH: MINIMUM 15 FT			
REQUIRES 1 TREE PLANTED EVERY 25 LINEAR FEET; MINIMUM 2" CALIPER TREE MEASURE 18" INCHES ABOVE NATURAL			
ON FM 2351 AND FM518 - PARKWAY 15FT, (8" BRICK PAVED SW +7" LANDSCAPING SPACE)		93.0/25=3.7 = 4	PROVIDED
- MINIMUM 2 DECORATIVE STREET LIGHTS PER DESIGN CRITERIA MANUAL			
- MINIMUM 2 DECORATIVE STREET BENCHES PER DESIGN CRITERIA MANUAL			
- TREE REQUIRED EVERY 25 LINEAR FEET; CLASS 2 OR 3 TREES; HALF OF THE REQUIRED TREE SHALL BE MINIMUM 4-INCH CALIPER; HALF OF THE REQUIRED TREE SHALL BE MINIMUM 2-INCH CALIPER			
ON ADJACENT SIDE STREETS - LANDSCAPING PARKWAY 10FT (MIN 6FT CONCRETE SIDEWALK)			
- TREE REQUIRED EVERY 25 LINEAR FEET; CLASS 2 OR 3 TREE; REQUIRED TREES SHALL BE MINIMUM 2-IN CALIPER		346.0-24=24=298/25=12 = 12	TREES PROVIDED

PLANT SCHEDULE			
SYMBOL	QTY.	SCIENTIFIC NAME	COMMON NAME
	24	ILEX OPACA	(AMERICAN HOLLY)
	5	RUNUS MEXICANA	(MEXICAN PLUM)
NOTE: NO EXISTING TREES ON SITE			
HALF THE PARKWAY TREES TO BE 4" CALIPER			
PERIMETER AND ISLAND TREES TO BE CLASS 1 OR 2			

IMPERVIOUS COVER BY LOT	
32,147	TOTAL PROPERTY
10,000	BLDG SQ.FT.
13,718	PARKING & DRIVEWAY
8,429	LANDSCAPING



PLANTING:
SCOPE OF WORK
 THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SCRUBBING, SOIL PREPARATION FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.

MATERIALS
 (A) GENERAL-ALL MATERIALS SHALL BE BEST OF ITS KIND AVAILABLE. DO NOT BEGIN SOIL PREPARATION AND PLANTING UNTIL IRRIGATION WORK AROUND PLANTING AREAS ARE COMPLETE AND APPROVED.
 (B) PLANTS-ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO THE STATE OF TEXAS GRADING CODE OF NURSERY STOCK AND BE OF NUMBER ONE GRADE.
 (C) VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.

FERTILIZER AND SOIL CONDITIONERS
 (A) REDWOOD SHAVINGS-SHALL BE NITROGEN STABILIZED REDWOOD SHAVINGS (0.5% NITROGEN, DRY BASE).
 (B) ORGANIC FERTILIZER-SHALL BE PROCESSED SEWER SLUDGE WITH MINIMUM CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO NITROHUMUS.
 (C) ORGANIC FERTILIZER AND SOIL CONDITIONER-SHALL BE GRO-POWER AND ORGANIC BASE MATERIALS COMPROMISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY, ANIMAL OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1) NITROGEN 5%, PHOSPHATE 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.

GENERAL WORK PROCEDURES
 LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING.

WEEDING
 BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING. ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.

POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 (A) PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH WIDTH TWICE THE DIAMETER OF ROOT BALL AND 6" DEEPER THAN THE LENGTH OF ROOT BALL. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING: PREPARED SOIL MIXED THOROUGHLY: 2 PARTS NITROLIZED REDWOOD SHAVINGS BY VOLUME 1 PART NITRO HUMUS BY VOLUME 3 PARTS EXCAVATED SOIL BY VOLUME 21 GRAM AGRFORM PLANTING TABLETS AS FOLLOWS:
 2 TABLETS PER 1 GAL. PLANT
 3 TABLETS PER 5 GAL. PLANT
 4 TABLETS PER 15 GAL. PLANT
 LARGER PLANTS (2) TWO TABLETS PER 3" DIAM. TRUNK CALIPER
 (B) PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY. INSERT PLANT TABLETS. COMPLETE AND WATER THOROUGHLY.
 (C) ALL PLANTS SHOULD BE SET SO THAT, WHEN SETTLED, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING PLANTED.
 (D) IMMEDIATELY AFTER PLANTING STAKE ALL TREES TO PREVENT DAMAGE FROM WIND (LODGE-POLE STAKES LENGTH AS REQUIRED). FASTEN TREES TO UPPER-END OF STAKE IN AT LEAST TWO (2) PLACES USING HOSE TYPE TIES.
 (E) PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH PLANT.
 (F) WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH A MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 (G) BEFORE GROUND COVER PLANTING, REMOVE EARTH TO FINISH GRADE AND DISPOSE OF EXCESS SOIL.

SOIL CONDITIONING
 CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1000 SQ FT: 4 CUBIC YARDS OF NEUTRALIZED REDWOOD SHAVINGS 150 POUNDS GRO-POWER 100 POUNDS AGRICULTURAL GYPSUM 20 POUNDS NITROFORM (COARSE) 30-0-0-0 BLUE CHIP GROUND COVER
 (A) ALL GROUND COVER AREAS SHALL RECIEVE A 3/4" LAYER OF NITROHUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
 (B) SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS
 (C) IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOUROUGHLY WATER GROUND COVER.
 (D) ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

FINISH GRADING
 (A) ALL AREAS WILL BE RECIEVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
 (B) ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
 (C) ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.

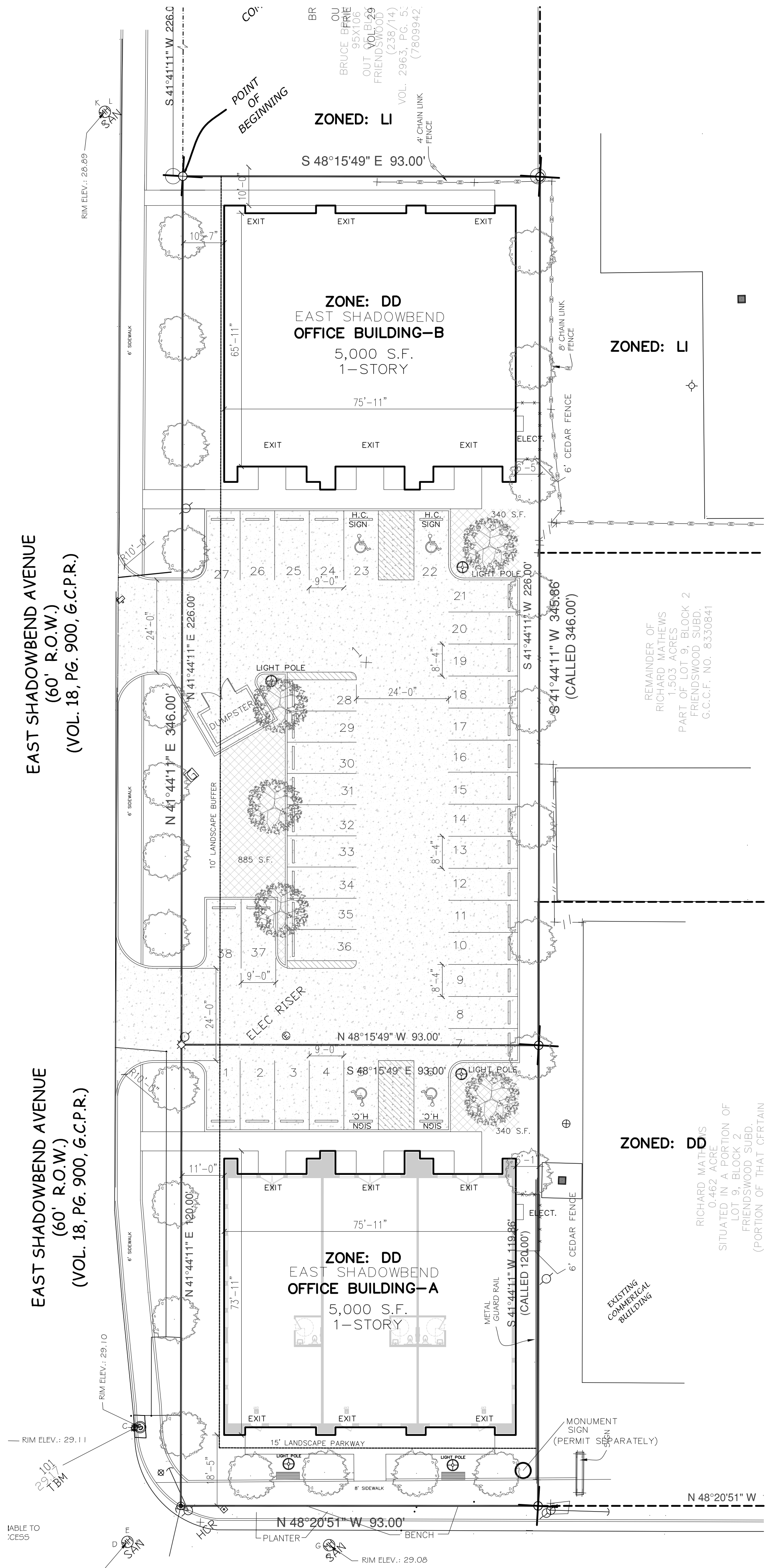
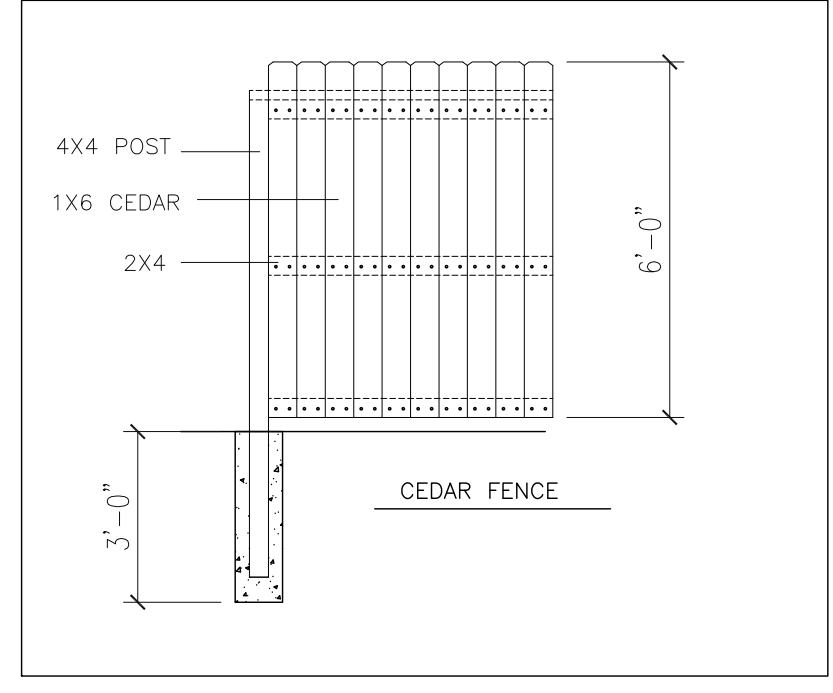
EDGING
 PROVIDE RYERSON STEEL EDGE BETWEEN ALL PLANTING AND/OR ROCK BED AREAS AND GRASS AREAS UNLESS NOTED OTHERWISE ON PLANS.

GUARANTEE
 (A) CONTRACTOR SHALL GUARANTEE ALL 15 GALLON PLANTS AND LARGER FOR A PERIOD OF ONE (1) YEAR
 (B) CONTRACTOR SHALL GUARANTEE ALL OTHER MATERIAL FOR A PERIOD OF 9 DAYS.

CLEANUP
 (A) UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE THE OWNER'S AUTHORIZED REPRESENTATIVE.

MAINTENANCE (ALTERNATE BID)
 COST PER MONTH AFTER INITIAL 90 DAY MAINTENANCE PERIOD.

5 GAL & LARGER	36" OC UNO
3 TO 5 GAL	30" OC UNO
2 & 3 GAL	24" OC UNO
1 GAL	18" OC UNO



SOUTH FRIENDSWOOD DR
(FM 518)
(80' R.O.W.)

REFERENCE BUILDING CODES TO 2012

ISSUE LOG			
NO	DATE	DESCRIPTION FOR	FINAL PLANS
1	9-10-2018		

Ezequiel Sosa
 Owner/Designer
 Direct: (832) 282-1038
 Email: zsd@zsd.com
 1506 Winding Way Drive
 Bldg 104, Suite 303
 Friendswood, Texas 77546
 www.zsdengineers.net

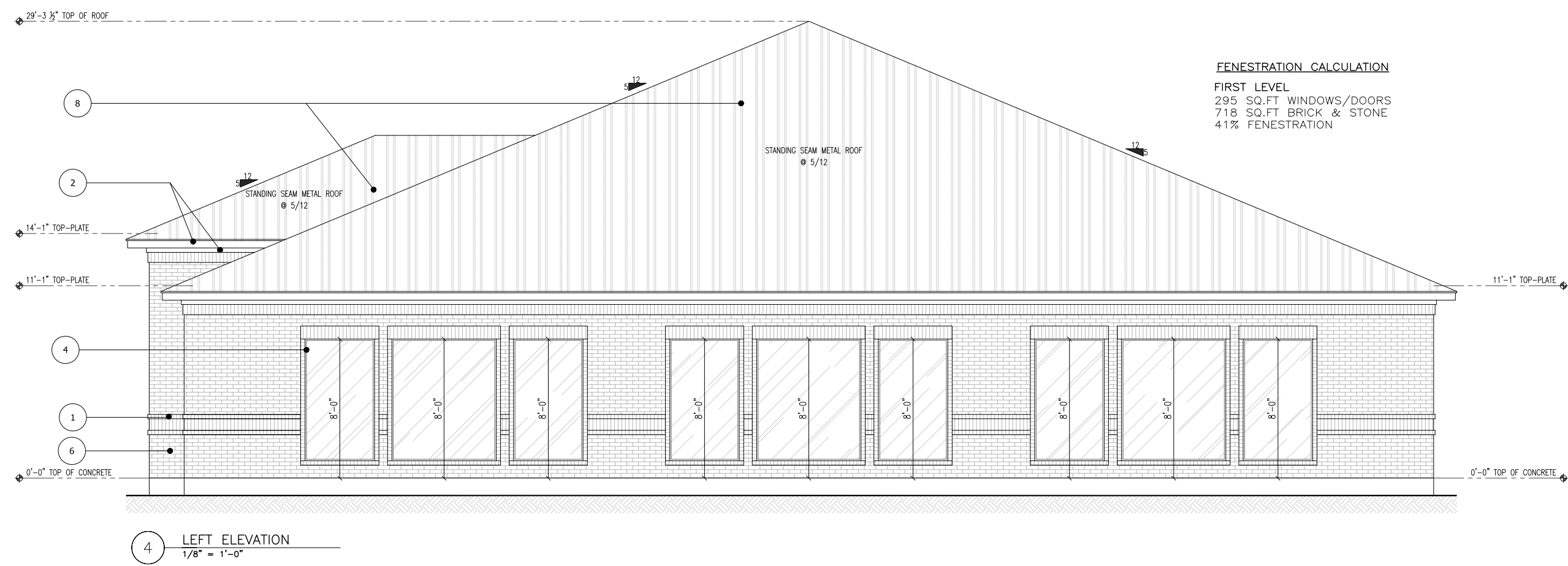
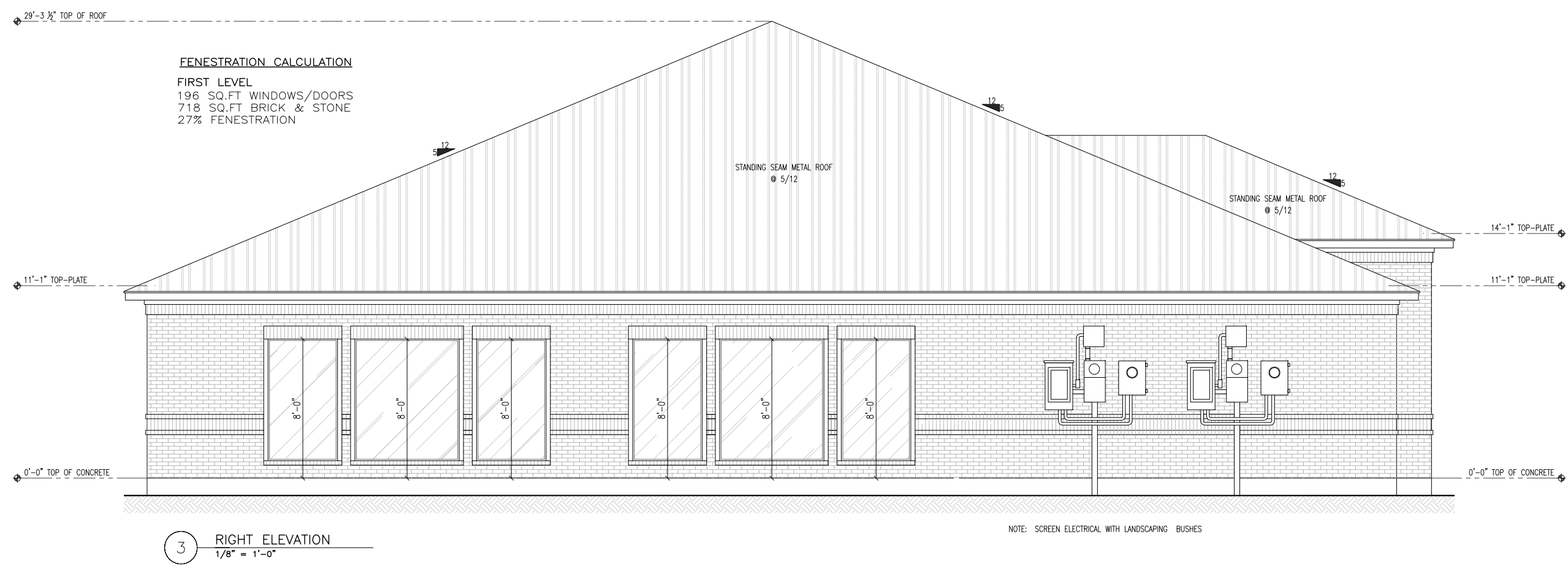
Zq Designs
 RESIDENTIAL CONSTRUCTION
 DESIGN ■ BUILD ■ REMODEL

PROJECT NAME & ADDRESS:
BERKENMEIER
OFFICE BUILDING-A
103 EAST SHADOWBEND AVE.
FRIENDSWOOD, TX 77546

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DRAWN BY:	ZQSOSA
DATE:	05/10/2018
SCALE:	1"=20'-0"
SHEET :	

L-1



EXTERIOR MATERIAL & FINISH SCHEDULE (X)	
ID	DESCRIPTION
1.	BRICK COLOR #1
2.	CORNICE/ SOFFIT COLOR #2
3.	CORBELS COLOR #3
4.	ALUM STOREFRONT SYSTEM
5.	HOLLOW METAL DOOR. PAINT COLOR BLACK
6.	CULTURE STONE COLOR#4
7.	PRE-FINISHED ALUMINUM
8.	STAINLESS SEAM METAL ROOF - BRONZE

PAINT COLOR SCHEDULE	
ID	DESCRIPTION
1.	BRICK COLOR: JEFFERS BLEND
2.	SHERMAN WILLIAMS - BAGUETTE SW6123
3.	SHERMAN WILLIAMS - CAMELBACK SW6122
4.	STONE COLOR: TUSCANY CREAM

ELEVATIONS NOTES:

A. MECHANICAL EQUIPMENT SUCH AS ROOF TOP, EQUIPMENT, COMPRESSORS, REFRIGERATION UNITS, TRASH ENCLOSURES, AND OTHER NON-PUBLIC SERVICE AREA SHALL BE SCREENED TO A HEIGHT SUFFICIENT TO COMPLETE SCREEN THE USE FROM VIEW AT GROUND LEVEL. (APPENDIX C ZONING ORDINANCE SECTION 8.N.5.)

ISSUE LOG		DESCRIPTION FOR
NO	DATE	FINAL PLANS
1	9-10-2018	

Ezequiel Sosa
Owner/Designer
Direct: (832) 282-1038
Email: zqdesigns@gmail.com
1506 Winding Way Drive
Bldg 104 Suite 303
Friendswood Texas 77546
www.zqdesigns.net

Zq Designs

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PROJECT NAME & ADDRESS:

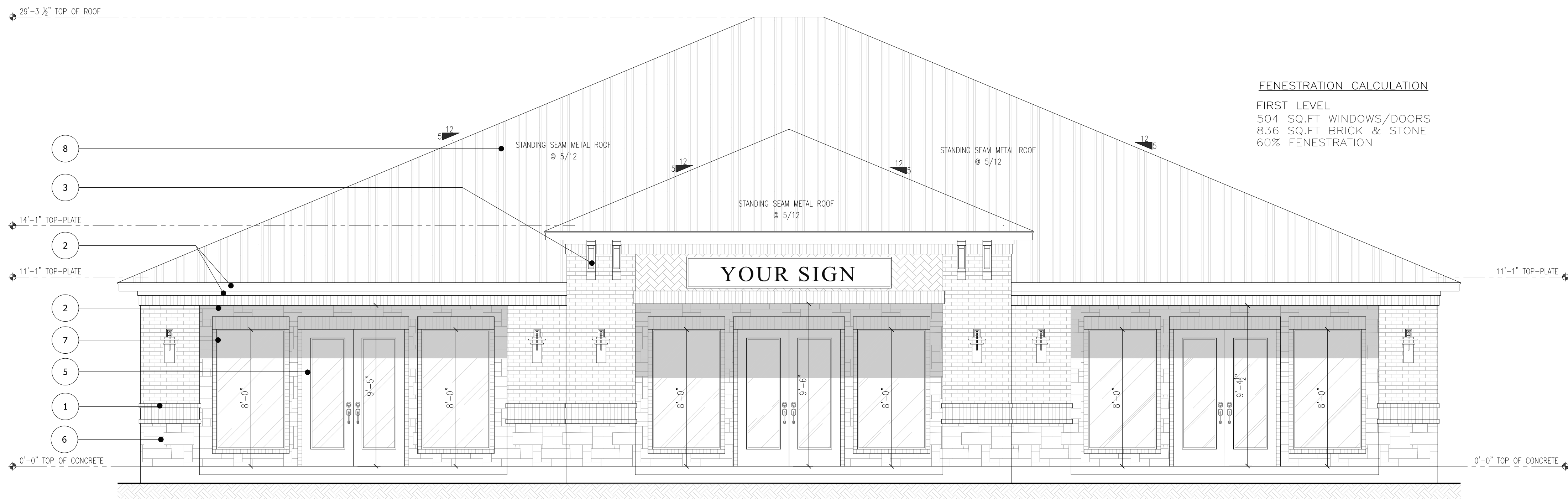
**BERKENMEIER
OFFICE BUILDING-A**

103 EAST SHADOWBEND AVE.
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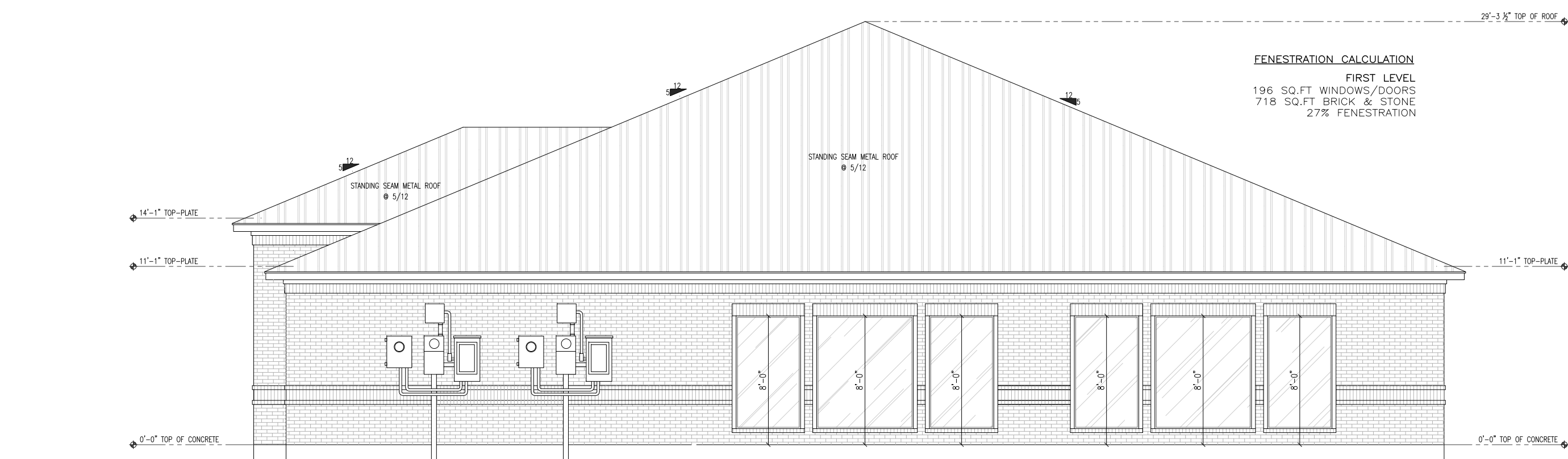
A-2



1 FRONT ELEVATION
1/4" = 1'-0"

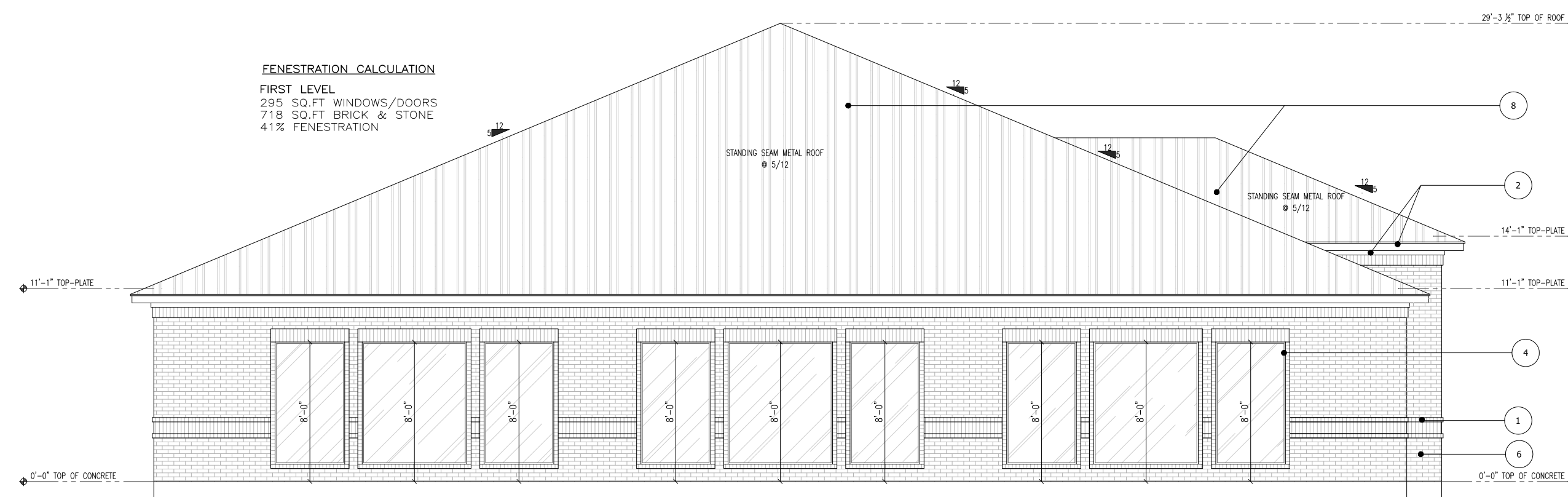


2 REAR ELEVATION
1/4" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"

NOTE: SCREEN ELECTRICAL WITH LANDSCAPING BUSHES



4 LEFT ELEVATION
1/8" = 1'-0"

FENESTRATION CALCULATION
FIRST LEVEL
504 SQ.FT WINDOWS/DOORS
836 SQ.FT BRICK & STONE
60% FENESTRATION

FENESTRATION CALCULATION
FIRST LEVEL
513 SQ.FT WINDOWS/DOORS
758 SQ.FT BRICK & STONE
67% FENESTRATION

FENESTRATION CALCULATION
FIRST LEVEL
196 SQ.FT WINDOWS/DOORS
718 SQ.FT BRICK & STONE
27% FENESTRATION

FENESTRATION CALCULATION
FIRST LEVEL
295 SQ.FT WINDOWS/DOORS
718 SQ.FT BRICK & STONE
41% FENESTRATION

EXTERIOR MATERIAL & FINISH SCHEDULE (X)	
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ISSUE LOG		DESCRIPTION FOR	
NO	DATE		

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Owner/Designer
Direct: (832) 282-1038
Email: zqdesigns@gmail.com
1506 Winding Way Drive
Bldg 104 Suite 303
Friendswood Texas 77546
www.zqdesigns.net

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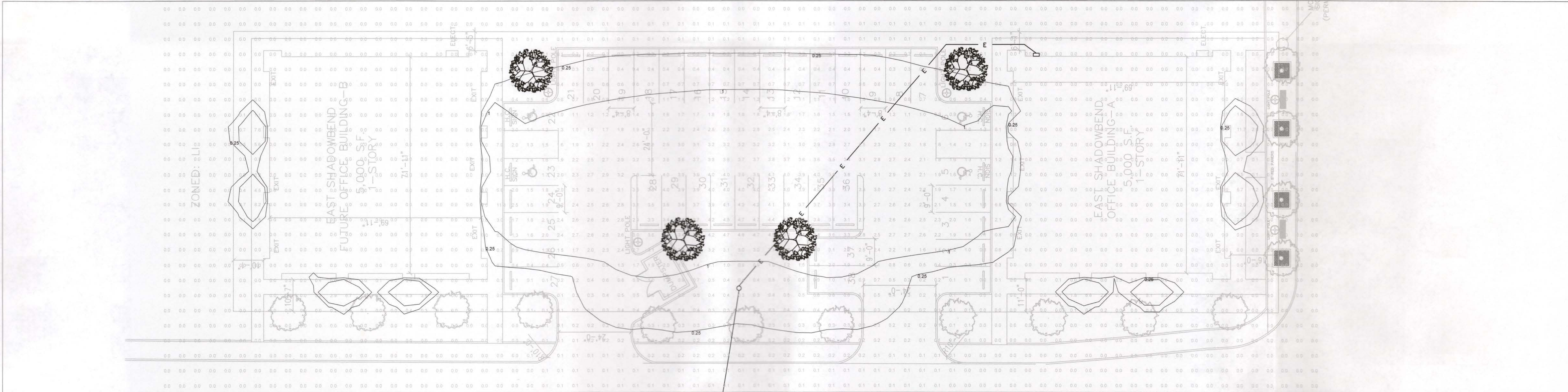
PROJECT NAME & ADDRESS:
**BERKENMEIER
OFFICE BUILDING - B**
105 EAST SHADOWBEND AVE.
FRIENDSWOOD, TX 77546

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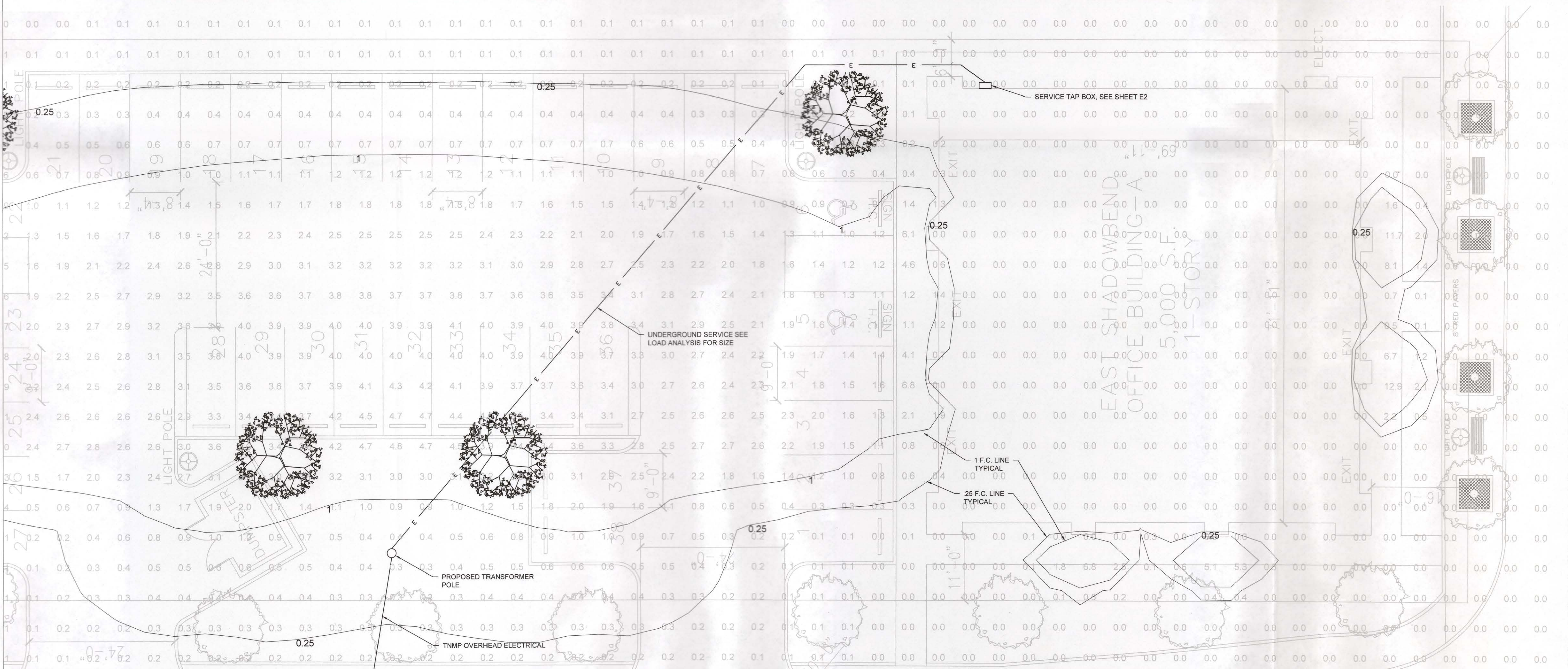
A-2





OVERALL SITE PLAN

1/8" = 1'-0" 2



ENLARGED SITE PLAN - BUILDING A

1/8" = 1'-0" 1

Office Building A
105 E. Shadowbend
Friendswood, TX

M
McDONALD
ELECTRIC
CONTRACTORS - ENGINEERS

5044 TIMBER CREEK
HOUSTON, TX 77017
(713) 921-1368 PH.
(713) 921-5109 FAX

STATE OF TEXAS
ROBERT B. HIBBERT
160228
ELECTRIC ENGINEER
4/16/18
McDonald Electric, Inc.
Firm Registration No. F-548

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