



**CITY OF FRIENDSWOOD
PLANNING AND ZONING COMMISSION
THURSDAY, MAY 14, 2020 - 7:00 PM**

AGENDA

NOTICE IS HEREBY GIVEN OF A FRIENDSWOOD REGULAR MEETING TO BE HELD AT 910 S. FRIENDSWOOD DRIVE, FRIENDSWOOD, TEXAS, FRIENDSWOOD CITY HALL, COUNCIL CHAMBERS, REGARDING THE ITEMS OF BUSINESS ACCORDING TO THE AGENDA LISTED BELOW:

1. Call to order

2. Communication from the public/committee liaisons

(To comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects be placed on a later regular Commission agenda for discussion and/or possible action)

3. Consent Agenda

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner so requests in which case the item would be removed from the consent agenda and considered separately.

A. Minutes for the regular meeting held Thursday, April 23, 2020

B. TBH Holding Group LLC Final Plat

4. Action Items

According to the Planning and Zoning Rules of Procedure (R2019-15), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

A. Consideration and possible action regarding proposed amendments to the site plan for the building located at 1765 S. Friendswood Drive, also known as Virgata Commons, Building A

B. Consideration and possible action regarding the site plan for Friendswood Retail Shell Building to be located at 1720 S. Friendswood Drive.

C. Consideration and possible action regarding the Partial Preliminary Plat of Avalon at Friendswood Section One, a private subdivision being 68.101 acres of land out of the Mary Fabreau Survey A-69 City of Friendswood, Galveston County, Texas

- D. Consideration and possible action regarding the Preliminary Plat First Baptist Church No. 2, a Subdivision of 9.49 acres of land situated in the S. McKissick Survey, Abstract No. 151, being a replat of all of Lot 1 in Block 1 and all of Lot 1 in Block 2 of Final Plat of First Baptist Church of Friendswood, and being portions of the residue of Lot 1 and Lot 2 in Block 2 of Friendswood Subdivision, including an unrecorded portion of East Heritage Drive, as recorded in Volume 254, Page 37 of the Galveston County Deed Records, and transferred to Plat Record 7, Page 20 of the Galveston County Map Records, and Lot 1 of Harper Subdivision, an unrecorded subdivision all in Friendswood, Galveston County, Texas
 - E. Consideration and possible action regarding a recommendation to City Council regarding amendments to the Planning and Zoning Rules of Procedure (2019-15) to remove the 90 day limit on denied agenda items
- 5. Consideration and possible action regarding future Planning and Zoning Commission meeting dates**
- A. Regular meeting - Thursday, May 28, 2020
Regular meeting - Thursday, June 11, 2020
- 6. Communications**
- A. From Commissioners - suggestions for future agenda items, general comments and/or updates from liaison assignments
 - B. From Planning Subcommittee – update on tasks
 - C. From Ordinance Subcommittee – update on tasks
 - D. From City Council Liaison, Trish Hanks - general comments and communication from City Council
 - E. From Staff - March/April DRC Report, commercial and residential project updates, City Council action and ordinance updates
- 7. Adjournment**



Aubrey Harbin, LEED AP
Director of Community Development/City Planning

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive service must be made **two (2)** business days or more prior to this meeting. Please contact the City Secretary's Office at (281) 996-3270 for further information.

**I, MELINDA WELSH, CITY SECRETARY OF THE CITY OF FRIENDSWOOD DO
HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE
FRIENDSWOOD PLANNING AND ZONING WAS POSTED IN A PLACE
CONVENIENT TO THE GENERAL PUBLIC IN COMPLIANCE WITH CHAPTER 551,
TEXAS GOVERNMENT CODE, ON**

DATE

AT TIME

MELINDA WELSH, TRMC
CITY SECRETARY

All meetings of the Planning & Zoning Commission are open to the public, except when there is a necessity to meet in an Executive Session (closed to the public) under the provisions of Section 551, Texas Government Code. The Planning & Zoning Commission reserves the right to convene into Executive Session to hear any of the above described agenda items that qualifies for an executive session by publicly announcing the applicable section number of the Open Meetings Act.

1. Call to order

MINUTES OF A REGULAR MEETING OF THE FRIENDSWOOD PLANNING AND ZONING COMMISSION THAT WAS HELD ON THURSDAY, APRIL 23, 2020, AT 07:02 PM 910 S. FRIENDSWOOD DRIVE FRIENDSWOOD, TX 77546

COMMISSIONER RICHARD CLARK
CHAIRMAN JOE MATRANGA
COMMISSIONER BRETT BANFIELD
VICE-CHAIRMAN RICHARD SASSON
COMMISSIONER LISA LUNDQUIST
COMMISSIONER MARCUS PERRY
COUNCIL LIAISON TRISH HANKS - VIA PHONE
CITY ATTORNEY MARY KAY FISCHER
DIRECTOR OF CDD/PLANNER AUBREY HARBIN
DEVELOPMENT COORDINATOR BECKY BENNETT

Commissioner Eric Guenther - joined via video conference but lost connection.

2. Communication from the public/committee liaisons

(To comply with provisions of the Open Meetings Act, the Commission may not deliberate on subjects discussed under this agenda item. However, the Commission may direct such subjects be placed on a later regular Commission agenda for discussion and/or possible action)

NO COMMENTS.

3. Public Hearing

A. To receive comments, both oral and written, regarding:

A zone classification change to assign Single Family Residential (SFR) as the zoning district for .1738 acres of vacated right-of-way (request in process); and to allow a Specific Use Permit (SUP) for NAICS Use #8131 Religious Organizations as an overlay on the following properties: .1738 acres of vacated right-of-way (request in process) – Single Family Residential (SFR); 111 E. Heritage Drive, 2.983 acres - Downtown District (DD); 209 S. Friendswood Drive, 1.0528 acres – Downtown District (DD); 201 E. Heritage Drive, .4223 acres - Multi-Family Residential-Low Density (MFR-L); 204 and 206 E. Heritage Dr., .8151 acres, 208 E Heritage Drive. .8913 acres - Single Family Residential (SFR) , and to replace the Specific Use Permit on the property located at 202 E Heritage Drive, 2.98 acres - Single Family Residential/Specific Use Permit (SFR/SUP 2001-09) for Family Life Center

Harbin explained the First Baptist Church of Friendswood has acquired some additional properties and would like to expand and improve the campus. She said the goal for 209 S. Friendswood is to improve the building and increase parking. Harbin stated the property is zoned Downtown District and fronts FM 518. She said amenities such as brick paved sidewalks, benches, and lights would be incorporated. The proposed phasing is included in the backup material. Harbin explained all of the properties have different underlying zoning districts and the Specific Use Permit (SUP) would be an overlay to allow the use of Religious Organizations. Harbin said staff made some considerations for landscaping to preserve the existing trees and allow some of the required trees to be located on the residential lot. Single Family Residential zoning only requires one tree per lot while the sanctuary lot is zoned Downtown District and has large, existing trees that would not accommodate new trees every 25 feet. Harbin said the building height of the main sanctuary is 44' 8" with a proposed ornamental tower plus an ornamental cross that would stand 90-feet 10-inches. She said the zoning ordinance allows the commission to consider alternate heights.

Stephanie Kaup/Zeigler Cooper Architects said the church is eager to unite their campus with a SUP. She stated the design continues the character of the church as already established in Friendswood. Kaup said in regards to the two variances (height and landscaping), two corners of the sanctuary has very large trees that creates a park-like setting. Kaup explained the church tower is one block off FM 518 and the church leaders are interested in portraying a presence from the main street.

4. Consent Agenda

These items are considered routine or ministerial in nature and will be enacted with one motion. There will be no separate discussion of items unless a commissioner or citizen so requests in which case the item would be removed from the consent agenda and considered separately.

A. Minutes for the regular meeting held Thursday, March 26, 2020

****Vice-Chairman Richard Sasson moved to approve Minutes for the regular meeting held Thursday, March 26, 2020. Seconded by Commissioner Lisa Lundquist. The motion was approved unanimously.**

5. Discussion Items

A. Staff update regarding changes to Local Government Code Chapter 212, specifically House Bill 3167, which affects approvals and disapprovals of plats and plans

Harbin provided an update of the House Bill that went into effect September 1, 2019 regarding the approval process of plats and plans, as defined by Local Government Code. She explained House Bill (HB) 3167 changed the governing authority's options to either approve, conditionally approve, or disapprove with explanation. She said the bill also added standards for approval. Harbin explained to approve with conditions and to disapprove with explanation are a very similar process. She said both would allow the applicant to address the non-compliant items and resubmit for reconsideration by the commission. Harbin said there is no deadline for an applicant to make corrections but, once the plat/plan is resubmitted, the commission must consider the plat/plan within 15 days. She said it basically creates a loop. Harbin stated once a plat is filed with the city, it has to be on an agenda within 30 days. She said the applicant can request a waiver to that time frame, though. Harbin explained the old compliance memo sent to the commission would have a few items for the applicant to correct and staff would review those corrections before recording the plat. She explained the legislative changes now require the plat to be reconsidered by the commission once those items have been addressed. She said the state is trying to keep cities from arbitrarily denying plats.

Banfield commented that staff historically has not brought plats to the commission if they do not meet the minimum requirements. Harbin answer staff will no longer have that option and must put it on an agenda within 30 days of filing.

Perry clarified that if approved with conditions, the plat will have to come back to commission again. Harbin said yes and that these changes have actually created more red tape for an applicant.

Clark asked the difference between preliminary plat and a final plat. Harbin said a preliminary plat requires contours and to make sure the water and sewer will work. She said preliminary plats do not have signature blocks, either. She said final plats have to remove contours and add signature blocks. Harbin also mentioned that in between the preliminary and final plats is when construction plans are submitted with details on the specifics of the infrastructure.

6. Action Items

According to the Planning and Zoning Rules of Procedure (R2019-15), all action of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings.

- A. Consideration and possible action regarding a recommendation to City Council for the requested zone classification change to assign Single Family Residential (SFR) as the zoning district for .1738 acres of vacated right-of-way (request in process); and to allow a Specific Use Permit (SUP) for NAICS Use #8131 Religious Organizations as an overlay on the following properties: .1738 acres of vacated right-of-way (request in process) – Single Family Residential (SFR); 111 E. Heritage Drive, 2.983 acres - Downtown District (DD); 209 S. Friendswood Drive, 1.0528 acres – Downtown District (DD); 201 E. Heritage Drive, .4223 acres - Multi-Family Residential-Low Density (MFR-L); 204 and 206 E. Heritage Dr., .8151 acres, 208 E Heritage Drive. .8913 acres - Single Family Residential (SFR) , and to replace the Specific Use Permit on the property located at 202 E Heritage Drive, 2.98 acres - Single Family Residential/Specific Use Permit (SFR/SUP 2001-09) for Family Life Center

Sasson said he did not have any issues with the sanctuary lot relocating perimeter trees to keep the legacy trees. Harbin said they would be adding perimeter trees mainly to the East Heritage side since there are existing trees on the Shadowbend side. She further explained the church is installing the required number of trees but need to move them around the various lots.

Sasson said concerning the 90'10" height exemption, he was having an issue. He explained that the maximum height of 70-feet in the Downtown District is already higher than every other zoning district. He said the tallest church steeple in Friendswood is 54-feet and that 90-feet is too much.

Lunquist stated 209 S. Friendswood has been an eyesore for a while. Kaup said that building would be for administration, offices, and a community center with a large open area for events. She said the plan is to renovate the interior and reskin the building during a future phase. She said the facade would be stucco and stone to match the sanctuary.

Perry said he had no issues with the majority of the project except 209 S. Friendswood. He said the highest and best use for that property is mixed use, as it is located on the main street.

Banfield questioned the proposed phasing and timing. Kaup answered the plan would be phased as a 20-year plan. She said Phase 1A would be to expand the parking at 209 S. Friendswood Dr. The next phase, Phase 1B, would expand the church. Banfield said the overall plan looks great. He stated the 90-foot steeple did not bother him but using the corner lot at 209 S. Friendswood Dr. was causing some heartburn. Banfield said that was not the highest and best use for the Downtown District. He agreed to support the zone change, though. Clark said he has the same concerns. He said he is not too concerned with a 90-foot steeple but the administration building was not the best use. Clark said he would reluctantly support the project.

Matranga asked the architect why she would design a 90-foot steeple knowing the allowable height is 70-feet. Kaup answered they are not trying to change too much on the existing structure but want to create a presence. She said the building is set back one block and there are other buildings blocking the view. She said the tower and steeple are to create an identity. Kaup explained the height of the additions are in proportion, architecturally speaking.

Banfield said with a 20 year plan, things change. He asked what about the Dunn Bros. Coffee shop. Kaup said there are no proposed changes at this time.

Matranga said he was concerned with making an exception for height and setting a precedent. He said the city needs to treat all developments same and he thinks 70-feet is tall enough.

B. Consideration and possible action regarding the partial preliminary plat of Avalon at Friendswood Section One, a private subdivision, being 68.101 acres of land containing 50 lots and 18 reserve in 5 blocks, out of the Mary Fabreau Survey A-69 (along the future Friendswood Lakes Boulevard), City of Friendswood, Galveston County, Texas

**Commissioner Brett Banfield moved to approve the Consideration and possible action regarding the partial preliminary plat of Avalon at Friendswood Section One, a private subdivision, being 68.101 acres of land containing 50 lots and 18 reserve in 5 blocks, out of the Mary Fabreau Survey A-69 (along the future Friendswood Lakes Boulevard), City of Friendswood, Galveston County, Texas Seconded by Commissioner Marcus Perry.

Commissioner Banfield amended his motion to conditionally approve the plat subject to items identified on the compliance memo. The motion was seconded by Lundquist. The motion was approved 6-0 with None opposed.

Harbin reminded the Commission the city recently approved a planned unit development (PUD) for Avalon at Friendswood. She said Section 1 would contain 50 residential lots. Harbin said part of the PUD requirement was that the city would not record any plats until Friendswood Lakes Boulevard is built. She explained there have been a few hiccups in the road project and the city agreed not to hold up progress if the developer built a portion of the boulevard to access section 1. Harbin said the Fire Marshal is comfortable allowing 50 lots with this understanding. Harbin further explained many of the reserves will be re-platted to create additional lots once access is improved.

Harbin said moving forward with the plat will allow the developer to build streets and install water and sewer. Harbin said part of the plat review process requires preliminary plans for utilities and drainage. She said the provided plans depict the water lines dead ending at the city limit line. The Design Criteria Manual require water services to be looped and these plans do not meet that requirement. Harbin said negotiations between the developer and League City have not occurred at this point. She further said fire response, emergency medical services, trash pickup, and water billing are all proving to be confusing. The proposed master plan has no access from League City. Further more, Clear Creek ISD will not be relinquishing the property in League City.

Harbin explained the compliance memo includes some labeling corrections which is not a big deal. She said the remaining items are more substantial since the water line cannot dead end in excess of 500-feet. Harbin talked about the easements that are overlapping, explaining dry and wet utilities need to be separate.

Kathryn Parker/META Planning stated she prepared the plat and introduced Bobby Skinner of Taylor Morrison who is the director of development for Texas. Skinner said their engineers met with League City on Monday and have gained some traction but hesitate to share any more information. He said Taylor Morrison is extremely excited about the project and anxious to get started.

Banfield asked if the developer was up against a hard deadline because a preliminary plat seemed preliminary with so many things to iron out and engineering to do. Skinner said the original lot delivery anticipation was December-January. He said the schedule is sliding and has confidence from their management team in the Friendswood market.

Perry said the water loop and drainage issues cannot be solved quickly following a conditional approval of the plat. Harbin said it puts the ball in the developer's court to make the corrections.

Skinner said it was admittedly a challenging situation and he wished they could have met with League City a week or two sooner. He said he needs to do some homework.

Clark said he supported the development during the zone change but cannot approve the plat in its current condition. He will support either to approve with conditions or disapprove the plat.

Lunquist said the dead end line is a no go and they need to work out an interlocal agreement. Skinner said he will pull out all the stops but he is just not there yet.

Matranga asked if separating the easements was a big deal or little deal. Skinner said it is not an issue. Parker stated she will work on it and that looping the water line is not part of this section. Matranga said he even with the best intentions, things change and questioned the possibility of having permanent dead end lines. Harbin said the developer needs an agreement with League City and then temporary measures can be used to mitigate the dead end lines. Harbin reiterated that they need a timeframe and an agreement. She said, at this point, it is dead end lines with no concrete plans. Harbin stated if League City denies the developer's request, they need to redesign now.

Sasson deduced the impediment is not money but land. Matranga said the memo identifies three concerns; one is easy and two have to be fixed. Banfield said the looped system is a biggie and asked what if the second phase never happens.

7. Consideration and possible action regarding future Planning and Zoning Commission meeting dates

- A. Regular meeting - Thursday, May 14, 2020
Regular meeting - Thursday, May 28, 2020

8. Communications

- A. From Commissioners - suggestions for future agenda items, general comments and/or updates from liaison assignments

Perry wanted to bring up something a council member asked. He said he wanted to know how many private streets have been changed to public streets.

- B. From Planning Subcommittee – update on tasks

The committee is on hold during pandemic.

- C. From Ordinance Subcommittee – update on tasks

The committee is on hold during pandemic.

- D. From City Council Liaison, Trish Hanks - general comments and communication from City Council

Hanks expressed thanks for those able to attend. She said the Emergency Operations Center is very thankful for residents who are staying home. She mentioned Friendswood residents whom are infected with COVID is one of the lesser affected areas. Hanks said the governor will be deciding if and when the order is lifted or extended. She said many counties have been discussing re-opening plans. Hanks said City Manager Kabiri and his staff have been great, there are other groups providing meals and helping seniors. She reminded everyone to support local. Hanks said most committee meetings have cancelled, except this Commission. She said to be safe.

- E. From Staff - March DRC Report, commercial and residential project updates, City Council action and ordinance updates

Harbin said the March DRC report was included in the backup material. She said meetings have not been held in person but staff is still putting together information for developers/citizens to discuss via phone/email. She said projects and permits are being processed with the aid of a physical drop box and an online permitting system.

9. Adjournment

This meeting was adjourned at 08:42 PM.



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2020

Subject: TBH Holding Group LLC Final Plat

Action: Significant

SUMMARY / ORIGINATING CAUSE

This subdivision will create two commercial reserves at 104 Whispering Pines Ave. and dedicate 20-feet of right-of-way to the City. The preliminary plat for TBH Holding Group LLC was approved by the Commission March 12, 2020. All outstanding comments from the preliminary plat have been addressed.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Approving the plat will allow for additional commercial development within the Downtown District.

RECOMMENDATIONS

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department. The plat appears to be in compliance with City regulations pending confirmation of the required gas easement width from Centerpoint Gas Engineering Department.

ATTACHMENTS

1. TBH Holding Group LLC Final Plat Compliance Memo
2. TBH Holding Group LLC Final Plat

Memo

To: Planning and Zoning Commission
From: Becky Bennett, Development Coordinator
Date: May 6, 2020
Re: TBH Holding Group LLC Final Plat

Project Description: This subdivision will create two commercial reserves at 104 Whispering Pines Ave. and dedicate 20-feet of right-of-way to the City. The preliminary plat for TBH Holding Group LLC was approved by the Commission March 12, 2020. All outstanding comments from the preliminary plat have been addressed.

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department.

Approval Options:

- ☐ Approval
Standards for approval. The Commission shall approve a plat if:
 - (1) It conforms to the general plan of the City of Friendswood and the current and futures streets, alleys, parks, playgrounds, and public utility facilities;
 - (2) It conforms to the general plans for extension of roads, streets, and public highways, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities; and
 - (3) It conforms to the Subdivision Ordinance and Local Government Code Chapter 212.
- ☐ Conditional Approval with the following conditions*
- ☐ Disapproval due to the following reasons*

*Each condition or reason specified must be directly related to the requirements under the subdivision platting law and include a citation to the law, including a statute or municipal ordinance, that is the basis for the conditional approval or disapproval, if applicable, and conditions or reasons may not be arbitrary.

*Requires reconsideration by the Planning and Zoning Commission.

Outstanding Conditions/Reasons:

None.

Remaining Items:

Pending confirmation of the required gas easement width from Centerpoint Gas Engineering Department.

METES AND BOUNDS DESCRIPTION
1.886 ACRES (82,136 SQUARE FEET)
OUT OF LOT 4, BLOCK 11, FRIENDSWOOD SUBDIVISION
SARAH MCKISSICK LEAGUE, ABSTRACT NO. 151
CITY OF FRIENDSWOOD
GALVESTON COUNTY, TEXAS

Being a tract or parcel containing 1.886 acres (82,136 square feet) of land situated in the Sarah McKissick League, Abstract Number 151, Galveston County, Texas; being out of and a part of Lot 4, Block 11, FRIENDSWOOD SUBDIVISION, a subdivision plat of record in Volume 7, Page 20 of the Galveston County Map Records (G.C.C.F.), Galveston County, Texas; being all of a called 1.6507 acre tract (Tract 1) and all of a called 0.1975 acre tract (Tract 2) conveyed to TBH Holding Group, LLC as described by deed recorded under Galveston County Clerk's File (G.C.C.F.), No. 2019012992; being all of a called 0.037 acre tract of land conveyed to TBH Holding Group, LLC as described by deed recorded under G.C.C.F. No. 2020013933; said 1.886 acre tract being more particularly described as follows (bearings are oriented to the bearing base reflected by deeds recorded under G.C.C.F. No(s). 8449888 and 201602886):

BEGINNING at a 3/4-inch iron pipe found on the northerly right-of-way (R.O.W.) line of Whispering Pines (60 feet wide) and marking the most southerly corner of a called 1.477 acre tract of land conveyed to Kenton D. Harris, et al., as described by said deed recorded under G.C.C.F. No. 8449888; said iron pipe for the most easterly corner of said 1.6507 acre tract and the herein described tract;

THENCE, South 44°49'00" West, along said northerly R.O.W. line, a distance of 130.00 feet to a 5/8-inch iron rod with cap stamped "BOUNDARY ONE-RPLS 5489" set marking a point of curvature for a curve to the right;

THENCE, Westerly, continuing along said northerly R.O.W. line, an arc distance of 69.19 feet along said curve to the right, having a radius of 119.62 feet, a central angle of 33°08'28", and a chord which bears South 61°51'42" West, 66.23 feet to a 5/8-inch iron rod with cap stamped "BOUNDARY ONE-RPLS 5489" set marking an angle point;

THENCE, South 44°49'00" West, continuing along said northerly R.O.W. line, a distance of 82.71 feet to a 5/8-inch iron rod with cap stamped "BOUNDARY ONE-RPLS 5489" set marking an angle point;

THENCE, South 45°00'00" East, continuing along said northerly R.O.W. line, a distance of 5.87 feet to an angle point;

THENCE, South 45°00'00" West, continuing along said northerly R.O.W. line, a distance of 30.00 feet to a 5/8-inch iron rod with cap stamped "BOUNDARY ONE-RPLS 5489" set marking the most southerly corner of the herein described tract;

THENCE, North 45°00'00" West, departing said northerly R.O.W. line, a distance of 286.78 feet to a 5/8-inch iron rod with cap stamped "BOUNDARY ONE-RPLS 5489" set marking the most westerly corner of the herein described tract;

THENCE, North 44°56'00" East, at 30.00 feet passing a 5/8-inch iron rod found marking the most southerly corner of a called 1.886 acre tract of land conveyed to John P. Gannon as described by deed recorded under G.C.C.F. No. 2015006491, continuing in all for a total distance of 280.09 feet to a 1/2-inch iron rod found marking the most westerly corner of the aforesaid 1.477 acre tract and for the most northerly corner of the herein described tract;

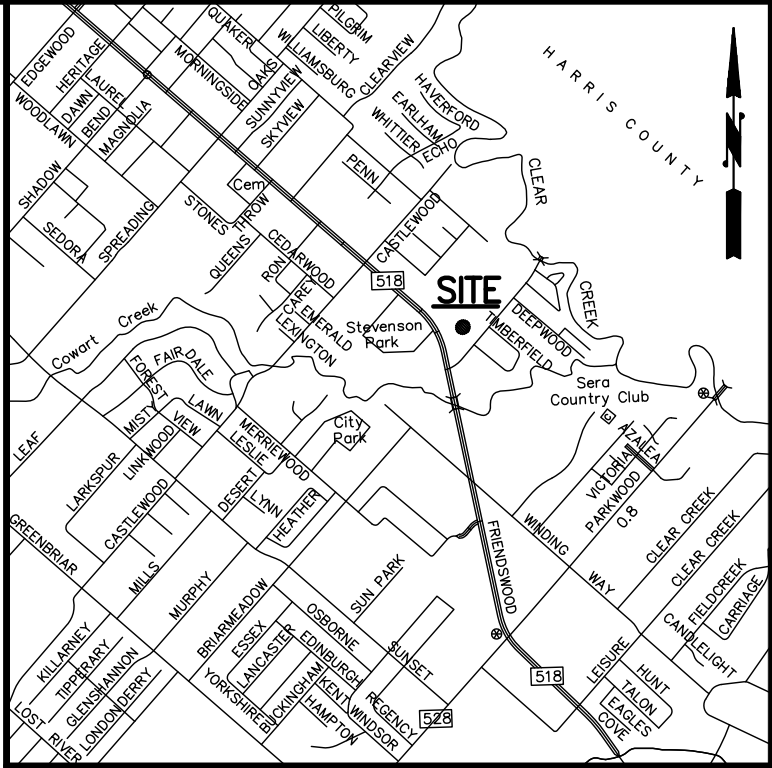
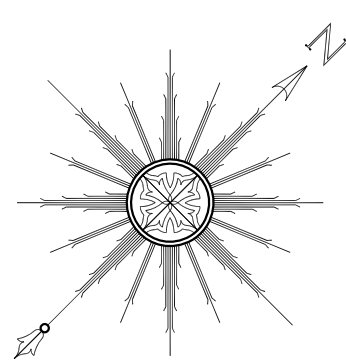
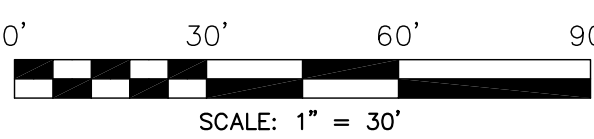
THENCE, South 44°47'33" East, along the southwesterly line of said 1.477 acre tract, a distance of 300.42 feet to the POINT OF BEGINNING and containing 1.886 acres (82,136 square feet) of land. Boundary One Project Number 6767-0507.

BENCHMARK

UNITED STATES COAST AND GEODETIC SURVEY MONUMENT
E459(195-1), LOCATED ON THE NORTH SIDE OF BRIARMEADOW DRIVE AND APPROXIMATELY 185 FEET WEST OF SUNSET BLVD.
ELEVATION 26.34'

T.B.M. NO. 1

FOUND OUT "X" IN CONCRETE SIDEWALK NEAR THE MOST EASTERLY CORNER OF THE SUBJECT TRACT AS SHOWN HEREON.
ELEVATION 23.99'



VICINITY MAP: 1" = 1/2 MILE
GALVESTON COUNTY KEY MAP PAGE 657-A

HATCHER LN. (60' R.O.W.)

R.O.W. LINE

R.O.W. LINE

CALLLED 1.886 ACRES
JOHN P. GANNON
G.C.C.F. NO. 2015006491

FND 5/8" IR(CM)

"SET" 30.00'

N 44°56'00" E 280.09'

FND 1/2" IR(CM)

N 45°06'57" E 249.27'
(CALLED N 45°29'54" E)

FND 3/4" IR W/CAP
"RPLS 5247"

PENDING 5' CENTERPOINT
ENERGY GAS LINE EASEMENT
(UNDER GAS ENGINEER'S REVIEW)

UNRESTRICTED RESERVE A
0.892 ACRE
(38,856 SQ. FT.)

UNRESTRICTED RESERVE B
0.910 ACRE
(39,624 SQ. FT.)

CALLLED 1.477 ACRES
KENTON D. HARRIS & WIFE, KAROLINA BOYLE HARRIS
G.C.C.F. NO. 8449888

20' R.O.W. DEDICATION
0.080 ACRE (3,481 SQ. FT.)

WHISPERING PINES (60' R.O.W.)

T.B.M. NO. 1
ELEVATION 23.99'

LINE TABLE

LINE	BEARING	DIST
L1	S 44°49'00" W	53.71'
L2	S 45°00'00" E	5.87'
L3	S 45°00'00" W	30.00'

CURVE TABLE

CURVE	RADIUS	DELTA	ARC	CHD BRG	CHORD
C1	119.62'	33°08'28"	69.19'	S 61°51'42" W	68.23'

STATE OF TEXAS
COUNTY OF GALVESTON

We, TBH Holding Group, LLC, owner hereinafter referred to as Owner of the 1.886 acre tract described in the above and foregoing plat of TBH HOLDING GROUP LLC, do hereby make and establish said subdivision of said property according to all lines, dedications, restrictions and notations on said plat and hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title to the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purposes forever an unobstructed aerial easement above the ground level upward, to all public utility easements shown hereon.

WITNESS our hand in the City of Friendswood, Texas, this ____ day of _____, 2020.

Zeeshan Haq, Managing Member

STATE OF TEXAS
COUNTY OF GALVESTON

BEFORE ME, the undersigned authority, on this day personally appeared Zeeshan Haq, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 2020.

Notary Public in and for _____ County, _____.
My Commission Expires: _____

LIENHOLDER SUBORDINATION:

We, Compass Bank, owner and holder of a lien against the property described herein as TBH HOLDING GROUP LLC, said lien being evidenced by instrument of record under Galveston County Clerk's File Number 2019012993, Galveston County, Texas, do hereby in all things subordinate our interest in said property to the purposes and effects of said plat and the dedications and restrictions shown herein to said plat and we hereby confirm that we are the present owners of said lien and have not assigned the same nor any part thereof.

By: _____, Trustee
Compass Bank

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____ of Compass Bank, owner and holder of a lien upon a portion of said property, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the consideration and purposes therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 2020.

Notary Public in and for _____ County, _____.
My Commission Expires: _____

I, Christian Offenburger, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that all bearings, distances, and other associated boundary information on the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that all boundary corners, angle points, points of curvature and other points of reference have been marked with iron rods having an outside diameter of not less than five-eighths inch and a length of not less than three (3) feet; that the plat boundary corners have been tied to the nearest platted subdivision corner; that all utility companies have been contacted and that the easements shown on the plat constitute all of the easements requested by the utility companies; and that the survey substantially complies with the Texas Society of Professional Surveyors Standards for a Category IB, Condition II Standard Land Survey, which stipulates an error of closure of 1/10,000 or better.



Christian Van Offenburger
Registered Professional Land Surveyor
Texas Registration No. 5489

This is to certify that the City Planning Commission of Friendswood, Texas has approved this plat and subdivision of TBH HOLDING GROUP LLC.

In testimony whereof, witness the official signature of the Chairman and Development Coordinator of the City Planning and Zoning Commission of the City of Friendswood, Texas this ____ day of _____, 2020.

By: _____
Becky Bennett
Development Coordinator

By: _____
Joe Matranga
Chairman, Planning and Zoning
Commission

I, Jil Arias, P.E., C.E.M., City Engineer and Director of Engineering of the City of Friendswood, Texas, hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the City of Friendswood, Texas, and further it complies with all of the ordinances as adopted by City Council.

Jil Arias, P.E., C.E.M.
City Engineer & Director of Engineering

I, Dwight D. Sullivan, County Clerk of Galveston County, Texas, do hereby certify that the written instrument with its certificate of authentication was filed for registration in my office on this ____ day of _____, 2020, at ____ o'clock ____ m., and duly recorded in Plat ____ Record ____ Map ____ of the Galveston County Map Records.

Witness my hand and seal of office, at Friendswood, Galveston County, Texas. The day and date last above written.

Dwight D. Sullivan, County Clerk
Galveston County, Texas

By: _____

Approved by the GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT:

Director _____ Date _____

Director _____ Date _____

This is to certify that the above was signed based on the recommendation of the District's Engineer having reviewed all sheets provided and found them to be in general compliance with the District's "Drainage Criteria Manual". This approval is valid for three hundred sixty five (365) days. Please note, this does not necessarily mean that all of the information provided in this plat has been completely checked and verified. The plat submitted has been prepared, signed, and sealed by a Registered Professional Land Surveyor licensed to practice surveying in the State of Texas, which conveys the Engineer's responsibility and accountability to that Surveyor.

General Notes: (Galveston County Consolidated Drainage District)

- Buildings, fences or other structures shall not be erected in GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT (the DISTRICT) right-of-ways or drainage easements. Furthermore, no permanent improvements including landscaping, paving, trees, sprinklers, utilities, playground equipment, park benches, tables, sport fields, piers, or sidewalks shall be constructed within said right-of-ways or drainage easements without the approval of the DISTRICT.
- The detention and drainage facilities are to be maintained by the property owner.
- No building permit shall be issued for any lot within this subdivision until a detention and drainage plan has been approved by the DISTRICT.
- Additional drainage easements may be required at the time a drainage plan is submitted to the DISTRICT for approval.
- Plantings, flowerbeds, or other landscaping is not permitted in side lot drainage or detention easements.
- No building permit shall be applied for until all drainage and detention facilities are constructed, inspected and approved by the DISTRICT.
- No permanent improvements including landscaping, paving, trees, sprinklers, utilities, playground equipment, park benches, tables, sport fields, piers, or sidewalks shall be constructed within the detention facility without the approval of the DISTRICT.

General Notes: (City of Friendswood)

- This tract lies in Zone "X" (shaded), designated as "Areas of 500-year (0.2%) Annual Chance flood," as per the National Flood Insurance Program FIRN Community Panel Number 465468-0014-0, latest available published revision dated August 15, 2019. This flood statement does not imply that the subject tract and/or the improvements thereon will be free from flooding damage. The flood hazard area is subject to change as detailed studies occur and/or as watershed or channel conditions change.
- The finished floor elevations of all structures shall be located above the base flood elevation established by FEMA, and as prescribed in the Flood Damage Prevention Ordinance of Friendswood, Texas.
- Sidewalks and ADA ramps are required along all curb and gutter streets per the approved sidewalk accessibility plan. The developer must install sidewalks and ADA ramps along reserves and common areas prior to the City Council's acceptance of the subdivision infrastructure. When sidewalks are required, they shall have a width of not less than four feet and comply with Federal, State and Local requirements.
- No residential, commercial or industrial structure shall be permitted to be built nearer than 150 feet from any well or related facility other than structures necessary to operate the well or facility.
- Except for low-pressure distribution system pipelines as defined in Chapter 26, of the Friendswood City Code, no residential, commercial or industrial structure shall be erected or moved to a location nearer than 50 feet to any pipeline, other than structures necessary to operate the pipeline.
- Bearings are oriented to the bearing base reflected by deeds recorded under G.C.C.F. No(s). 8449888 and 201602886.
- This survey substantially complies with Texas Society of Professional Surveyors Standards for a Category IA, Condition II Standard Land Survey, which stipulates an error of closure of 1/10,000 or better.
- The City of Friendswood shall not be responsible for maintenance of private streets (driveways, sidewalks, and emergency access easements), waterlines, sanitary sewer lines, storm sewer facilities (detention ponds, drainage easements, outfalls and swales), recreational areas, reserves and other private facilities that are within private easements; the TBH Holding Group, LLC shall be responsible for these items. The City of Friendswood shall be responsible for maintenance of public streets, sidewalks, street signs, waterlines, sanitary sewer lines, storm sewer facilities, drainage easements, outfalls and swales that are within the public right-of-way or within public and/or exclusive easements. The maintenance of streetlights shall be the responsibility of Texas New Mexico Power.
- All utility companies have been contacted and the easements shown on the plat constitute all of the easements required by the utility companies for their operations.
- Any and all right of way islands located within the boundaries of this plat, even if not shown on the face of the plat, shall be maintained by the property owner(s).
- There are no existing pipeline easements within the limits of the subdivision.
- This tract is subject to the restrictive covenants of record in Vol. 2799, Pg. 666, GDDR and corrected under GDCF No. 8620540.

FINAL PLAT

TBH HOLDING GROUP LLC

BEING 1.886 ACRES OF LAND
ALL OF A CALLED 1.6507 ACRE TRACT (TRACT 1) AND ALL OF
A CALLED 0.1975 ACRE TRACT (TRACT 2) AS DESCRIBED BY DEED
RECORDED UNDER G.C.C.F. NO. 2019012992
AND ALL OF A CALLED 0.037 ACRE TRACT AS DESCRIBED BY DEED
RECORDED UNDER G.C.C.F. NO. 2020013933
ALL OUT OF LOT 4, BLOCK 11, FRIENDSWOOD SUBDIVISION
RECORDED IN VOL. 7, PG. 20 G.C.M.R., SITUATED IN THE
SARAH MCKISSICK LEAGUE, ABSTRACT NO. 151
CITY OF FRIENDSWOOD
GALVESTON COUNTY, TEXAS

1 BLOCK

2 UNRESTRICTED RESERVES

OWNER:

TBH HOLDINGS GROUP, LLC
Zeeshan Haq, Managing Member
104 WHISPERING PINES AVE.
FRIENDSWOOD, TX 77546
(409) 454-9422

SURVEYOR:

BOUNDARY ONE, L.L.C.
T.B.P.E.L.S. FIRM NO. 10084800
CHRISTIAN OFFENBURGER, R.P.L.S.
150 W. SHADOWBEND, SUITE 303
FRIENDSWOOD, TEXAS 77546
(281) 648-3131

DATE: MAY 4, 2020

SCALE: 1" = 30'

SHEET 1 OF 1



FRIENDSWOOD PLANNING & ZONING COMMISSION

AGENDA ITEM FORM

Meeting Date: May 14, 2020

Subject: Consideration and possible action regarding proposed amendments to the site plan for the building located at 1765 S. Friendswood Drive, also known as Virgata Commons, Building A

Action: Significant

SUMMARY / ORIGINATING CAUSE

Virgata Commons is a phased commercial development currently containing two buildings. Building A is located at 1765 S. Friendswood Drive and zoned Community Shopping Center. The developer is proposing to add a 735 square foot addition to the end suite.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Providing the additional square footage at the end of the building will allow the property owner to provide the space needed for a tenant. The addition of 735 square feet will not have a significant impact on the remainder of the development.

RECOMMENDATIONS

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department. The proposed project appears to be in compliance with current City codes.

The plan is subject to approval by the Planning and Zoning Commission.

ATTACHMENTS

1. Compliance Memo_Virgata Commons Addition
2. Cover Sheet_Virgata Commons Addition
3. Site & Landscape Plan_Virgata Commons Addition
4. Elevations_Virgata Commons Addition
5. Photometric_Virgata Commons Addition

Memo

To: Planning and Zoning Commission
From: Becky Bennett, Development Coordinator
Date: May 4, 2020
Re: Virgata Commons – Building A Addition

Project Description: Virgata Commons is a phased commercial development currently containing two buildings. Building A is located at 1765 S. Friendswood Drive and zoned Community Shopping Center. The developer is proposing to add a 735 square foot addition to the end suite.

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department. The proposed project appears to be in compliance with current City codes.

The plan is subject to approval by the Planning and Zoning Commission.

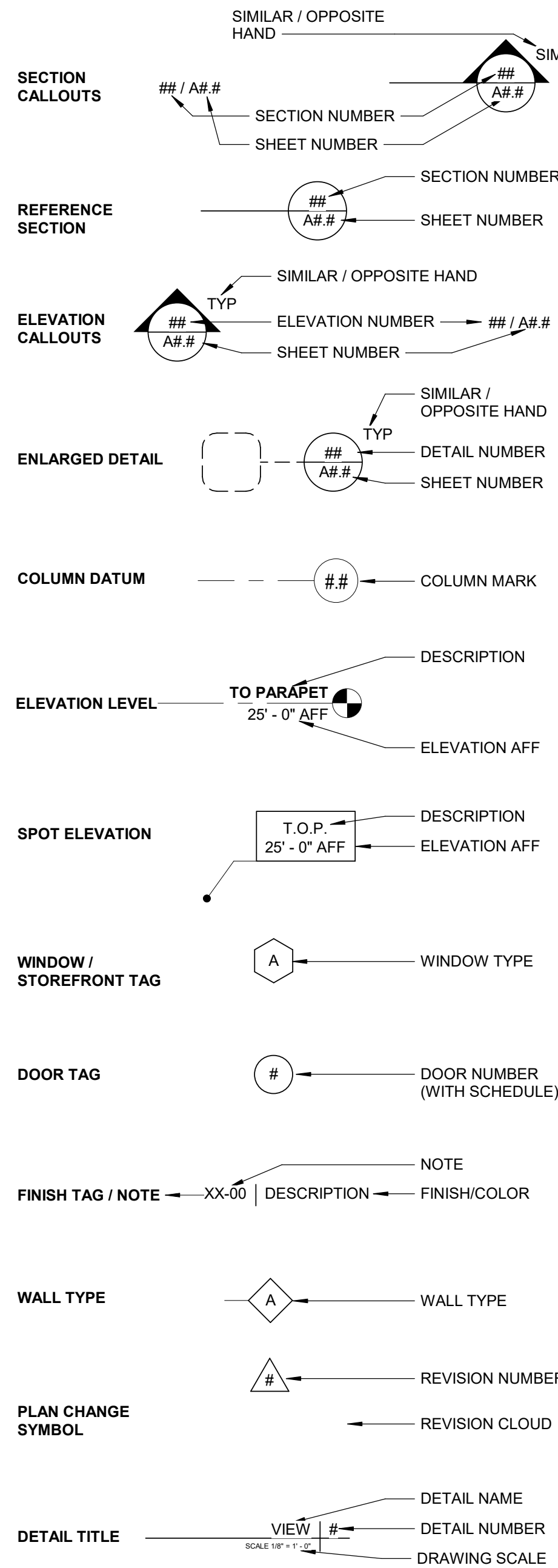
C:\Users\guang\Documents\1708704_SOUTH FRIENDSWOOD\DRIVE-19_guang@bdgap.com.rvt

4/17/2020 1:51:47 PM

ABBREVIATIONS

Ø	DIAMETER	JT.	JOINT
&	AND		
@	AT	LAM.	LAMINATED
CL	CENTERLINE	LAV.	LAVATORY
#	POUND OR NUMBER	LT.	LIGHT
()	EXISTING		
A.B.	ANCHOR BOLT	MAX.	MAXIMUM
ABV.	ABOVE	M.B.	MACHINE BOLT
ADD.	ADDENDUM	M.D.	MEDIUM DENSITY
A/C	AIR CONDITIONING		OVERLAY BOARD
ACCOUS.	ACOUSTICAL	MECH.	MECHANICAL
AFF	ABOVE FINISH FLOOR	MTL.	METAL
ALUM.	ALUMINUM	MFR.	MANUFACTURER
APPROX.	APPROXIMATE	M.H.	MANHOLE
ARCH.	ARCHITECTURAL	MGR.	MANAGER
		MFG.	MANUFACTURER
BD.	BOARD	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BLK.	BLOCK	M.O.	MASONRY OPENING
BLKG.	BLOCKING	MOD. BIT.	MODIFIED BITUMEN
BM.	BEAM	MTD.	MOUNTED
B.O.	BOTTOM OF	MUL.	MULLION
B.O.C.	BACK OF CURB	N.I.C.	NOT IN CONTRACT
BOT.	BOTTOM		
BTWN.	BETWEEN	NO.	NUMBER
B.U.R.	BUILT UP ROOF	NOM.	NOMINAL
		N.T.S.	NOT TO SCALE
CATV	CABLE TELEVISION	O.A.	OVERALL
C.B.	CHALKBOARD	O.C.	ON CENTER
CEM.	CEMENT	O.D.	OUTSIDE DIAMETER
CER.	CERAMIC	O.H. or OPH	OPPOSITE HAND
CFMF	COLD-FORMED METAL FRAMING	OPP.	OPENING OPPOSITE
		O.S.	OVERFLOW SCUPPER
C.I.	CAST IRON		
CI	CONTINUOUS INSULATION	PARTN.	PARTITION
C.J.	CONTROL JOINT	P.C.	PLAN CHANGE
CLG.	CEILING	PERP.	PERPENDICULAR
CLR.	CLEAR	PERF.	PERFINISHED
C.M.U.	CONCRETE MASONRY UNIT	PLBG.	PLUMBING
C.O.	CLEAR OPENING	PLYWD.	PLYWOOD
C/O	CLEAN OUT	PR.	PAIR
COL.	COLUMN	PPSD	PROPOSED
CONC.	CONCRETE	PT.	PAINT
CONN.	CONNECTION	P.T.	PRESSURE TREATED
CONSTR.	CONSTRUCTION	P.TRD.	PRESSURE TREATED
CONT.	CONTINUOUS	P.J.	PANEL JOINT
CONTR.	CONTRACTOR	Q.T.	QUARRY TILE
CSMU	CALCIUM SILICATE MASONRY UNIT		
		R.	RADIUS
DBL.	DOUBLE	R.D.	ROOF DRAIN
DEPT.	DEPARTMENT	RDWD.	REDWOOD
D.F.	DRINKING FOUNTAIN	REF.	REFERENCE
DIA.	DIAMETER	REFR.	REFRIGERATOR
DIM.	DIMENSION	REIN.	REINFORCED
DN	DOWN	REQ'D.	REQUIRED
DR	DOOR	RESIL.	RESILIENT
DRS	DOWNSPOUT	R & S	ROD AND SHELF
DWG.	DRAWING	RM	ROOM
DW	DISHWASHER	R.O.	ROUGH OPENING
		R.O.W.	RIGHT OF WAY
EA.	EACH	R.S.	ROUGH SAWN
EIFS	EXTERIOR INSULATING FINISHING SYSTEM	R.V.	REVEAL
E.J.	EXPANSION JOINT	SBS	STYRENE-BUTADIENE-STYRENE
ELEC.	ELECTRICAL	S.C.	SCHED.
ELEV.	ELEVATION	SCHD.	SCHEDULE
EQ.	EQUAL	SECT.	SECTION
EQUIP.	EQUIPMENT	SHT.	SHEET
E.W.	EACH WAY	SHTG.	SHEATHING
EXIST.	EXISTING	SK.	SINK
EXT.	EXTERIOR	SIM.	SIMILAR
		SPEC.	SPECIFICATION
F.D.	FLOOR DRAIN	SQ.	SQUARE
FDC	FIRE DEPARTMENT CONNECTION	S.S.	STAINLESS STEEL
FE	FIRE EXTINGUISHER	STD.	STANDARD
FEC	FIRE EXTINGUISHER CABINET	STL.	STEEL
F.F.	FINISH FLOOR	STOR.	STORAGE
FFE	FINISH FLOOR ELEVATION	STRUCT.	STRUCTURAL
FIN.	FINISH	SUSP.	SUSPENDED
FIXT.	FIXTURE	SYM.	SYMMETRICAL
FL.	FLOOR LINE		
FLUOR.	FLUORESCENT	T&G	TONGUE AND GROOVE
F.H.	FIRE HYDRANT	T.B.	TACK BOARD
F.O.F.	FACE OF FINISH	TBD	TO BE DETERMINED
F.O.M.	FACE OF MASONRY	TEL.	TELEPHONE
F.O.S.	FACE OF STUD	THK.	THICK
F.R.	FIRE RISER	T.O.	TOP OF
F.R.T.	FIRE-RETARDANT-TREATED	T.O.B.	TOP OF BEAM
F.S.	FLOOR SINK	T.O.C.	TOP OF CURB
FT.	FOOT/FEET	T.O.P.	TOP OF PARAPET
FTG.	FOOTING	T.O.R.	TOP OF ROOF
F.V.	FIELD VERIFY	T.O.S.	TOP OF STEEL
		T.O.W.	TOP OF WALL
GA	GAUGE	TPO	THERMOPLASTIC POLYOLEFIN
GALV.	GALVANIZED	TW	TILT WALL
G.C.	GENERAL CONTRACTOR	U.P.	TYPICAL
GL.	GLASS	U.O.N.	UNLESS OTHERWISE NOTED
GND.	GROUND	UR.	URINAL
GR.	GRADE		
GYP.	GYPSUM	V.W.C.	VINYL WALL COVERING
		VERT.	VERTICAL
HAND.	HANDICAP	V.T.R.	VENT THROUGH ROOF
H.B.	HOSE BIBB	V.C.T.	VINYL COMPOSITION
H.C.	HOLLOW CORE		
HDR.	HEADER		
HDW.	HARDWARE		
HT.	HEIGHT		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HTNG.	HEATING		
HDWD.	HARDWOOD		
HVAC	HVAC HEATING, VENTILATION & AIR CONDITIONING		
		W/	WITH
I.D.	INSIDE DIAMETER	W.C.	WATER CLOSET
IN.	INCH	WD.	WOOD
INSUL.	INSULATION	WH.	WATER HEATER
INT.	INTERIOR	W/O	WITHOUT
ISA	INTERNATIONAL SYMBOL OF ACCESSIBILITY	W.P.	WEATHERPROOF
		W.R.	WATER RESISTANT
		W.W.F.	WELDED WIRE FABRIC

DRAWING SYMBOLS



VIRGATA COMMONS BLDG. A ADDITION



ISSUE FOR PERMIT

FRIENDSWOOD, TX 77546

GENERAL NOTES

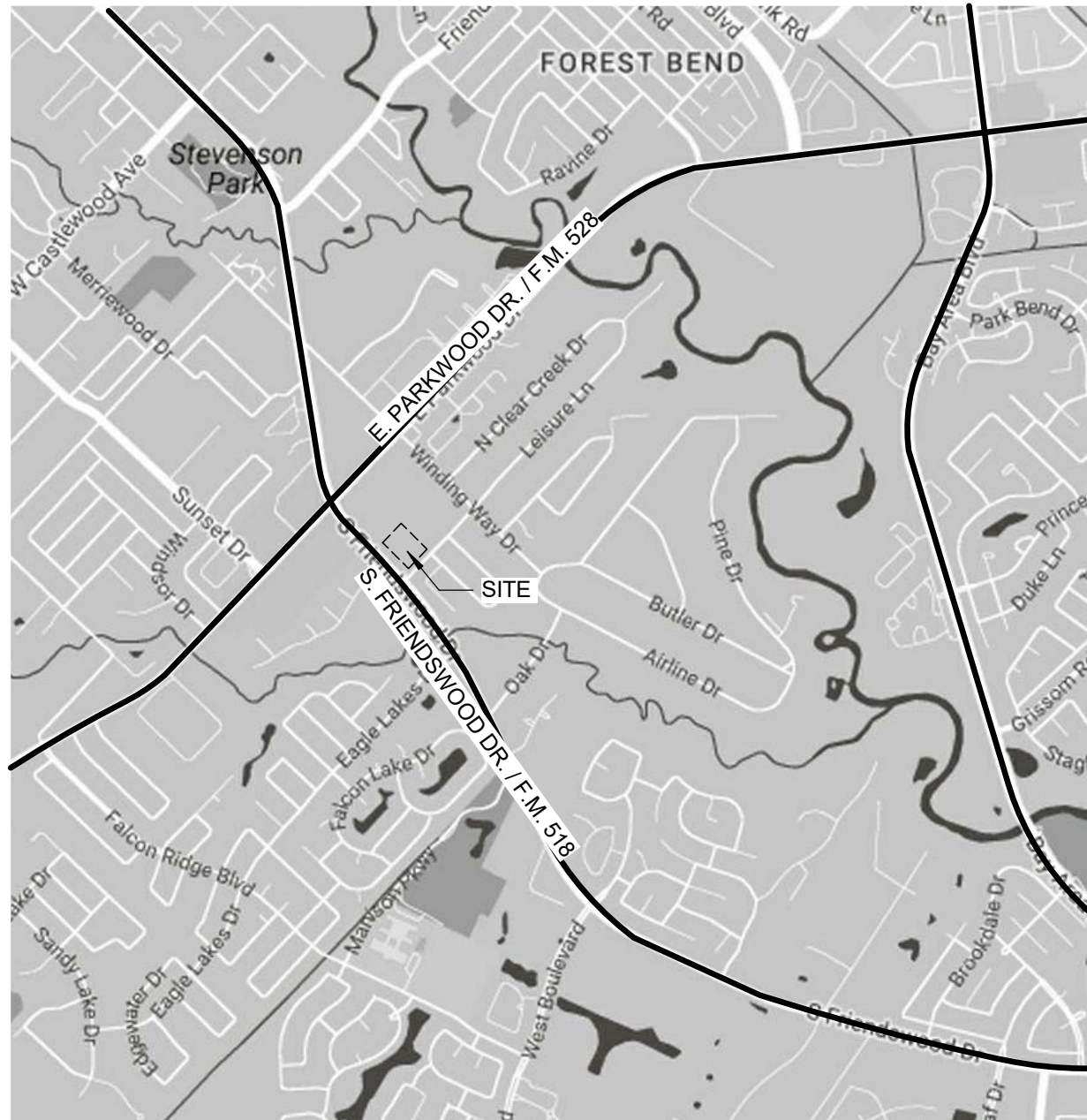
- PERFORM CONSTRUCTION ACTIVITIES, AND FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES INCLUDING TEXAS ACCESSIBILITY STANDARDS.
- DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR BUILDING DIMENSIONS AND GENERAL CONSTRUCTION QUESTIONS. IF APPLICABLE, CONTACT TENANT CONSTRUCTION COORDINATOR ON QUESTIONS OF LOCATING STORE FIXTURES, MOVEABLE STORAGE SYSTEM, AND ELECTRICAL, AS WELL AS, DATA RELATING TO P.O.S., P.I. AND OR CASH WRAP.
- REVIEW THE CONTRACT DOCUMENTS (DRAWINGS AND PROJECT MANUAL) AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- DRAWINGS SHOW INTENT OF WORK TO BE PERFORMED. PROVIDE MATERIALS, LABOR, CONNECTIONS, FABRICATIONS, AND ACCESSORIES FOR A COMPLETE PROJECT.
- COMPLETE WORK AS INDICATED. SEE DIVISION OF WORK SCHEDULE IN THE PROJECT MANUAL.
- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- COORDINATE WORK OF OTHER TRADES ON THE PROJECT SITE.
- PROVIDE TEMPORARY SERVICES, INCLUDING BARRICADE CONSTRUCTION (IF REQUIRED), POWER, LIGHTING, AND TELEPHONE. REMOVE TEMPORARY SERVICES PRIOR TO COMPLETION, AND CLEAN SPACE PER TENANTS' SPECIFICATIONS.
- G.C. RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING. IF SUCH DAMAGE OCCURS, THEN PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED BUILDING TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE GENERAL CONTRACTOR.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE.
- MATERIAL SUBSTITUTIONS ARE NOT ALLOWED UNLESS SUBMITTED IN WRITING.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED. SUBMIT LIST TO THE LANDLORD AND THE TENANT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- G.C. RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO TENANT. CLEANING SHALL INCLUDE, BUT IS NOT BE LIMITED TO, REMOVAL OF GREASE, MASTIC ADHESIVES, DUST, DIRT, STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM EXPOSED INTERIOR AND EXTERIOR SURFACES. WASH AND SHINE GLAZING AND MIRROR SURFACES. VACUUM CARPETED SURFACES. BROOM CLEAN EXTERIOR PAVED SURFACES ADJACENT TO LEASE PREMISES.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- PROVIDE A 1-YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY TENANT'S CONSTRUCTION COORDINATOR.
- FIRE SPRINKLER NOTE FOR RETAIL SHELL BUILDING THIS PROJECT IS TO INCLUDE A COMPLETE FIRE SPRINKLER PROTECTION SYSTEM. A LICENSED FIRE SPRINKLER ENGINEER OR LICENSED FIRE SPRINKLER CONTRACTOR IS TO PROVIDE DRAWINGS AND CALCULATIONS FOR AN AUTOMATIC FIRE SPRINKLER SYSTEM FOR THIS BUILDING TO COMPLY WITH THE SPACE LAYOUT, NFPA 13, ALL STATE AND LOCAL CODE REQUIREMENTS. THIS IS A DEFERRED SUBMITTAL.
- FIRE SPRINKLER NOTE FOR ANCHOR/JR ANCHOR SHELL BUILDING THIS PROJECT IS TO INCLUDE A COMPLETE FIRE SPRINKLER PROTECTION SYSTEM. A LICENSED FIRE SPRINKLER ENGINEER OR LICENSED FIRE SPRINKLER CONTRACTOR IS TO PROVIDE DRAWINGS AND CALCULATIONS FOR AN AUTOMATIC FIRE SPRINKLER SYSTEM FOR THIS BUILDING TO COMPLY WITH THE SPACE LAYOUT, NFPA 13, ALL STATE AND LOCAL CODE REQUIREMENTS. THIS IS A DEFERRED SUBMITTAL. BOUCHER DESIGN GROUP LLP IS NOT RESPONSIBLE FOR OR LIABLE FOR THE TENANT SPECIFICATIONS.
- FIRE SPRINKLER SYSTEM SHALL BE BY LANDLORD'S CONTRACTOR. SPRINKLER CONTRACTOR SHALL RELOCATE ANY HEADS THAT CONFLICT WITH LEASE LAYOUT.
- HOLD ALL DUCTWORK AS TIGHT AS POSSIBLE TO UNDERSIDE OF STRUCTURE ABOVE.
- COMBUSTIBLE MATERIALS ABOVE FINISHED CEILINGS OR IN CONCEALED, NON-SPRINKLERED SPACES ARE PROHIBITED.
- WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED AND COMPLY WITH U.L. REQUIREMENTS FOR FLAME SPREAD OF 25 OR LESS, UNLESS NOTED OTHERWISE.
- PROVIDE ADEQUATE BLOCKING AND ANCHORAGE FOR CEILING AND WALL MOUNTED EQUIPMENT (FIRE EXTINGUISHERS, TOILET ROOM ACCESSORIES, HARDWARE, ETC.). VERIFY REQUIREMENTS AND LOCATIONS WITH TENANT.
- ALL FINISHES SHALL COMPLY WITH I.B.C. CHAPTERS 7 AND 8.
- EXITS SHALL BE ABLE TO BE OPENED FROM INTERIOR SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.

SEPARATE PERMITS:
SEPARATE PERMITS ARE REQUIRED FOR THE FOLLOWING: EXTERIOR SIGNAGE, FIRE ALARMS, FIRE SPRINKLER SYSTEMS, AND ELECTRONIC LOCKS

EMERGENCY RESPONDER RADIO COVERAGE:
THIS STRUCTURE SHALL COMPLY WITH ALL APPLICABLE CODE PROVISIONS OF ERCC PROVISIONS IN SECTION 510 OF THE CITY OF HOUSTON ADOPTED 2012 IFC

SPECIAL INSPECTIONS:
SPECIAL INSPECTIONS AND TESTING BY THE OWNER ENGAGED AGENCY ARE REQUIRED FOR EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)

VICINITY MAP



VICINITY MAP | 1

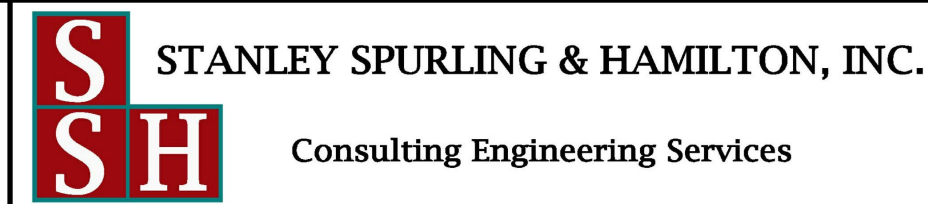
1" = 2000'-0"

MEP

STRUCTURE

OWNER / CLIENT

ARCHITECT



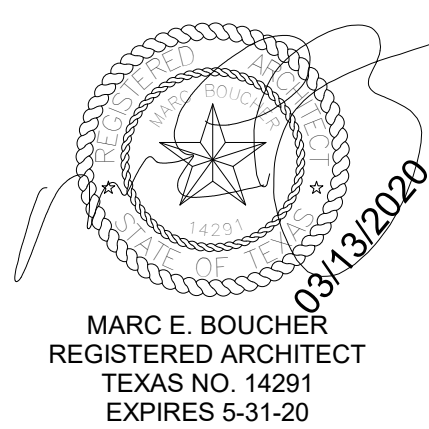
Stanley Spurling & Hamilton, Inc.
3301 Edloe Street, Suite 200
Houston, Texas 77027
713.776.9433



VIRGATA PROPERTY
COMPANY
407 S. FRIENDSWOOD
DRIVE, FRIENDSWOOD,
TEXAS 77546
281-992-9766



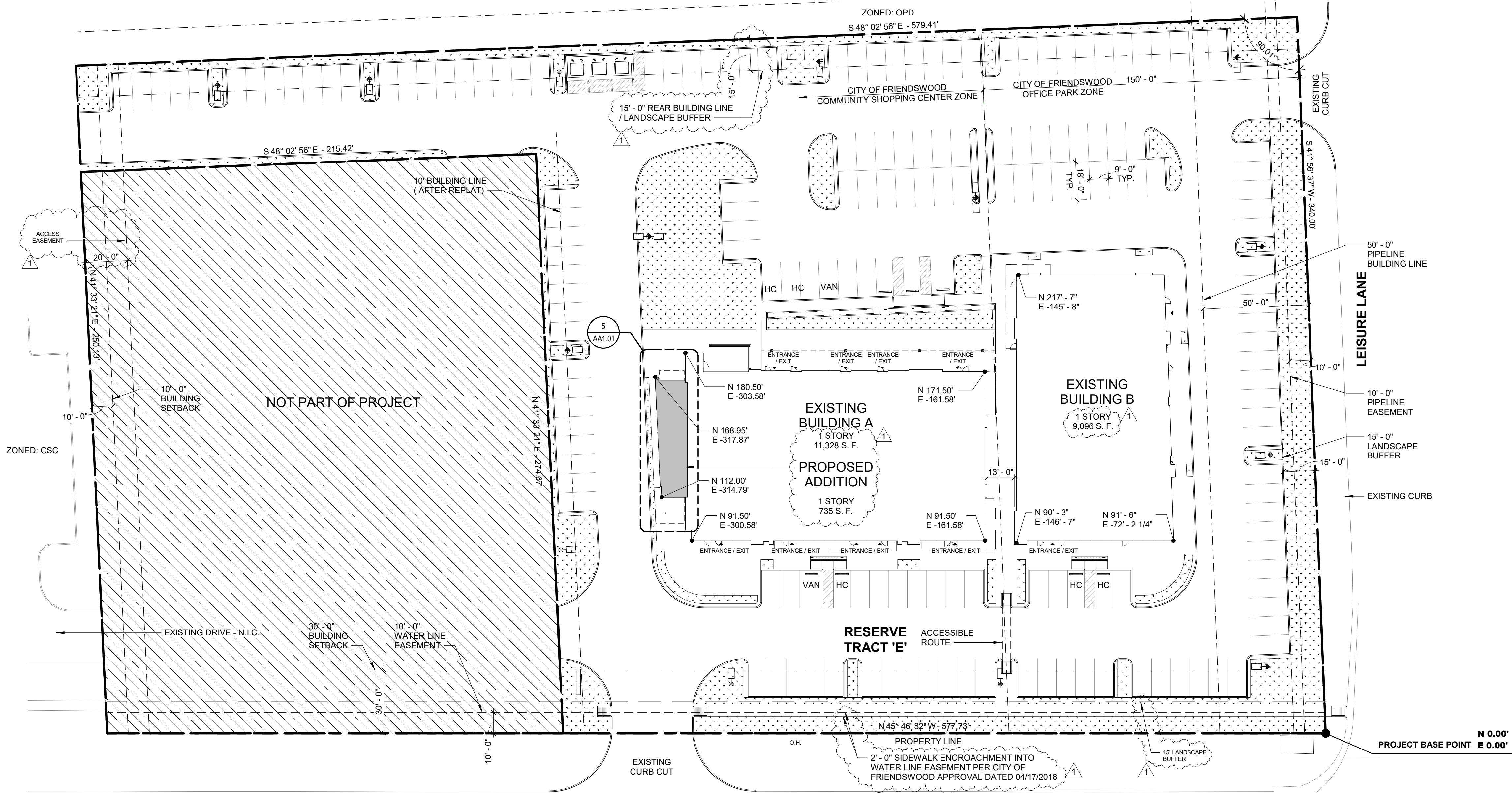
Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com



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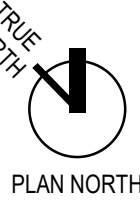
PROJECT #: 1708704
DATE: 03/13/2020

ISSUE	DATE	DESCRIPTION
1	3-13-20	ISSUE FOR PERMIT
	4-17-20	CITY COMMENTS



SOUTH FRIENDSWOOD DRIVE / F.M. 518

SITE PLAN | 1
1" = 30'-0"



LANDSCAPE CALCULATIONS PER FRIENDSWOOD REQUIREMENTS:

ITEM	DESCRIPTION OF REQUIREMENTS	INFORMATION	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
A.	TOTAL AREA OF PARKING AND DRIVE	70,970 S.F.		
B.	TOTAL LANDSCAPE S.F. REQUIRED @ 20%		70,970 S.F. @ 20% = 14,194 S.F.	21,973 S.F.
C.	REQUIRED LANDSCAPE OF 14,194 S.F. X 0.50 = S.F. OF REQUIRED LANDSCAPE ISLAND		7,097 S.F.	7,681 S.F.
D.	PERIMETER LANDSCAPE: (1 TREE PER 30 LF OF PROPERTY LINE OF LANDSCAPE BUFFER)	579.41' + 250.13' = 829.54'	28 TREES REQUIRED	38 TREES REQUIRED
E.	PLUS LANDSCAPE BUFFER PER SUBSECTION B.1			
	SOUTH FRIENDSWOOD DRIVE	295.00 LF/25	12 TREES	13 TREES
	LEISURE LANE	340.00 LF/25	14 TREES	14 TREES
	TOTAL LANDSCAPE BUFFER ALONG STREET FRONTAGE			7,034.00 S.F.
F.	TOTAL PARKING SPACES	172 CARS	18 TREES	24 TREES

NOTE: NO TREES 12 INCHES OR GREATER IN DIAMETER EXIST.

DEVELOPMENT SYNOPSIS

LOT	LAND AREA		BLDG. USE	BLDG. AREA	PARKING REQUIRED	PARKING RATIO REQUIRED	PARKING PROVIDED	PARKING RATIO PROVIDED	DENSITY %
RT 'E'	131,503 S.F.	3.019 AC.	RESTAURANT	6,441 S.F.	97 CARS	15.00 / 1000	98 CARS	15.22 / 1000	
			RETAIL	14,718 S.F.	59 CARS	4.00 / 1000	74 CARS	5.03 / 1000	
TOTAL	131,503 S.F.	3.019 AC.		21,159 S.F.	155 CARS		172 CARS	8.13 / 1000	16.09%

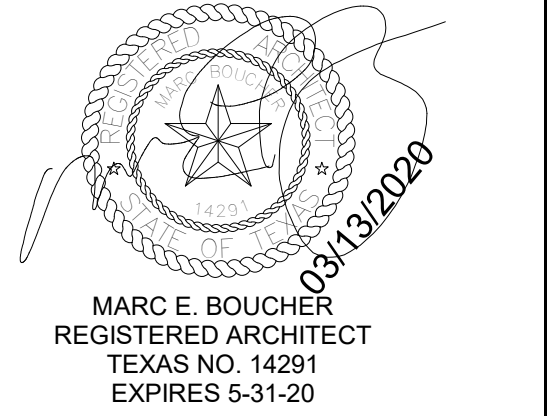
LOT COVERAGE AREA = 70,970 S.F.
LOT COVERAGE RATIO = 54%

ACCESSIBLE CAR PARKING: 05
ACCESSIBLE VAN PARKING: 02



Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com

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VIRGATA COMMONS BLDG. A ADDITION
FRIENDSWOOD, TX 77546

VIRGATA PROPERTY COMPANY

DATE	03/05/20
PROJECT NO.	1708704
DRAWN BY	BDG
CHECKED BY	BDG

SITE PLAN

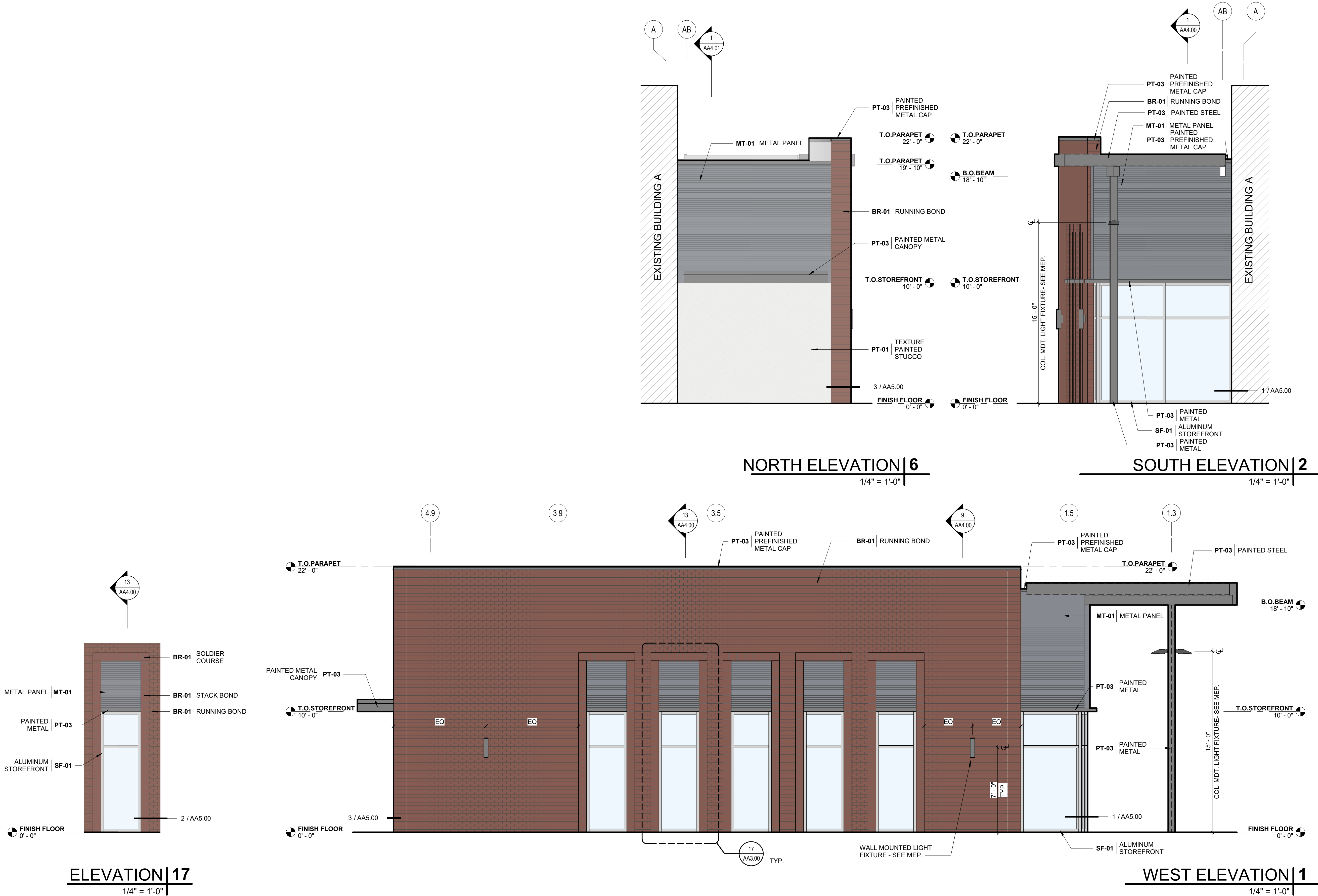
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C:\Users\guang\Documents\1708704_SOUTH FRIENDSWOOD DRIVE-18_guang@bdgap.com_guang@bdgap.com.rvt
4/22/2020 2:16:09 PM

NOTE: ELEVATIONS ARE NOW COLORED, BUT FOR CLARITY, ELEVATIONS ARE NOT CLOUDED.

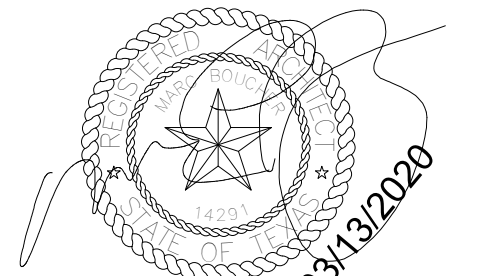
MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	COLOR
BR-01	MASONRY VENEER	GENERAL SHALE	COOPERSTOWN. MODULAR SIZE. MORTAR TO BE SPECTRUM TEXAS TAN N.
MT-01	METAL PANEL	MORIN CORP.	QUARTZ ZINC. MX 1.0 & 2.0 PROFILES.
MT-02	METAL PANEL	MORIN CORP.	REDWOOD. MX 1.0 & 3.0 PROFILES.
PT-01	PAINT	SHERWIN WILLIAMS	SW 7042 SHOJI WHITE
PT-02	PAINT	SHERWIN WILLIAMS	SW 7066 GRAY MATTERS
PT-03	PAINT	SHERWIN WILLIAMS	SW 7068 GRIZZLE GRAY
SF-01	ALUMINUM STOREFRONT	KAWNEER	CLEAR ANODIZED. IR 501T.
ST-01	LIMESTONE VENEER	TEXAS QUARRIES	CORDOVA CREAM. SMOOTH. 12" X 24". STACK BOND. MORTAR TO BE SPECTRUM HILL COUNTRY BUFF S.
TW-01	PAINTED TILT WALL, FORMLINER PANEL	FITZGERALD FORMLINERS	PAINTED CONCRETE TILT WALL, CAST WITH FITZGERALD FORMLINERS PATTERN 16020 ROUGH SAWN PLANK. PAINT PT-02.

ISSUE	DATE	DESCRIPTION
1	3-13-20	ISSUE FOR PERMIT
	4-17-20	CITY COMMENTS



Boucher Design Group LLC
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MARC E. BOUCHER
REGISTERED ARCHITECT
TEXAS NO. 14291
EXPIRES 5-31-20

VIRGATA COMMONS BLDG. A ADDITION

FRIENDSWOOD, TX 77546

VIRGATA PROPERTY COMPANY

DATE	03/05/20
PROJECT NO.	1708704
DRAWN BY	BDG
CHECKED BY	BDG

EXTERIOR ELEVATIONS

AA3.00
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GENERAL ELECTRICAL NOTES:

1. CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE, AND APPLICABLE CODES 2018 NEC, 2018 IBC, NFPA, ETC., AND ALL OTHER LOCAL CODES AND AMENDMENTS WHERE THERE ARE CONFLICTS BETWEEN CODES, STANDARDS, DRAWINGS AND SPECIFICATIONS ARISE, THE MORE STRINGENT SHALL APPLY.
2. ALL DRAWINGS AND SPECIFICATIONS (INCLUDING ARCHITECTURAL, MECHANICAL, PLUMBING, ETC) ARE DEVELOPED TO BE AN INCLUSIVE SET. ANY CONFLICTS WITHIN SHALL BE BROUGHT TO THE DESIGN'S TEAM ATTENTION. CONTRACTOR SHALL NOT MAKE ANY CHANGES TO THE DESIGN OR CONTRACT WITHOUT WRITTEN CONSENT FROM THE OWNER.
3. WORK SHALL BE INSTALLED IN A WORKMANLIKE FASHION. ALL EQUIPMENT AND MATERIALS SHALL BE NEW, FREE OF DEFECTS.
4. MAINTAIN THE CONSTRUCTION PREMISES IN A NEAT AND ORDERLY CONDITION. CONTRACTOR SHALL PROTECT THEIR WORK AGAINST WEATHER, THEFT, AND DAMAGE. ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION REQUIRED, SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE.
5. ALL PRODUCTS SHALL COMPLY WITH 25/50 FLAME AND SMOKE HAZARD RATINGS PER ASTM E-84, NFPA 255 AND UL 723.
6. ELECTRICAL DRAWINGS ARE SCHEMATIC IN NATURE, APPROXIMATE LOCATIONS OF EQUIPMENT AND CONDUIT ARE SHOWN. THE ELECTRICAL CONTRACTOR SHALL LAYOUT ALL EQUIPMENT ROOMS TO MAKE ENSURE PROPER CLEARANCES REQUIRED BY THE NEC, PRIOR TO ORDERING OF EQUIPMENT. EXACT LOCATION OF ALL EQUIPMENT SHALL BE VERIFIED IN THE FIELD.
7. SUBSTITUTIONS SHALL BE EVALUATED AND APPROVED BY OWNER AND ENGINEER PRIOR TO CONTRACTOR TO BEGINNING WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AMONG TRADES AND FULLY COORDINATE. ANY COSTS RESULTING FROM SUBSTITUTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. CONDUIT PENETRATIONS BETWEEN NON-CONDITIONED AND CONDITIONED SPACES SHALL BE SEALED TO ELIMINATE MOISTURE MITIGATION, SUCH AS BETWEEN INSIDE AND OUTSIDE BUILDINGS, NON-CONDITIONED BOILER ROOMS, INTO REFRIGERATORS / FREEZERS, ETC.
9. CITY NOTE : ELECTRICAL MATERIALS AND EQUIPMENT: NO ELECTRICAL MATERIALS, APPARATUS, DEVICES, APPLIANCES, FIXTURES, OR EQUIPMENT SHALL BE SOLD OR INSTALLED IN THE CITY UNLESS THEY ARE IN CONFORMANCE WITH THE PROVISIONS OF THIS CODE, THE LAWS OF THE STATE OF TEXAS AND ANY APPLICABLE RULES AND REGULATIONS ISSUED UNDER THE AUTHORITY OF THE STATE STATUTES. THE MAKER'S NAME, TRADEMARK, OR OTHER IDENTIFICATION SYMBOL SHALL BE PLACED ON ALL ELECTRICAL MATERIALS, APPARATUS, DEVICES, APPLIANCES, FIXTURES, AND EQUIPMENT USED OR INSTALLED UNDER THE PROVISIONS OF THIS CODE. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE LISTED AND LABELED FOR THE INTENDED USE AND SHALL BE INCLUDED IN A LIST PUBLISHED BY AN APPROVED AGENCY.

ELECTRICAL EQUIPMENT

1. ALL PACKAGED EQUIPMENT SHALL BE INDEPENDENTLY THIRD PARTY LABELED AS A SYSTEM FOR ITS INTENDED USE BY A (UL) IN ACCORDANCE WITH OSHA FEDERAL REGULATIONS, AS WELL AS NFPA PAMPHLET NO. 70, AND THE NATIONAL ELECTRICAL CODE (NEC).
2. ALL SYSTEMS SHALL BE A COMPLETE AND OPERABLE SYSTEM PROVIDE THE NECESSARY ADAPTORS, FITTINGS, DEVICES, ETC. PROVIDE COMPLETE WITH BASES, ISOLATORS, SUPPORTS AND OTHER REQUIRED ACCESSORIES.
3. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT AND DEVICES AS REQUIRED FOR PROPER FUNCTIONING SYSTEM.
4. CONTRACTOR SHALL COORDINATE THE REQUIREMENT OF HOUSEKEEPING PADS WITH GENERAL CONTRACTOR. ALL ELECTRICAL EQUIPMENT SHALL BE PROVIDED WITH A 4" HOUSEKEEPING PAD THAT EXTENDS A MINIMUM OF 4" ALL THE WAY AROUND THE EQUIPMENT.

LABELING

1. PROVIDE PERMANENTLY ADHERED PHENOLIC NAMEPLATES FOR ALL EQUIPMENT (PANEL BOARDS, SWITCHBOARDS, STARTERS, DISCONNECTS, BUSSED GUTTERS, ETC.) WITH BLACK PLATES AND WHITE 3/8" HIGH LETTERS. GUTTER SHALL LIST AMPERAGE AND VOLTAGE.
2. PROVIDE LABELING ON ALL DEVICE OUTLETS AND SWITCH COVERS INCLUDING THE PANEL NAME AND CIRCUIT NUMBER. LABELS SHALL BE CLEAR PLASTIC LABELS AND BLACK LETTERING.
3. CONDUCTORS IN PANELBOARDS SHALL BE LABELED WITH CIRCUIT NUMBER LABELS.

CUTTING AND PATCHING

1. CUTTING SHALL BE IN A NEAT AND WORKMANLIKE MANNER. COORDINATE WITH OTHER TRADES PRIOR TO COMMENCING WORK. PATCH AND FINISH TO MATCH ADJACENT AREAS.

CONDUCTORS

1. CONDUCTORS SHALL HAVE CONTINUOUS INSULATION COLOR, AS LISTED BELOW. CONDUCTORS SHALL BE SOFT ANNEALED COPPER INSULATED FOR 600 VOLTS UNLESS SPECIFICALLY INDICATED OTHERWISE.
- | | 208/120 VOLT SYSTEM | 240 VOLT SYSTEM | 480/277 VOLT SYSTEM |
|---------|---------------------|-------------------|---------------------|
| PHASE A | BLACK | BLACK | PURPLE |
| PHASE B | RED | ORANGE (HIGH-LEG) | BROWN |
| PHASE C | BLUE | RED | YELLOW |
| NEUTRAL | WHITE | WHITE | WHITE |
| GROUND | GREEN | GREEN | GREEN |
2. INSULATION TYPE SHALL BE TYPE THW FOR WIRE SIZES #8 AWG AND LARGER AND THWN FOR #10 AWG AND SMALLER. ALL EXTERIOR CONDUCTORS SHALL BE XHHW TYPE.
3. PROVIDE #12 CONDUCTORS, UNLESS OTHERWISE INDICATED. CONTROL CONDUCTORS SHALL BE #14 MINIMUM FOR NEC CLASS 1 AND #16 FOR NEC CLASS 11. CONDUCTORS #8 AWG AND LARGER SHALL BE STRANDED. CONDUCTORS #10 AWG AND SMALLER SHALL BE SOLID.
4. WIRE JOINT OR SPLICES IN SWITCHBOARDS OR PANELBOARDS ARE NOT ALLOWED, NOR ARE SPLICE FOR ANY DISTRIBUTION FEEDERS. SPLICES ONLY ALLOWED FOR DROPS TO DEVICES. FORM AND TIE ALL WIRING WITHIN BOARDS.

RACEWAYS

1. WIRE RUNS SHALL BE ACCORDING TO CODE IN INTERMEDIATE METAL CONDUIT (IMC) OR ELECTRICAL METALLIC TUBING (EMT) CABLING UNLESS OTHERWISE SPECIFICALLY STATED HEREIN. CONDUIT SHALL BE A MINIMUM OF 3/4" UNLESS OTHERWISE NOTED. CONDUIT IN EXPOSED LOCATIONS SHALL NOT BE ACCEPTABLE UNLESS OTHERWISE NOTES, REFER TO ARCHITECT.
2. RIGID, THREADED, GALVANIZED, HEAVY WALL TYPE CONDUIT SHALL BE UTILIZED IN EXTERIOR WALLS, AREAS EXPOSED TO THE WEATHER OR OTHER DAMP/WET LOCATIONS.
3. UTILIZE SCHEDULE 40 PVC CONDUIT WITH GROUND WIRE FOR UNDERGROUND APPLICATIONS. PVC CONDUIT SHALL NOT BE RUN IN OR ABOVE FLOOR SLAB. PVC CONDUIT SHALL TERMINATE BELOW FLOOR SLAB WITH RIGID, THREADED METAL CONDUIT ADAPTER. ALL CONDUIT ABOVE SLAB SHALL BE METAL AND SHALL BE CONCEALED IN WALLS, FLOORS AND CEILINGS WHEREVER POSSIBLE. PROVIDE RIGHT ANGLE TURNS USING FITTINGS OR SYMMETRICAL BENDS. SUPPORT CONDUITS WITHIN 1' OF ALL CHANGES IN DIRECTION.
4. MC MAY BE UTILIZED FOR EXISTING WALL SITUATIONS, 6' FOR LIGHTING WHIPS, OR WHERE APPROVED BY OWNER.
5. CONNECTIONS TO MOTORS AND OTHER EQUIPMENT SUBJECT TO VIBRATION AND IN AREAS SUBJECT TO MOISTURE SHALL UTILIZE LIQUID TIGHT METAL CONDUIT.
6. HORIZONTAL PORTIONS OF CONDUIT EXPOSED ON THE ROOF AND FEEDING EQUIPMENT SHALL NOT BE MORE THAN 5'-0" IN LENGTH.
7. LUBRICATION AND SEALANT IS REQUIRED ON OUTDOOR AND UNDERGROUND THREADED METAL JOINTS.
8. COORDINATE CONDUIT RUNS PRIOR TO ROUGH IN WITH OTHER TRADES AND AVOID INTERFERENCE.
9. USE WATERTIGHT JOINTS WITH BURIED AND CONCRETE ENCASED CONDUIT. ALL BURIED CONDUITS OUTSIDE OF BUILDINGS SHALL HAVE A MINIMUM OF 24" OF COVER. METAL CONDUITS BURIED IN EARTH SHALL BE PAINTED WITH TWO COATS OF HEAVY ASPHALTUM PAINT.
10. EXPOSED CONDUITS IN OPEN CEILING PUBLIC AREAS SHALL BE PAINTED TO MEET ARCHITECTURAL SPECIFICATION AND COLOR.

BOXES

1. INSTALL PULL AND JUNCTION BOXES WHERE REQUIRED FOR CHANGES IN DIRECTION, AT JUNCTION POINTS TO FACILITATE WIRE PULLING, AND WHERE SHOWN ON THE DRAWINGS. BOX SIZES SHALL BE IN ACCORDANCE WITH NEC UNLESS LARGER BOXES ARE NOTED.
2. FOR INTERIOR CONCEALED LOCATIONS - USE SHEET STEEL BOXES, ZINC COATED OR CADMIUM PLATED.
3. WALL BOX SIZES SHALL BE MINIMUM 4" SQUARE X 2-1/2" DEEP. FIXTURE OUTLETS IN CEILING SHALL BE MINIMUM 4" OCTAGONAL X 1-1/2" DEEP (4-11/16" OCTAGONAL X 2-1/2" DEEP WHERE REQUIRED TO ACCOMMODATE LARGER CONDUIT OR LARGER NUMBER OF WIRES). GANG BOXES SHALL BE ONE PIECE MINIMUM 2-1/8" DEEP.
4. PROVIDE FLUSH MOUNT BOXES IN ALL FINISHED WALLS. INSTALL THE PLASTER RINGS IN DRYWALLED WALLS AND RAISED COVERS AS REQUIRED IN WALLS WITH OTHER FINISHES SO THAT THE COVER PLATES FIT TIGHTLY AGAINST BOXES OR RINGS. 3/16" MAXIMUM GAPS ARE ALLOWED FOR NONCOMBUSTIBLE WALLS. SUPPORT ALL BOXES TO MAINTAIN PROPER ALIGNMENT AND RIGIDITY. PRIOR TO THE INSTALLATION OR WIRING OR DEVICES, CLEAN BOXES OF ALL FOREIGN MATTER.

DEVICES

1. PROVIDE TOTALLY ENCLOSED, SPECIFICATION GRADE, 20 AMPERE, 120/277 VOLT QUIET A/C GENERAL USE SWITCHES MANUFACTURED BY HUBBELL OR OTHER APPROVED MANUFACTURER. PROVIDE SPECIFICATION GRADE NEMA CONFIGURATION 5-20R DUPLEX 125-VOLT GROUNDING TYPE RECEPTACLES UNLESS OTHERWISE NOTED ON THE DRAWINGS. MANUFACTURED BY HUBBELL OR OTHER APPROVED MANUFACTURER.
2. LIGHTING SWITCHES SHALL BE MOUNTED WITHIN 6" OF DOOR JAM ON STRIKE SIDE UNLESS APPROVED OTHERWISE.
3. LOCATE RECEPTACLES APPROXIMATELY 1'-6" ABOVE THE FINISHED FLOOR ELEVATION OR NEAREST BLOCK COURSE (WITHIN ADA REQUIREMENTS), UNLESS OTHERWISE NOTED. THE LONG DIMENSION OF THE RECEPTACLE SHALL BE VERTICAL. ALL DEVICES SHALL BE FLUSH MOUNTED U.N.O. GROUND PIN SHALL BE MOUNTED UP (OR NEUTRAL UP IF HORIZONTALLY INSTALLED) RECEPTACLES IN KITCHEN AREAS, BATHROOMS, AND RECEPTACLES WITHIN 6' OF SINKS SHALL BE GFCI TYPE (NOT WIRED IN SERIES, SEE NOTE 6). ALL DEVICES INSTALLED OUTDOORS SHALL BE WEATHERPROOF AND GFCI PROTECTED.
4. CONTRACTOR TO PROVIDE "PIG TAIL" SPLICES TO ALL RECEPTACLE DEVICES (DO NOT WIRE IN SERIES THRU THE DEVICE) - SEE DETAILS.

GROUNDING

1. GROUND ALL EQUIPMENT PER NEC.
2. GROUND EACH OUTSIDE LIGHTING STANDARD SEPARATELY WITH ONE GROUND ROD AND A #6 GROUND WIRE.
3. ALL CONDUITS SHALL CONTAIN A CODE SIZED GROUND WIRE SIZE PER NEC IN ADDITION TO THE CONDUCTORS SHOWN ON THE PLANS. WHERE CIRCUIT CONDUCTORS ARE INCREASED IN SIZE THE GROUND WIRE SIZE SHALL BE INCREASED PROPORTIONALLY.

STARTUP AND INSTRUCTIONS

1. AFTER INSTALLATION, CHECK ALL EQUIPMENT, AND PERFORM START UP IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. NOTIFY ENGINEER OF ALL START-UP. ALL EQUIPMENT SHALL BE ONE AND OPERATIONAL AT COMPLETION OF PROJECT.
2. TESTS SHALL INCLUDE THE FOLLOWING:
- o MEASURE THE LOAD ON EACH PHASE OF THE MAIN SERVICE AND EACH PHASE OF EVERY FEEDER UNDER FULL LOAD CONDITIONS
 - o MEASURE THE NO-LOAD AND FULL-LOAD VOLTAGES (PHASE TO PHASE, PHASE TO NEUTRAL AND PHASE TO GROUND FOR EACH PHASE OF EACH SERVICE, OF EACH SEPARATELY DERIVED SYSTEM, AND AT EACH PANELBOARD OR TRANSFORMER).
 - o MEASURE THE GROUND RESISTANCE OF THE MAIN SERVICE GROUNDING ELECTRODE AND THE GROUND RESISTANCE OF EACH SEPARATELY DERIVED SYSTEMS GROUNDING ELECTRODE
 - o MAKE INSULATION RESISTANCE TESTS ON ALL DRY TYPE TRANSFORMERS AND MOTORS.
3. CLEAN ALL ELECTRICAL EQUIPMENT AND FIXTURES PRIOR TO PROJECT COMPLETION.
4. PROVIDE OWNER TRAINING AND DEMONSTRATION OF ALL ELECTRICAL SYSTEMS AND EQUIPMENT.
5. INSTRUCT OWNER ON PROPER OPERATION AND PREVENTATIVE MAINTENANCE OF SYSTEM. SUBMIT OPERATING AND MAINTENANCE MANUAL ON ALL EQUIPMENT AND SYSTEMS.

MISCELLANEOUS

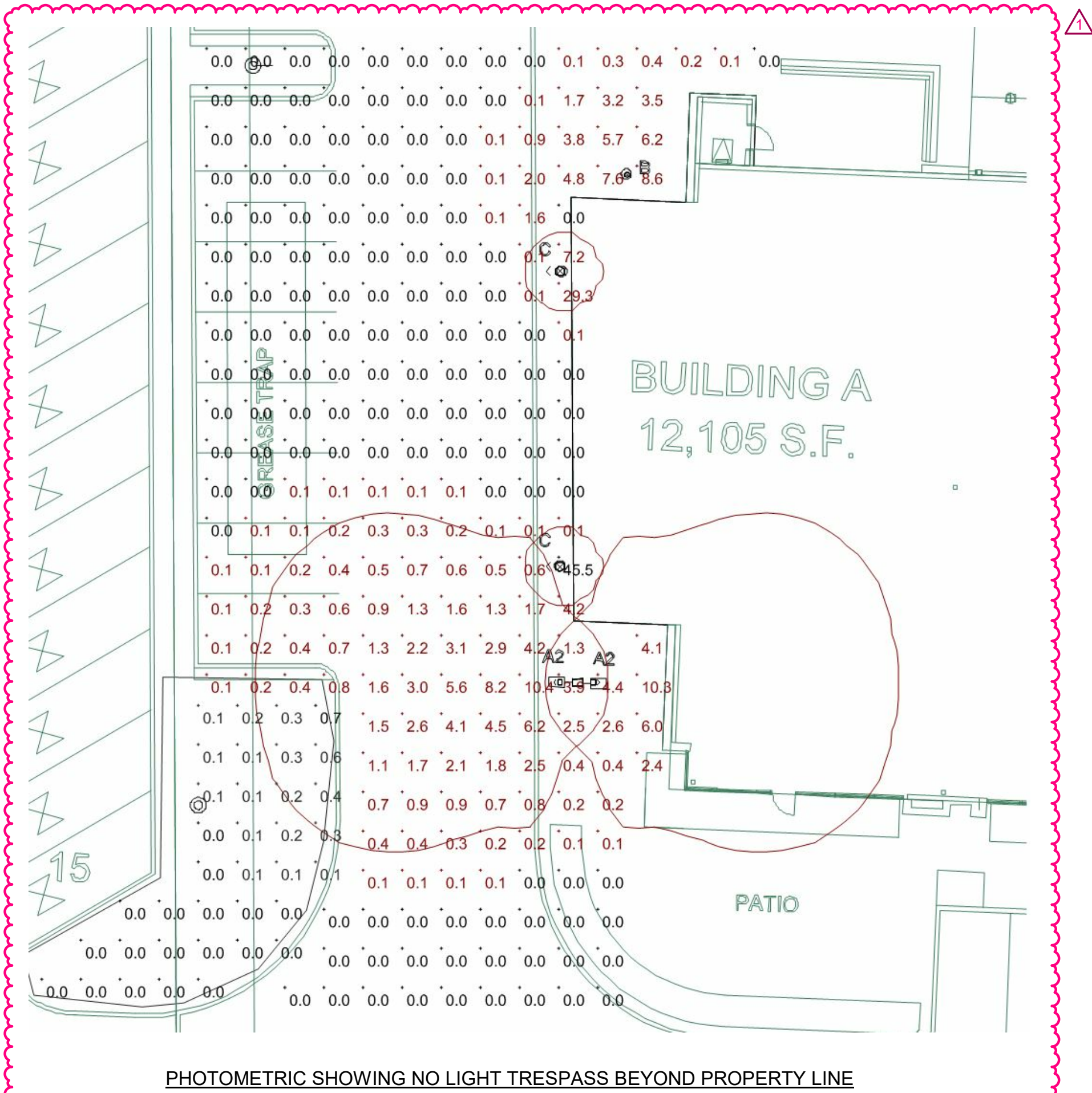
1. ALL GENERATOR TRANSFER DEVICES (GTD'S), IF APPLICABLE, ARE TO BE MOUNTED ABOVE ACCESSIBLE CEILINGS AT A LEVEL WHICH CAN BE REACHED WITHOUT A LIFT (UNDER 15').
2. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING 120V POWER TO ALL LOW VOLTAGE TRANSFORMERS (PROVIDED BY THE PLUMBING CONTRACTOR), FOR AUTOMATIC FLUSH VALVES, TO EITHER THE CIRCUIT NOTED ON THE PLANS OR THE NEAREST RECEPTACLE CIRCUIT.

WARRANTY

1. FULLY WARRANT ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE OR AS REQUIRED IN SPECIFICATIONS. EXTEND ALL MANUFACTURER'S WARRANTIES TO OWNER, INCLUDING ALL EXTENDED WARRANTIES.
2. REPAIR OR REPLACE WITHOUT CHARGE TO THE OWNER ALL ITEMS FOUND DEFECTIVE DURING THE WARRANTY PERIOD. IN THE CASE OF REPLACEMENT OR REPAIR DUE TO FAILURE WITHIN THE WARRANTY PERIOD, THE WARRANTY ON THAT PORTION OF THE WORK SHALL BE EXTENDED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF SUCH REPLACEMENT OR REPAIR.

PAINTING

1. THE ELECTRICAL CONTRACTOR WILL MAKE EVERY ATTEMPT TO CONCEAL CONDUITS TO FULLEST EXTENT. WHERE NO POSSIBLE THE CONTRACTOR WILL PAINT ALL CONDUITS (POWER, DATA, FIRE ALARM, LOW VOLTAGE, ETC) BLACK OR AS DIRECTED BY THE ARCHITECT.



LIGHT FIXTURE SCHEDULE

CONTRACTOR SHALL COORDINATE WITH ARCHITECT/OWNER FOR ALL FINAL SELECTIONS, LOCATIONS, QUANTITIES, ETC.						
TYPE	MODEL NUMBER	MOUNTING	VOLT	WATTS	LAMPS	DESCRIPTION
A2	BEGA 24351-XX	COLUMN	277	25	LED	LED COLUMN LUMINAIRE. VERIFY TO MATCH PHASE ONE BUILDING COLOR TEMPERATURE PRIOR TO ORDER
B	BEGA 66984-K4-XX	CEILING/ CANOPY	277	37	LED	SURFACE MOUNTED LED DOWNLIGHT. VERIFY COLOR TEMPERATURE TO MATCH PHASE 1 BUILDING. ROUTE CONDUIT ABOVE THE CANOPY INSIDE INSULATION AND PENETRATE CANOPY AT EACH LIGHT FIXTURE.
C	BEGA 66519	WALL	277	25	LED	LED WALL SCNCE. VERIFY TO MATCH PHASE ONE BUILDING PRIOR TO ORDER

GENERAL NOTES:

1. REFER TO ARCHITECTURAL PLANS FOR GRID/FLANGE AREAS, PRIOR TO BIDDING OF LIGHT FIXTURES. CONTRACTOR IS RESPONSIBLE FOR QUANTITY OF EACH.
2. COORDINATE MOUNTING HEIGHT OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.
3. PROVIDE AN ADDITIONAL NON-SWITCHED HOT LEG TO ALL EMERGENCY FIXTURES FOR BATTERY CHARGING AND POWER-LOSS DETECTION. PROVIDE AN EXTRA HOT AND SPLICE AROUND CONTRACTORS/CONTROLLERS IF NECESSARY.
4. ALL EXIT SIGNS ARE TO BE NON-SWITCHED.
5. ALL FIXTURE SUBSTITUTIONS SHALL BE SUBMITTED TO THE A/E PRIOR TO BID. EQUALS MUST CONFORM TO LUMENS PER WATT AND PHOTOMETRIC PERFORMANCE.

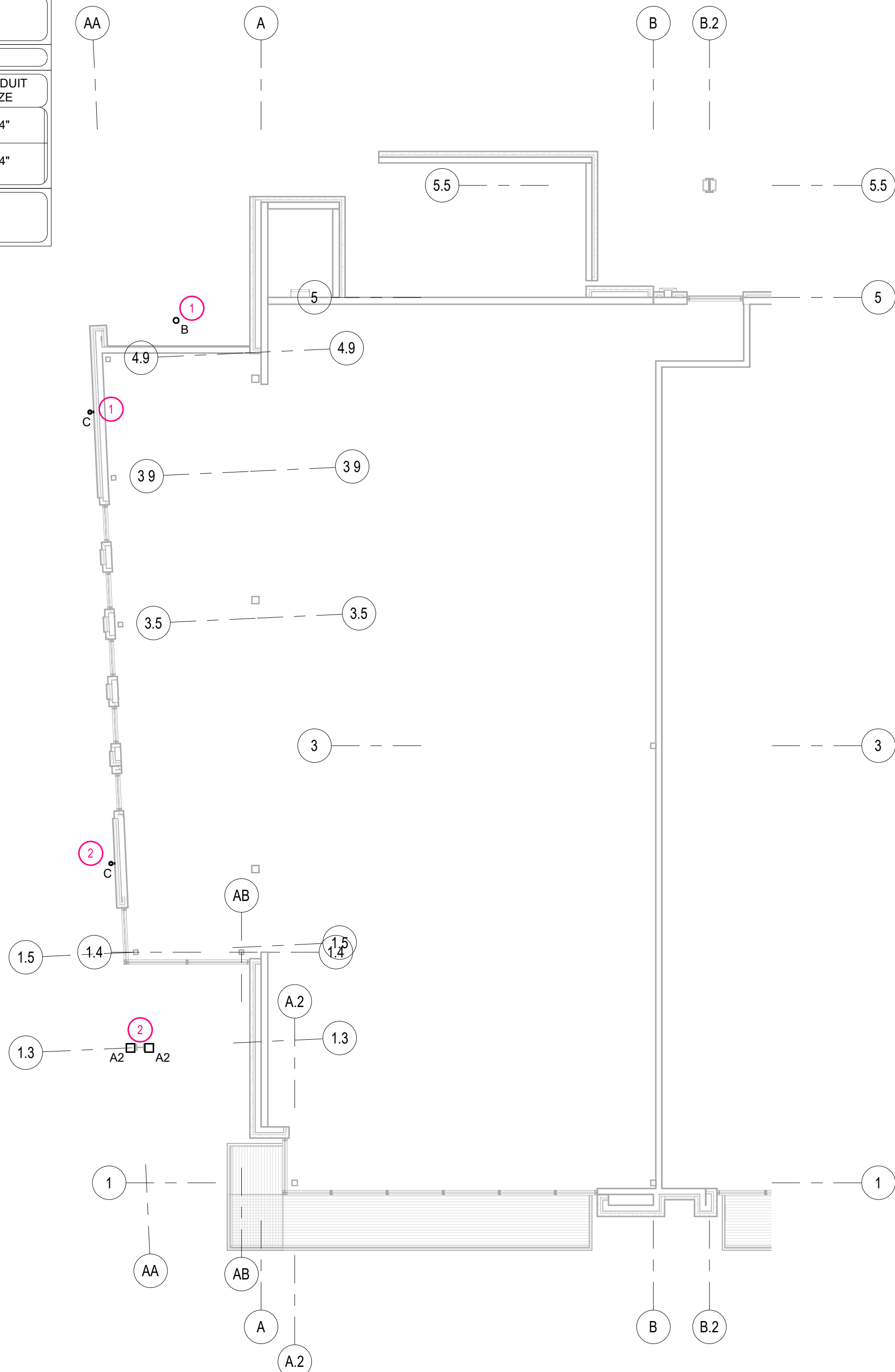
ELECTRICAL KEYED NOTES

1. THE ELECTRICAL CONTRACTOR SHALL LOCATE THE EXISTING RELAY CONTROLLED LIGHTING CIRCUIT, AND PROVIDE A SPLICE TO POWER THESE LIGHT FIXTURES FROM THE EXISTING CONTROLLED CIRCUIT. DOCUMENTATION SHOWS THIS TO BE CIRCUIT NUMBER HA-9. VERIFY IN THE FIELD WITH REAL WORLD CONDITIONS.
2. THE ELECTRICAL CONTRACTOR SHALL LOCATE THE EXISTING RELAY CONTROLLED LIGHTING CIRCUIT, AND PROVIDE A SPLICE TO POWER THESE LIGHT FIXTURES FROM THE EXISTING CONTROLLED CIRCUIT. DOCUMENTATION SHOWS THIS TO BE CIRCUIT NUMBER HA-1. VERIFY IN THE FIELD WITH REAL WORLD CONDITIONS.

FEEDER SCHEDULE

CONDUIT WITH COPPER CONDUCTORS				
TAG	SETS	QUANTITY / AWG	GROUND / AWG	CONDUIT SIZE
20 (20D)	1	4#12 3#12	#12	3/4"
30 (30D)	1	4#10 3#10	#10	3/4"

ALL PANELS SHALL BE INSTALLED WITH INTEGRAL TVSS - 400A AND LESS SHALL HAVE 60 KA / MODE
SEE GENERAL SPECS FOR MORE CONDUCTOR REQUIREMENTS.



ISSUE	DATE	DESCRIPTION
1	4-17-20	CITY COMMENTS



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GK ENGINEERS, LLC
TEXAS-REG # F-18854
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FRIENDSWOOD SHOPPING CENTER
FRIENDSWOOD, TX 77546

VIRGATA PROPERTY COMPANY

DATE	02/12/2020
PROJECT NO.	1708700
DRAWN BY	JPI
CHECKED BY	DAG

FLOOR PLAN -
LIGHTING

E301
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FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2020

Subject: Consideration and possible action regarding the site plan for Friendswood Retail Shell Building to be located at 1720 S. Friendswood Drive.

Action: Significant

SUMMARY / ORIGINATING CAUSE

This proposed building will be located at 1720 S. Friendswood Drive. It is an existing detention pond that has been approved, by both the city and Galveston County Consolidated Drainage District, to be filled in and used for commercial development.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Development of this tract will eliminate an unattractive, fenced detention pond fronting FM 518/S. Friendswood Drive. It will improve the aesthetics of the major thoroughfare with a new building and attractive landscaping.

RECOMMENDATIONS

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department. The proposed project appears to compliance with current city codes.

This plan is subject to approval by the Planning and Zoning Commission.

ATTACHMENTS

1. Compliance Memo_Retail Shell Building
2. Cover Sheet_Retail Shell Building
3. Site Plan_Retail Shell Building
4. Landscape Plan_Retail Shell Building
5. Colored Rendering_Retail Shell Building
6. Elevations_Retail Shell Building
7. Dumpster_Retail Shell Building
8. Photometric_Retail Shell Building

Memo

To: Planning and Zoning Commission

From: Becky Bennett, Development Coordinator

Date: May 6, 2020

Re: Friendswood Retail Shell Building Commercial Site Plan

Project Description: This proposed building will be located at 1720 S. Friendswood Drive. It is an existing detention pond that has been approved, by both the city and Galveston County Consolidated Drainage District, to be filled in and used for commercial development.

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department. The proposed project appears to compliance with current city codes.

This plan is subject to approval by the Planning and Zoning Commission.

PROJECT DIRECTORY

OWNER:
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CONTACT: PEDRO GARCIA

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HOUSTON, TEXAS 77064
PH (281) 664-1900
CONTACT: ISRAEL MORENO

LANDSCAPE ARCHITECT:
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HOUSTON, TX 77042
PH (800) 680-6630
CONTACT: RODNEY MCNABB

GENERAL CONTRACTOR:
CTC CONTRACTORS
3200 NORTH FREEWAY
HOUSTON, TX 77009
PH (713) 936-1970
CONTACT: JOSH CRESCENZI

TEXAS WINDSHIELD INSPECTOR:
TO BE DETERMINED

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FRIENDSWOOD, TX 77546
(281)996-3335

APPROVAL OF SITE PLAN WILL EXPIRE 1 YEAR AFTER CITY APPROVAL

FRIENDS WOOD UTILITY INFORMATION

BEFORE YOU DIG.....811

COMMUNITY DEVELOPMENT (281)996-3201

- CULVERT INSTALLATION IS THE RESPONSIBILITY OF THE OWNER/BUILDER - A DEVELOPMENT PERMIT IS REQUIRED.
- FLOOD PLAIN QUESTIONS
- DEVELOPMENT PERMITS
- SCHEDULE BUILDING INSPECTIONS

PUBLIC WORKS (281)996-3308

- WATER AND SEWER LINE LOCATES
- STREETS AND DRAINAGE

UTILITIES : CONSTRUCTION

CENTERPOINT ENERGY

ELECTRIC BUILDER'S HOTLINE (713)207-4370
GAS BUILDER'S HOTLINE (713)270-1111 x9526
INDIVIDUALS ACTING AS CONTRACTOR (713)659-2111

TEXAS NEW MEXICO POWER CO.

NEW CONSTRUCTION (281)996-0453

UTILITIES : FOR CUT LINES

CENTERPOINT ENERGY (ELECTRIC) (713)207-2222
CENTERPOINT ENERGY (GAS) (713)207-1111 x8758
COMCAST CABLE (713)341-1000

TXDOT (409)978-2553 or (409)978-2559

DEFERRED PERMITS

- STEEL BUILDING DESIGN BY PEMB PROVIDER, INCLUDING CANOPIES.
- FOUNDATION DESIGN BY PEMB PROVIDER.

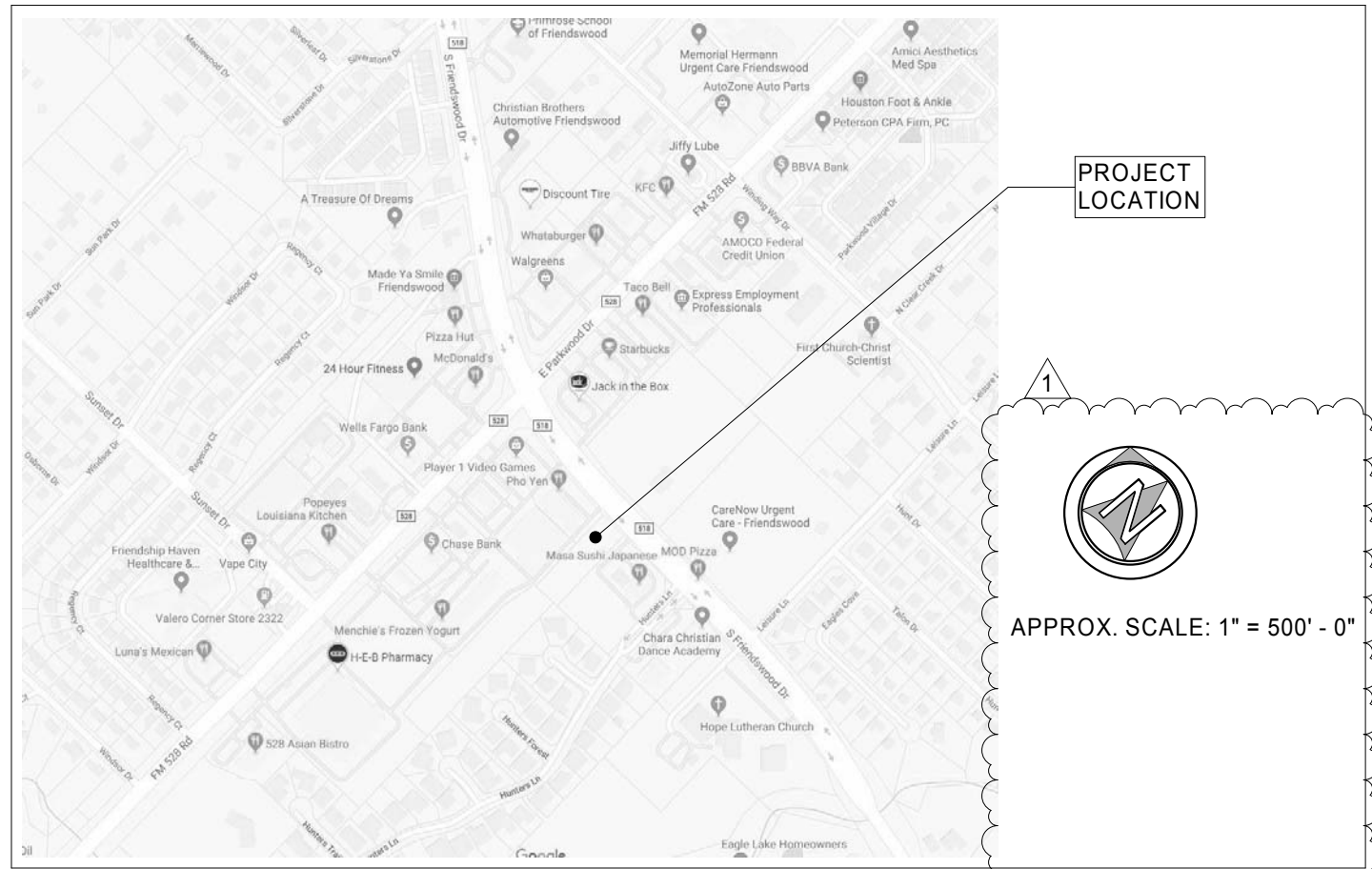
RETAIL SHELL BUILDING

A PROJECT FOR CTC CONTRACTOR

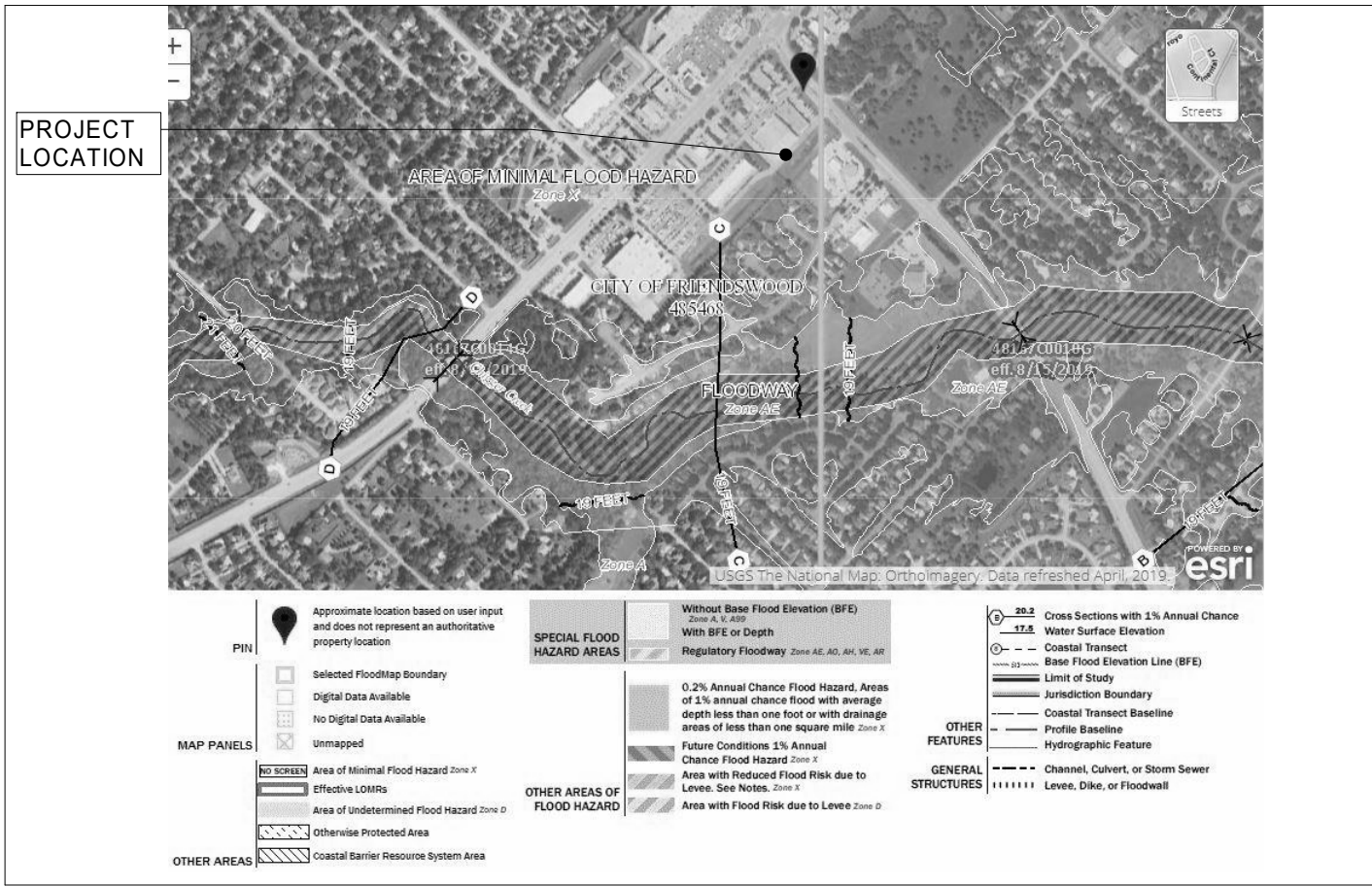
1720 S.FRIENDSWOOD DR.
FRIENDSWOOD, TX 77546



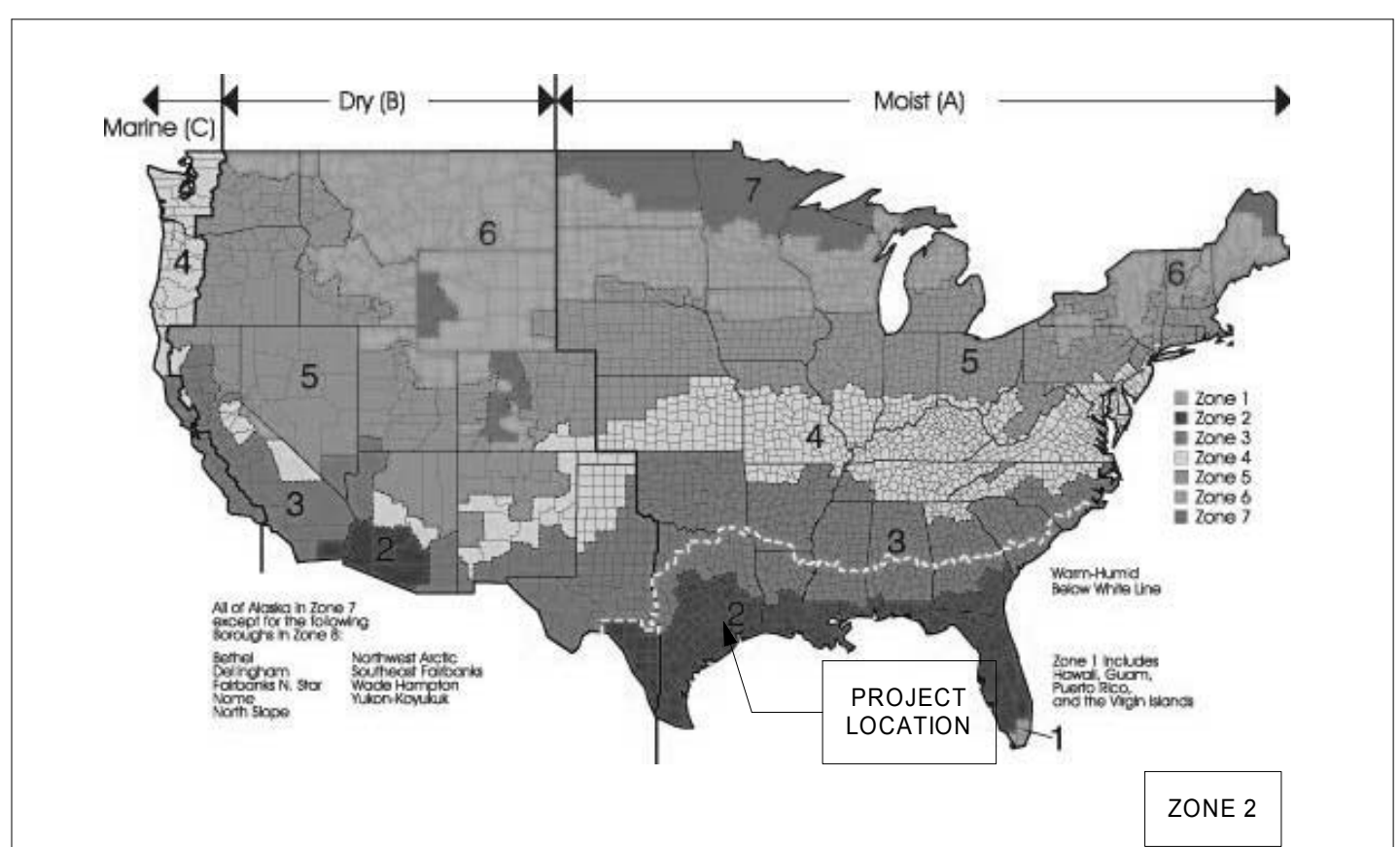
AERIAL PLAN EXPOSURE CATEGORY: B



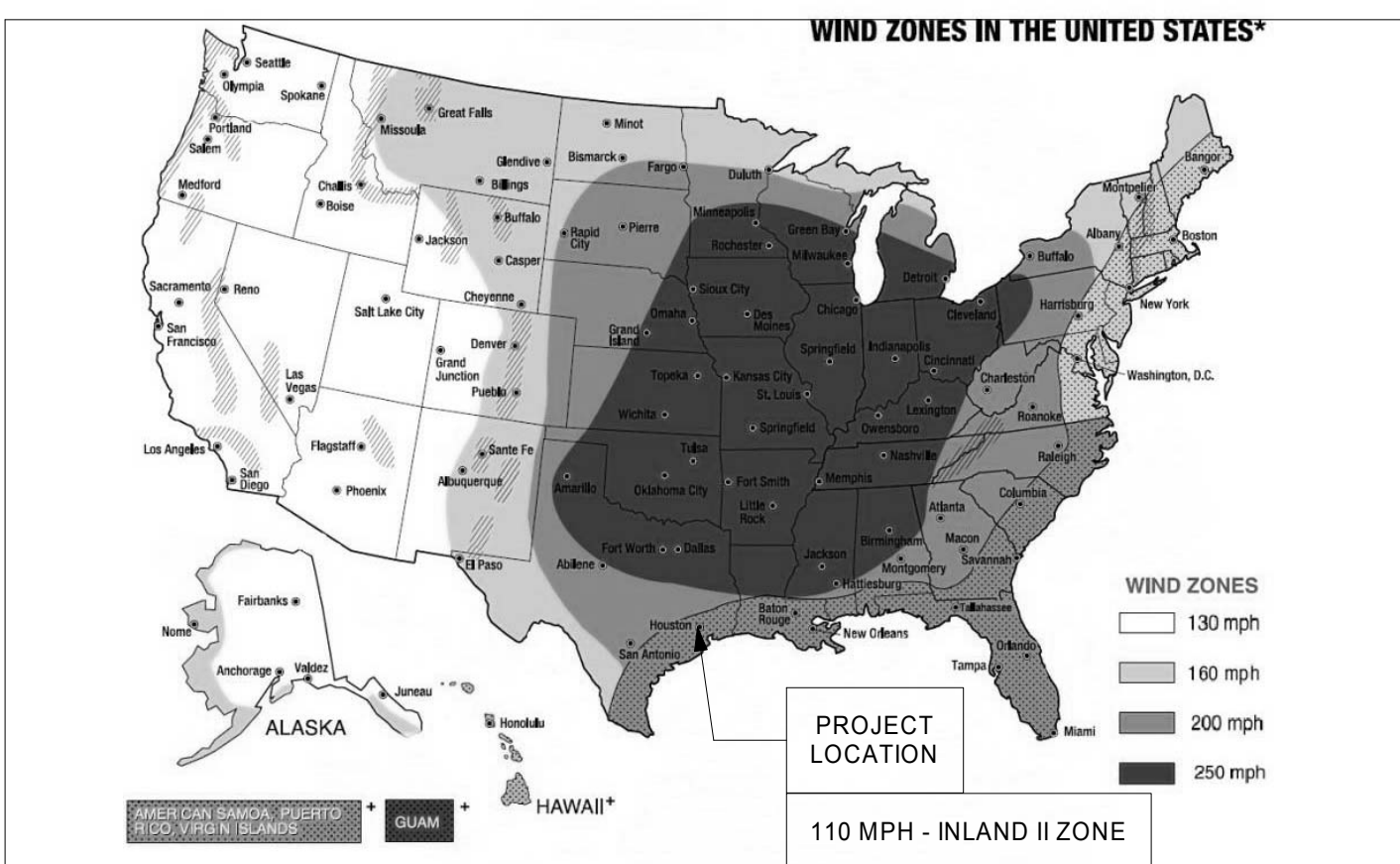
FLOOD PLAIN MAP



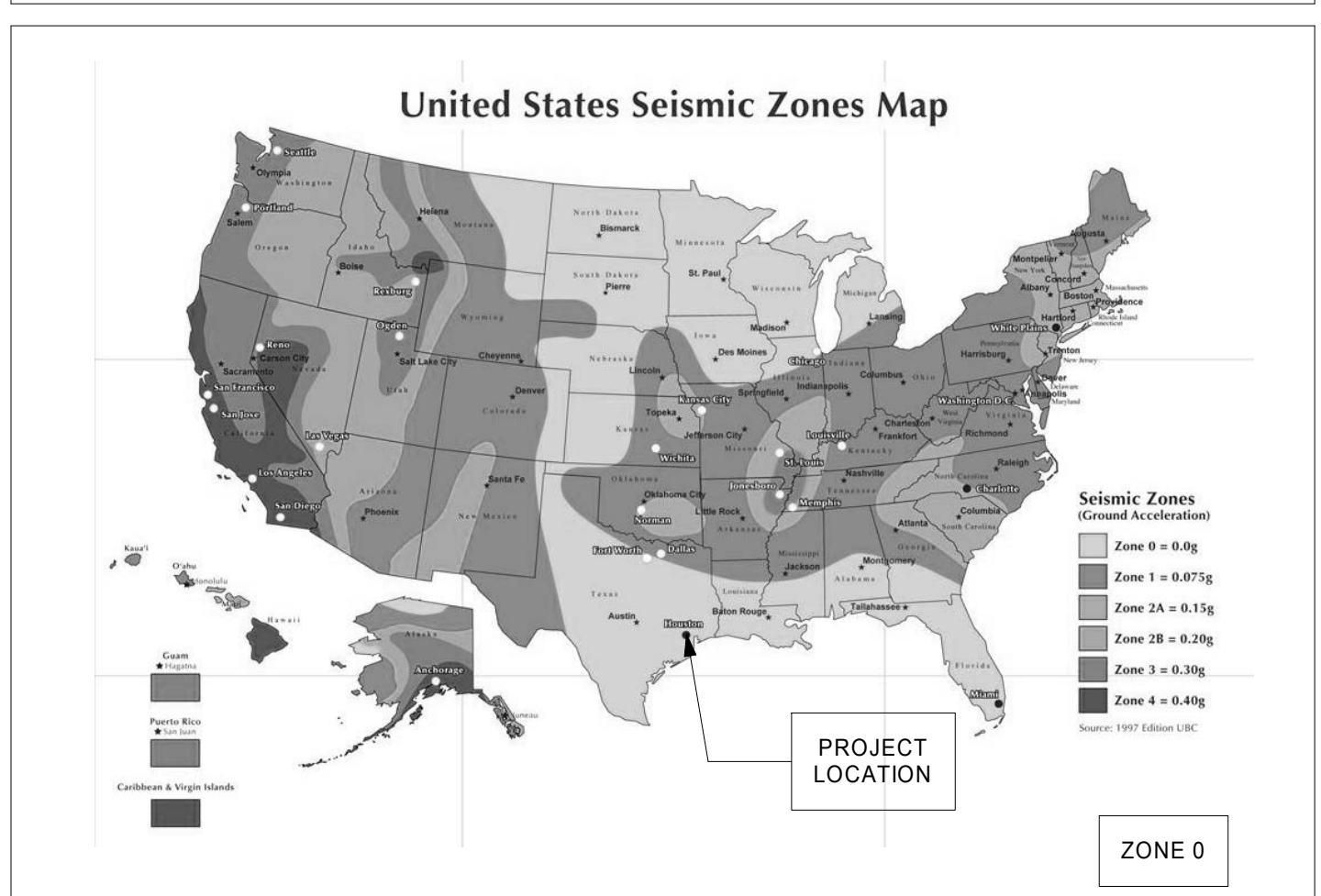
CLIMATE ZONE MAP 2015 I.B.C.



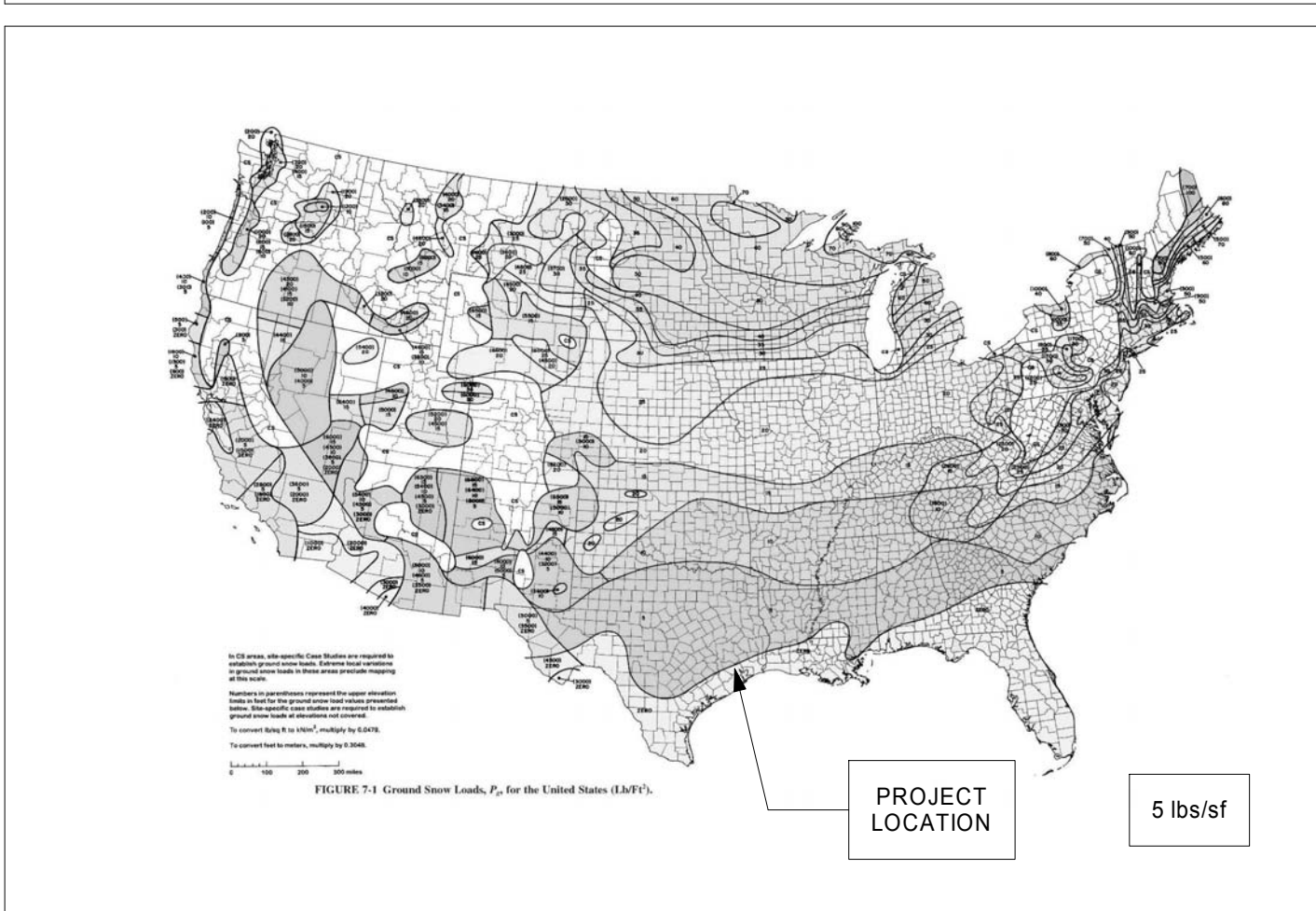
WIND ZONE MAP



SEISMIC ZONE MAP 2014 USGS



SNOW LOAD MAP



ACCESSIBILITY NOTES

WHILE IT IS THE INTENT OF THE ARCHITECT, HIS EMPLOYEES, AND ASSIGNS TO ADHERE TO ALL ASPECTS AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND LOCAL ACCESSIBILITY CODES, THE CONTRACTOR SHALL NOT BE RELIEVED OF SOLE RESPONSIBILITY TO VERIFY ALL REQUIREMENTS OF SAID ACTS AS PERTAINING TO CONTRACT DOCUMENTS CONTAINED HEREIN PRIOR TO COMMENCEMENT OF ANY WORK. HE SHALL ALSO BE RESPONSIBLE TO IMMEDIATELY NOTIFY DESIGNER OF POSSIBLE DISCREPANCIES. HE SHALL ALSO PAY SPECIAL ATTENTION TO ITEMS LISTED BELOW.

- THE BOTTOM 10" OF ALL DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST.
- NO THRESHOLD SHALL EXCEED 1/2" IN HEIGHT.
- HAND-OPERATED DOOR OPENING HARDWARE SHALL NOT REQUIRE TIGHT GRASPING OR TWISTING OF THE WRIST IN ORDER TO OPERATE, AND SHALL BE MOUNTED NO HIGHER THAN 48" A.F.F.
- MAXIMUM FORCE REQUIRED TO OPEN EXTERIOR DOORS SHALL NOT EXCEED 5 LBS. MAXIMUM FORCE REQUIRED TO OPEN INTERIOR DOORS SHALL NOT EXCEED 5 LBS.
- IF A DOOR HAS A CLOSER, THEN CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- FAUCET CONTROL AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS. LEVER OPERATED, FLUSH TYPE AND ELECTRONICALLY OPERATED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. IF SELF-CLOSING VALVES ARE USED, THE FAUCET SHALL REMAIN OPEN FOR A MINIMUM OF 10 SECONDS.
- PROVIDE SIGNAGE WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY IN ACCORDANCE WITH ANSI A117.1 (LATEST EDITION) AND ADA REQUIREMENTS.
- SIGNAGE HEIGHT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL ACCESSIBILITY CODES.



CTC CONTRACTORS

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HOUSTON, TX 77009
PH: (713) 936 - 1970

Δ DATE:	ISSUE:
03.05.2020	CONSTRUCTION SET
04.13.2020	CITY COMMENTS



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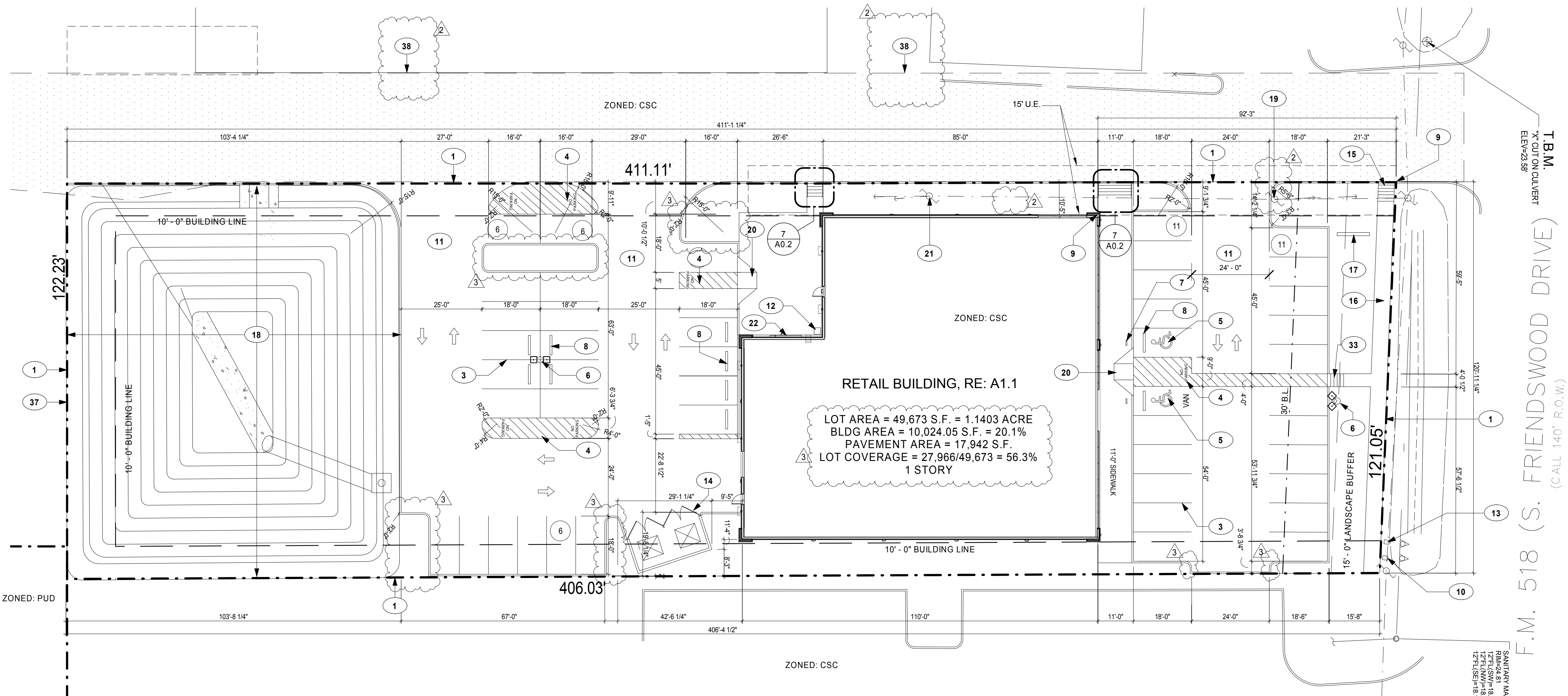
FRIENDSWOOD RETAIL

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FRIENDSWOOD, TX 77546

Project Number: 19127 Sheet Size: 24 x 36
Date / Time Plotted: 4/14/2020 12:21:10 PM
Drawn By: JZ/IA Checked By: BP/SR/MK
Project Phase: CONSTRUCTION SET

TITLE SHEET

G0.0



NOTES TO SHEET

- PROPERTY LINE.
- CONCRETE STEPS & RAILING, RE: 7 | A0.2
- 4" WIDE, WHITE PAINTED PARKING STRIPES, TYP.
- ACCESS AISLE REQUIREMENTS; THE WORDS "NO PARKING" PAINTED ON ANY ACCESS AISLE ADJACENT TO THE PARKING SPACE. THE WORDS MUST BE PAINTED IN ALL CAPITAL LETTERS, WITH A LETTER HEIGHT OF AT LEAST ONE (1) FOOT, A STROKE WIDTH OF AT LEAST TWO (2) INCHES, AND CENTERED WITHIN EACH ACCESS AISLE ADJACENT TO THE PARKING SPACE. TO INCLUDE: 4" WIDE WHITE PAINTED AISLE STRIPES (NO PARKING AREA) 2'-0" O.C. AT 45 DEGREES TO PARKING STRIPES.
- PAINTED ACCESSIBLE SYMBOL, RE: 4 | A0.1
- SITE LIGHT POLE.
- ACCESSIBLE SIGNAGE DETAILS TO FOLLOW 2020 FRIENDSWOOD DESIGN CRITERIA; AT A MINIMUM STATE "VIOLATORS SUBJECT TO FINE AND TOWING" IN A LETTER HEIGHT OF AT LEAST ONE INCH, BE MOUNTED ON A POLE, POST, WALL OR FREESTANDING BOARD. BE NO MORE THAN EIGHT (8) INCHES BELOW A SIGN REQUIRED BY TEXAS ACCESSIBILITY STANDARDS, 502.6. BE INSTALLED SO THE BOTTOM EDGE OF THE SIGN IS NO LOWER THAN FOUR (4) FEET AND NO HIGHER THAN SIX (6) FEET ABOVE GROUND LEVEL.
- 8"W X 6"H CONCRETE WHEELSTOP, RE: 6 | A0.1.
- POINT OF ORIGIN FOR BUILDING LOCATION
- 1 - 1" WATER METER (FOR IRRIGATION SYSTEM).
- PROPOSED CONCRETE PAVING, RE: CIVIL DWGS.
- GAS STUB LOCATION, COORDINATE WITH GAS UTILITY, RE: MEP.
- 1 - 2" WATER METER.
- DUMPSTER ENCLOSURE, RE: DUMPSTER PLANS 1 | A0.2
- ACCESSIBLE CURB RAMP, RE: CIVIL.
- 5' - 0" CONCRETE SIDEWALK, RE: CIVIL.
- MONUMENT SIGN LOCATION, RE: ELECTRICAL. SIGN IS NOT IN SCOPE.
- STORM DETENTION, RE: CIVIL.
- POLE MOUNTED TRANSFORMERS TO BE INSTALLED ON EXISTING UTILITY POLE, RE: MEP. UNDERGROUND UTILITIES AS REQ. BY THE COMMUNITY OVERLAY DISTRICT.
- ACCESSIBLE RAMP, RE: 2 | A0.1.
- EXISTING UTILITY POLE & DOWN GUYS.
- ELECTRICAL METERING GUTTER AND HOUSE SERVICE DISCONNECT LOCATION.
- ACCESSIBLE CURB RAMP, RE: CIVIL.
- 5' - 0" CONCRETE SIDEWALK, RE: CIVIL.
- MONUMENT SIGN LOCATION, NOT TO EXCEED 7' - 0", RE: ELECTRICAL. SIGN IS NOT IN SCOPE. WILL BE SUBMITTED FOR SEPARATE PERMIT APPROVAL.
- STORM DETENTION, RE: CIVIL.
- REMOVE EXISTING WOOD FENCE ADJACENT TO DETENTION POND.
- APPARENT RECIPROCAL ACCESS EASEMENT G.C.C.F. NO. 9617593 AND 2002018355 (SHOWN WITH DOT SCREEN).

PARKING TABLE

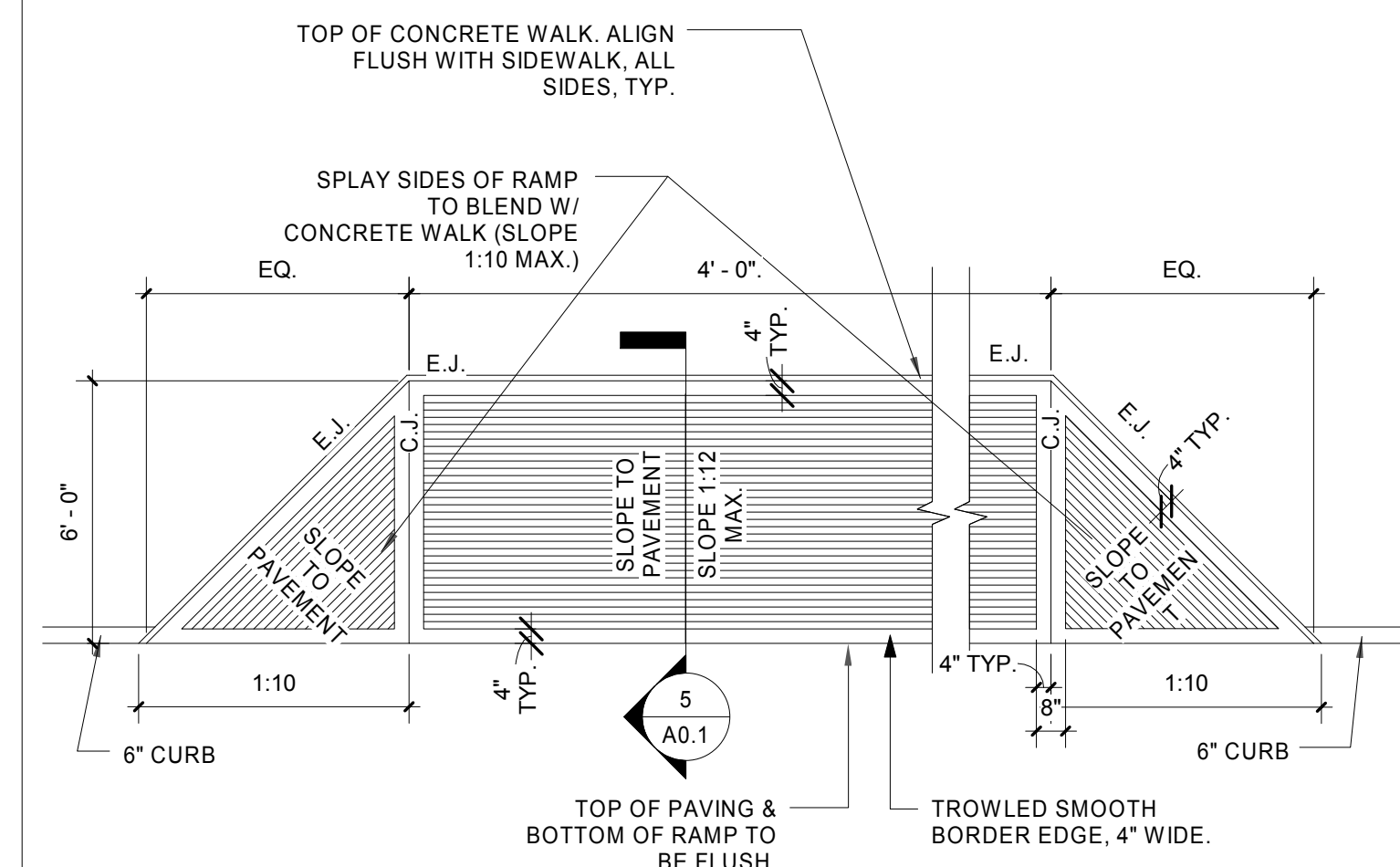
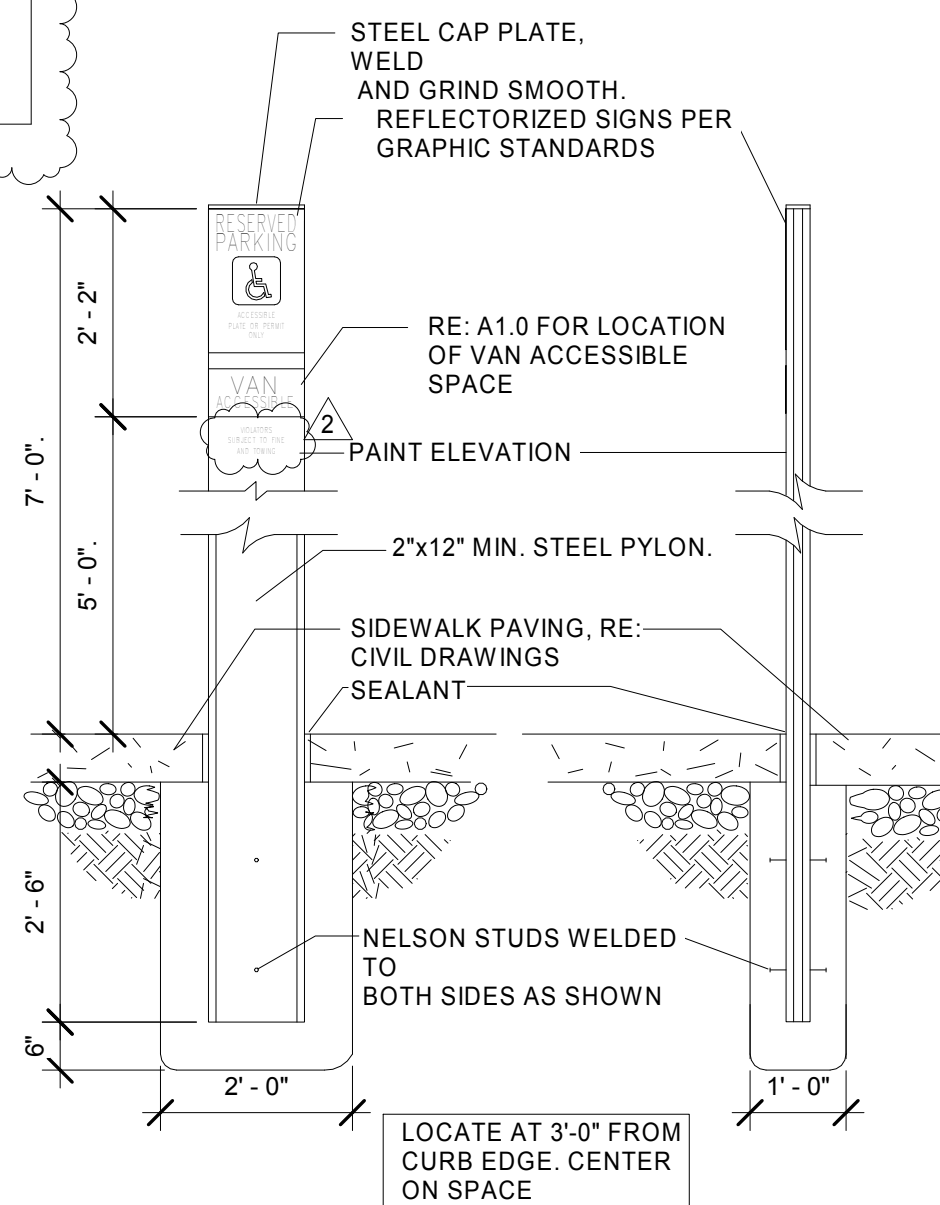
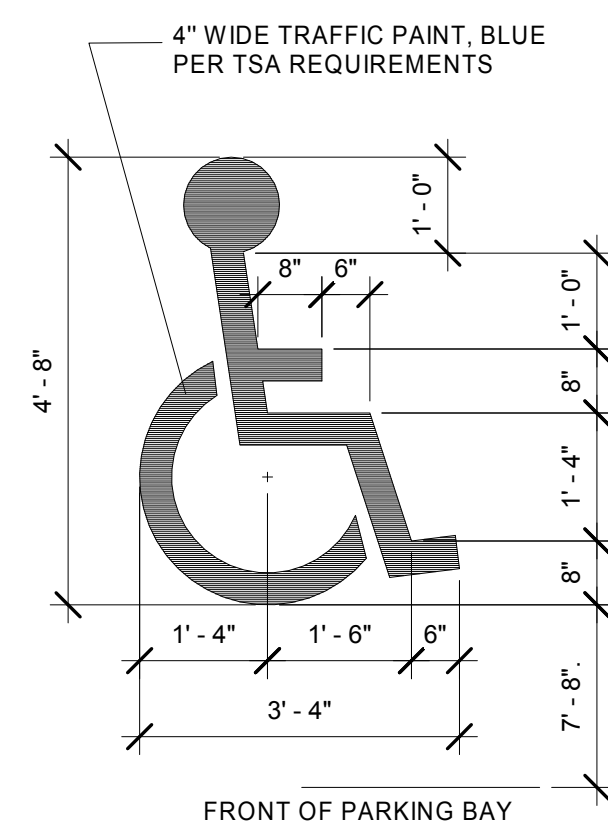
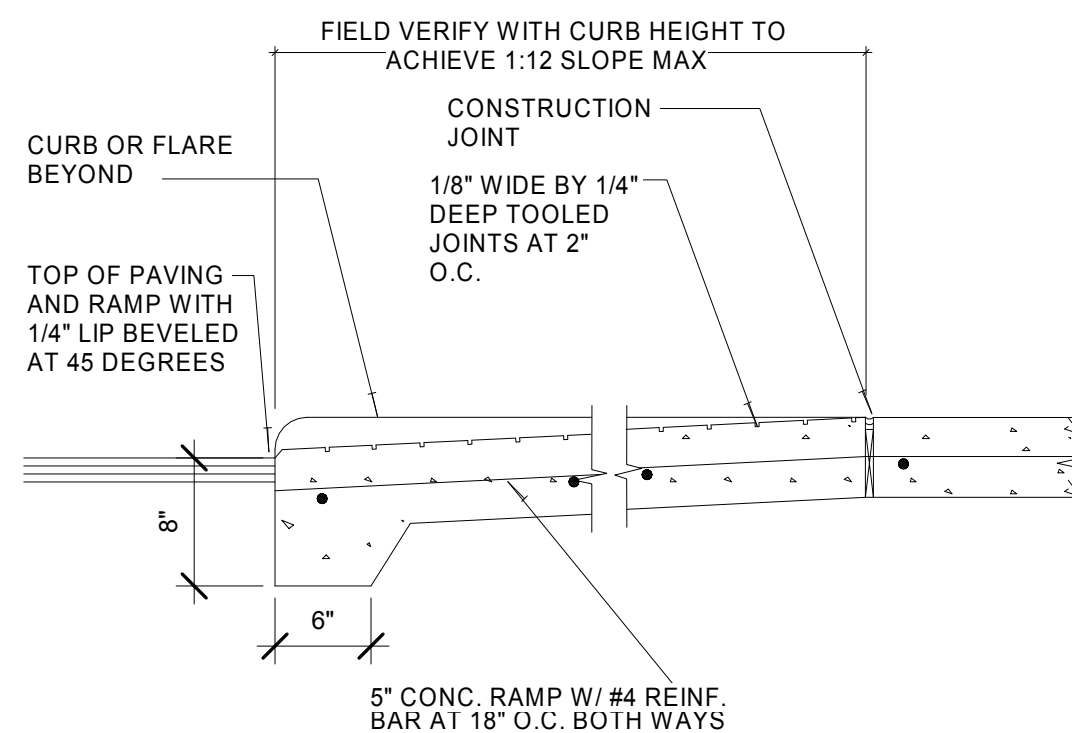
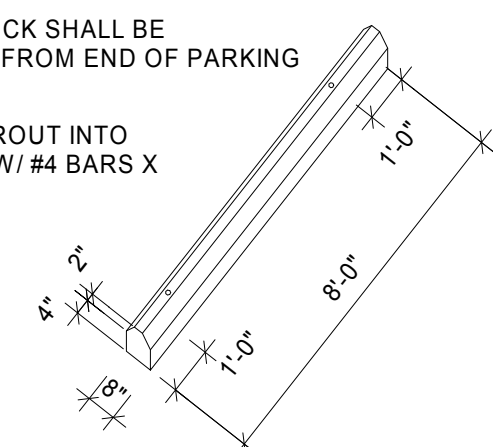
RETAIL TRADE - 10,024 SQUARE FEET GFA
1,000/4 = 41 REQUIRED SPACES
46 SPACES PROVIDED

Accessible parking spaces must be paved and must include:

- The international symbol of access painted conspicuously on the surface in a color that contrasts the pavement.
- The words "NO PARKING" painted on any access aisle adjacent to the parking space. The words must be painted:
 - In all capital letters;
 - With a letter height of at least one (1) foot, and a stroke width of at least two (2) inches; and
 - Centered within each access aisle adjacent to the parking space; and
- A sign identifying the consequences of parking illegally in a paved accessible space. The sign must:
 - At a minimum state "Violators Subject to Fine and Towing" in a letter height of at least one inch;
 - Be mounted on a pole, post, wall, or freestanding board;
 - Be no more than eight (8) inches below a sign required by Texas Accessibility Standards, 502.6; and
 - Be installed so the bottom edge of the sign is no lower than four (4) feet and no higher than six (6) feet above ground level.
- A sign that meets the requirements set in Texas Accessibility Standards, 502.6, that includes the required language in subsection (c)(i) satisfies these requirements.

PARKING BLOCK SHALL BE INSTALLED 3' FROM END OF PARKING SPACES.

DRILL AND GROUT INTO PAVEMENT. W/ #4 BARS X 12"



6 WHEEL STOP
1/4" = 1'-0"

5 CURB RAMP DETAIL
1" = 1'-0"

4 ACCESSIBLE SYMBOL
1/2" = 1'-0"

3 ACCESSIBLE SIGNAGE DETAILS
1/2" = 1'-0"

2 ACCESSIBLE RAMP DETAIL
1/4" = 1'-0"



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04.22.2020	CITY COMMENTS
04.29.2020	CITY COMMENTS



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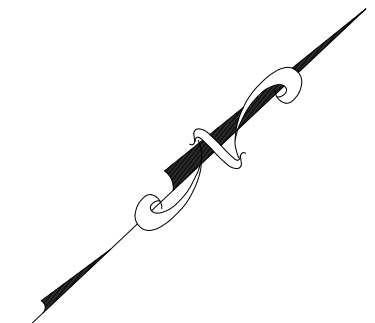
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Project Number:	19127	Sheet Size:	24 x 36
Date / Time Plotted:	5/5/2020 7:57:45 AM	Drawn By:	JZ/IA
Drawn By:	JZ/IA	Checked By:	BP/SR/MK
Project Phase:	CONSTRUCTION SET		

SITE PLAN

A0.1

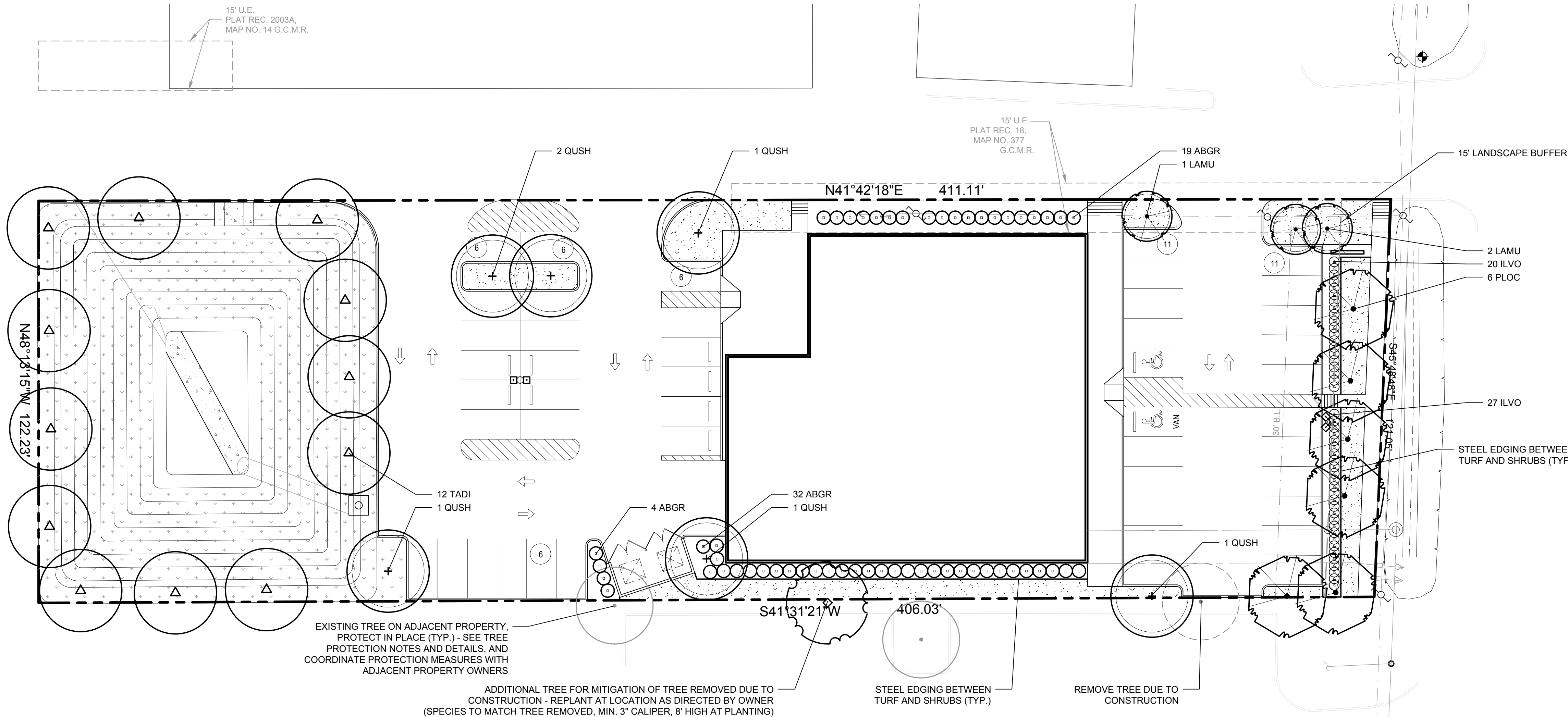


0' 10' 20' 40'

Scale 1" = 20'

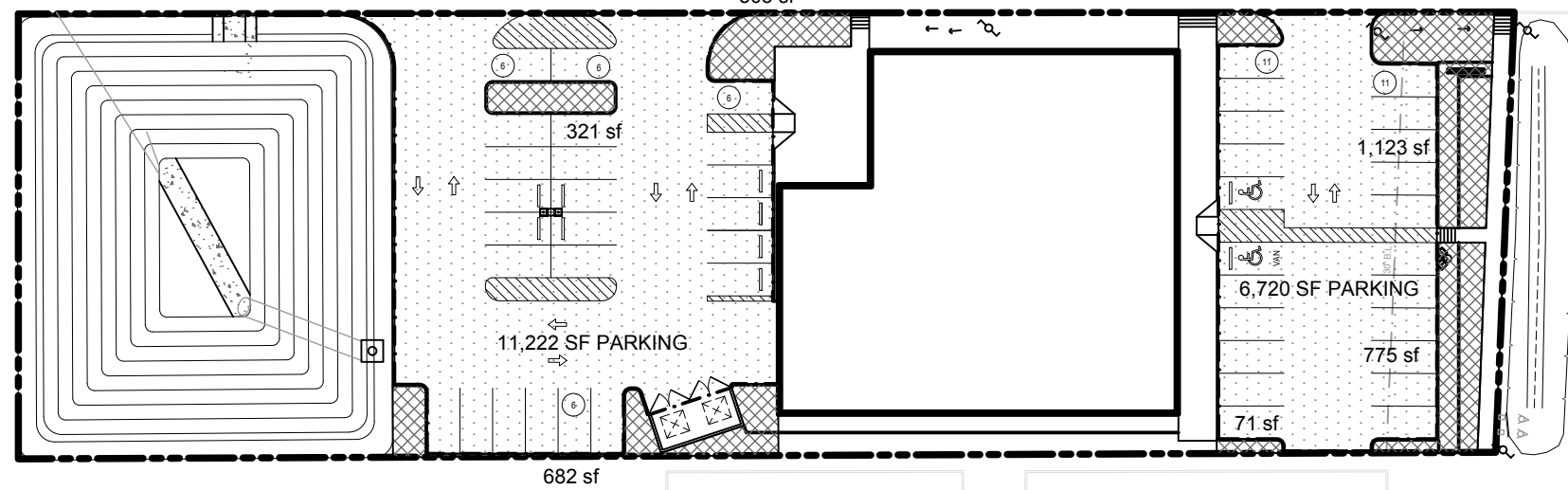
FINAL REPLANT HEB FRIENDSWOOD
PLAT REC. 18, MAP NO. 1396 G.C.M.R.

RESTRICTED RESERVE "E"



PARKING LOT LANDSCAPE AREA

SCALE: 1" = 50'



LANDSCAPE AREA USED IN PARKING CALCULATIONS

LIMIT OF PARKING LOT AREA

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
TREES						
LAMU	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle	2" cal., 8'-10' high	Per plan	3	
PLOC	Platanus occidentalis	Western Sycamore	2" cal., 8'-10' high	Per plan	6	
QUSH	Quercus shumardii	Texas Red Oak	2" cal., 8'-10' high	Per plan	6	
TADI	Taxodium distichum	Bald Cypress	2" cal., 8'-10' high	Per plan	12	
NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.						
SHRUBS						
ABGR	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	#5 cont.	4' o.c.	55	
ILVO	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	24" high min.	2' o.c.	47	Parking lot screen
TURF AND SEED						
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	---	
	---	Coastal Prairie Mix	Hydromulch	0.75 lb/1,000 sf	---	

ALL SEED MIXES ARE AVAILABLE THROUGH NATIVE AMERICAN SEED, (800) 728-4043. REFER TO PLANTING SPECIFICATIONS FOR SEEDING METHOD.

LANDSCAPE CALCULATIONS

SITE IS IN COMMUNITY OVERLAY DISTRICT (COD)

OPEN SPACE BUFFER	121 LF
TOTAL STREET FRONTAGE:	5 TREES (1 TREE PER 25 LF)
TREES REQUIRED:	5 TREES
TREES PROVIDED:	5 TREES

PARKING	17,942 SF
TOTAL PARKING AREA:	3,588 SF (20% OF PARKING AND DRIVE AREA)
LANDSCAPE AREA REQUIRED:	3,625 SF (20.7%)
LANDSCAPE AREA PROVIDED:	1,794 SF (50% OF REQUIRED AREA)
ISLAND LANDSCAPE AREA REQUIRED:	2,046 SF (57.0%)
ISLAND LANDSCAPE AREA PROVIDED:	

PERIMETER LENGTH ALONG PROPERTY LINE*:	656 LF
TREES REQUIRED:	22 TREES (1 TREE PER 30 LF)
TREES PROVIDED:	22 TREES

*DOES NOT INCLUDE PROPERTY LINE ALONG DRIVE ENTRIES AND POND

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



4/29/2020

Date:	Issue:
01-28-2020	PERMIT ISSUE
05-01-2020	PERMIT ISSUE



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FRIENDSWOOD RETAIL CENTER

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FRIENDSWOOD, TEXAS 77546

Project Number: Phase:	Sheet Size:
19127-2001-000	24x36
Date/Time Printed:	
January 10, 2020	
Drawn By:	Checked By:
LML	LML/RM
Project Phase:	
Permit	

PLANTING PLAN

LP-1

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PH: (713) 936 - 1970

Δ	DATE:	ISSUE:
	03.05.2020	CONSTRUCTION SET



2 TWO POINT PERSPECTIVE



3 TWO POINT PERSPECTIVE



1 TWO POINT PERSPECTIVE

FOR REFERENCE ONLY - RE: A0 - A6 SERIES



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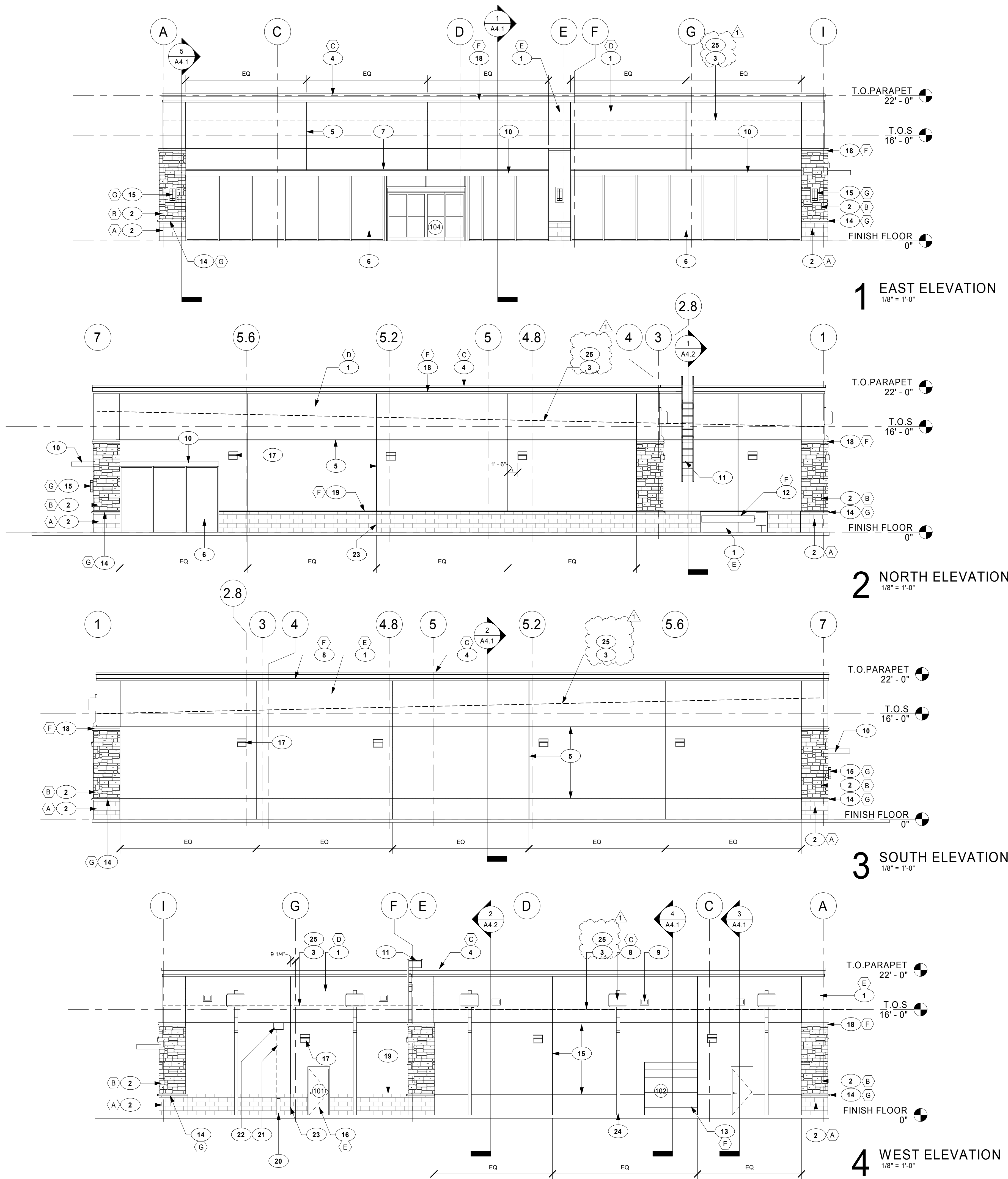
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Project Number:	Sheet Size:
19127	24 x 36
Date / Time Plotted:	
4/14/2020 12:21:43 PM	
Drawn By:	Checked By:
JZ	BP/SR
Project Phase:	
CONSTRUCTION SET	

3D
REPRESENTATIONS

A7.1



- NOTES TO SHEET** # = KEYED NOTES
- E.I.F.S.
 - STONE VENEER.
 - LINE OF ROOF BEYOND(DASHED).
 - REFINISHED METAL COPING.
 - 3/4" V-GROOVE SCORE JOINT.
 - ANODIZED ALUMINUM STOREFRONT SYSTEM, DOUBLE INSULATED, TEMPERED, GLAZING COLOR: CLEAR ANODIZED ALUMINUM GLASS, SOLARBAN 70 CLEAR + CLEAR.
 - COUNTERFLASHING FOR CANOPY.
 - PRIMARY ROOF SCUPPER, 8" X 18", WITH CATCHMENT BOX.
 - OVERFLOW SCUPPER, 8" X 18" AT 3' - 0" OVER AND 2" HIGHER THAN PRIMARY SCUPPER.
 - STANDING SEAM CANOPY WITH PREFINISHED METAL ROOFING, DOWNSPOUT DIVERTER PAINTED, EXPOSED STEEL.
 - STEEL ROOF ACCESS LADDER WITH 6'-0" SECURITY CAGE WITH LOCKING MECHANISM.
 - ELECTRICAL GUTTER, METER BOX, DISCONNECT BOX, ETC. RE: ELECTRICAL DWGS.
 - SCHEDULED DOOR.
 - CAST STONE SILL.
 - WALL SCONCE LIGHT FIXTURE, RE: ELECTRICAL DWGS. PROVIDE 36" HIGH X 14" WIDE CAST STONE BACKER UNIT.
 - 3'-0" X 7'-0" HOLLOW METAL DOOR, RE: A6.1
 - WALL PACK LIGHT FIXTURE, RE: ELECTRICAL DWGS. MOUNT CENTER AT 12' - 0" A.F.F.
 - E.I.F.S. CORNICE.
 - E.I.F.S. TRIM.
 - 6" CONDUIT TO 30" ABOVE GRADE FOR PHONE PULLSTRINGS, RE: ELECTRICAL
 - CONDUIT CONNECTION TO DEMARC BOX BY PHONE PROVIDER
 - PHONE DEMARC BOX, RE: ELECTRICAL.
 - MASONRY EXPANSION JOINT.
 - 6"X 6" PREFINISHED DOWNSPOUT, CONNECT TO UNDERGROUND DRAIN, RE: CIVIL.
 - MECHANICAL EQUIPMENT TO BE FULLY SCREENED BY PARAPET ON ALL SIDES.

- PAINT SCHEDULE** # = PAINT TAGS
- CUT NATURAL STONE 12" X 18" X 1 1/2" VENEER, G.C. TO VERIFY QUANTITY WITH WAREHOUSED PRODUCT WITH SPECTRUM MORTAR - HILL COUNTRY BUFF.
 - SYNTHETIC THIN STONE VENEER, G.C. TO SELECT TO MATCH - ELDERADO, AUSTIN CREAM WITH SPECTRUM MORTAR - HILL COUNTRY BUFF.
 - MBCI PREFINISHED METAL - MEDIUM BRONZE
 - SHERWIN WILLIAMS, 6113 INTERACTIVE CREAM
 - SHERWIN WILLIAMS, 7694 DROMEDARY CAMEL
 - SHERWIN WILLIAMS, 6385 DOVER WHITE
 - CAST STONE, SITEWORK MINC. CREAM WITH SPECTRUM MORTAR - HILL COUNTRY BUFF.

- GENERAL NOTES**
- MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE SCREENED TO A HEIGHT SUFFICIENT TO COMPLETE SCREEN THE USE FROM VIEW AT GROUND LEVEL.

CTC CONTRACTORS
3200 NORTH FREEWAY
HOUSTON, TX 77009
PH: (713) 936 - 1970

Δ DATE:	ISSUE:
03.05.2020	CONSTRUCTION SET
04.13.2020	CITY COMMENTS



Heights Venture
ARCHITECTURE • DESIGN
HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713 869 1103 V DALLAS 5741 Legacy Drive, Suite 323 Plano, Texas 75024 972 490 7292 V

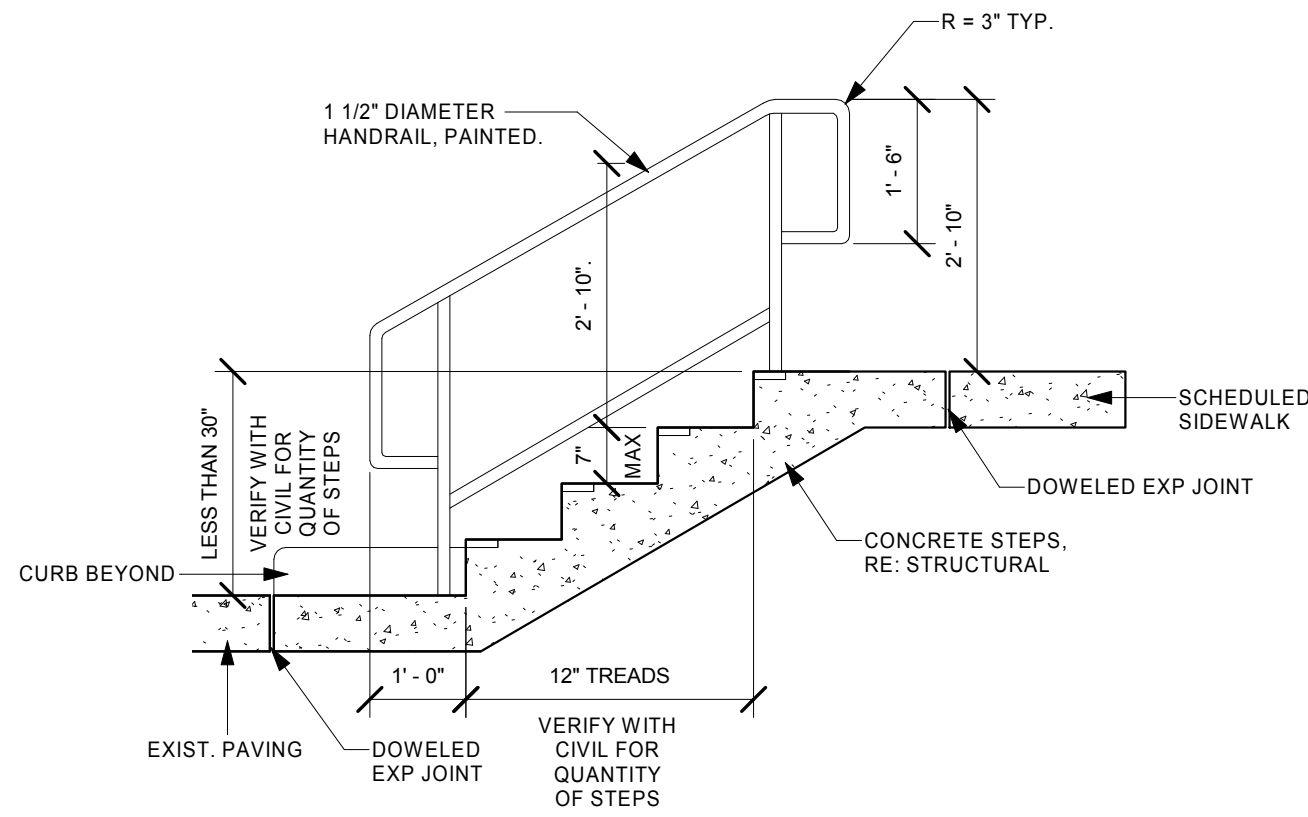
FRIENDSWOOD RETAIL

1720 S.FRIENDSWOOD DR.
FRIENDSWOOD, TX 77546

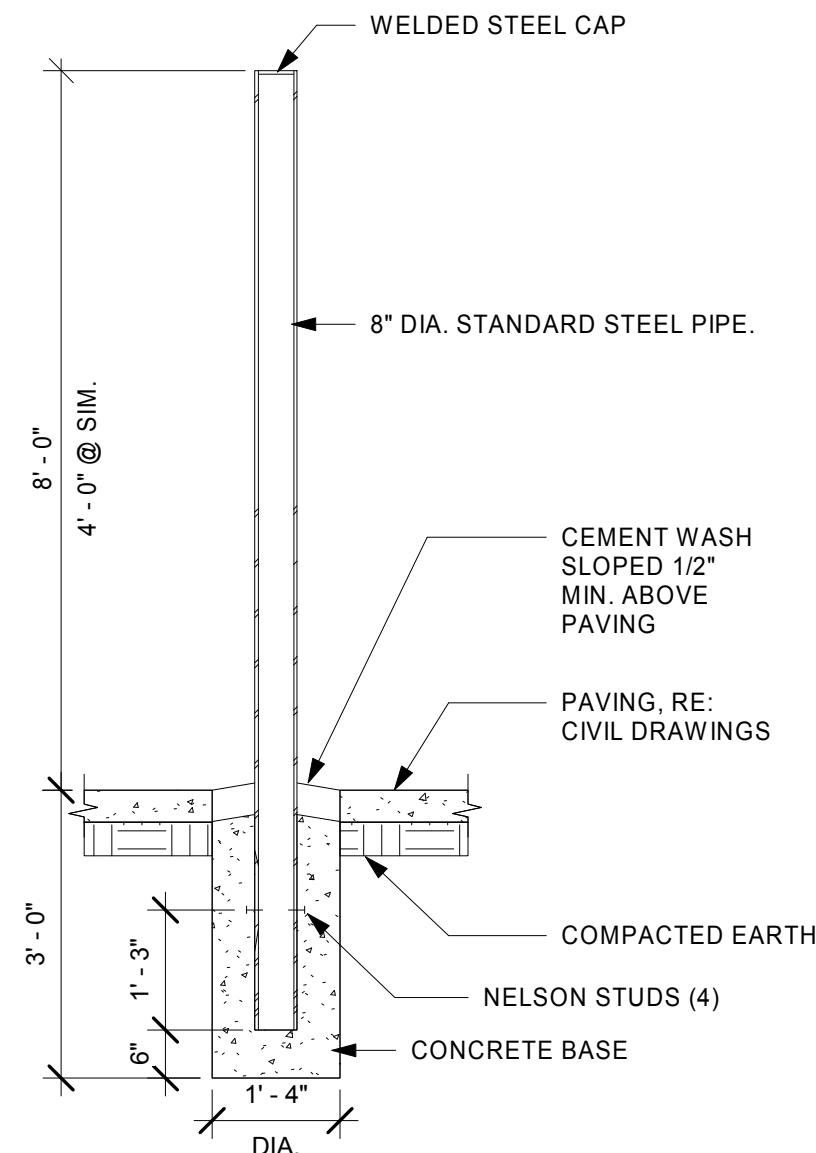
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Date / Time Plotted:	
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Drawn By:	Checked By:
JZ	BP/SR
Project Phase:	
CONSTRUCTION SET	

BUILDING ELEVATIONS

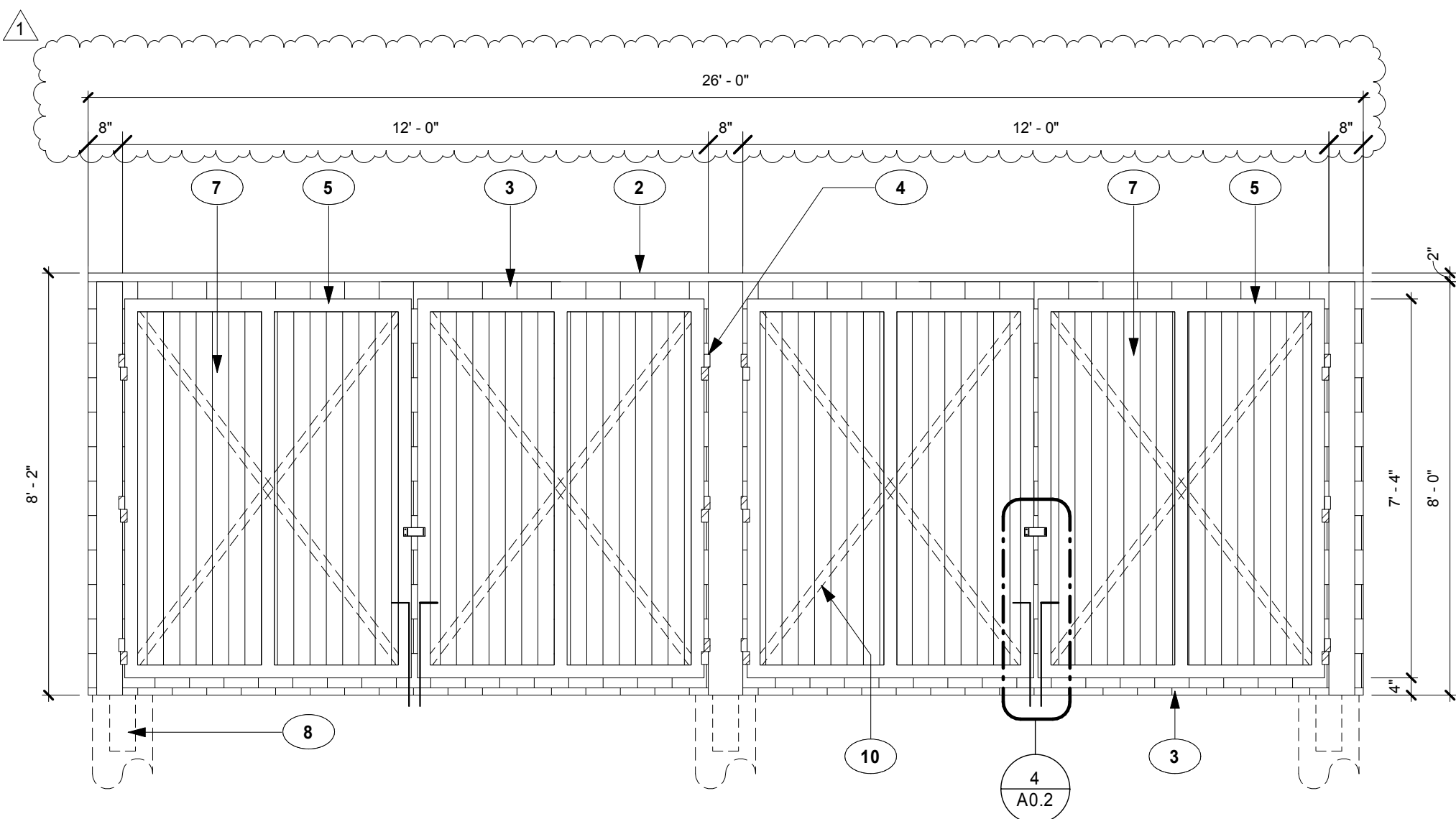
A2.1



8 STAIR SECTION
1/2" = 1'-0"



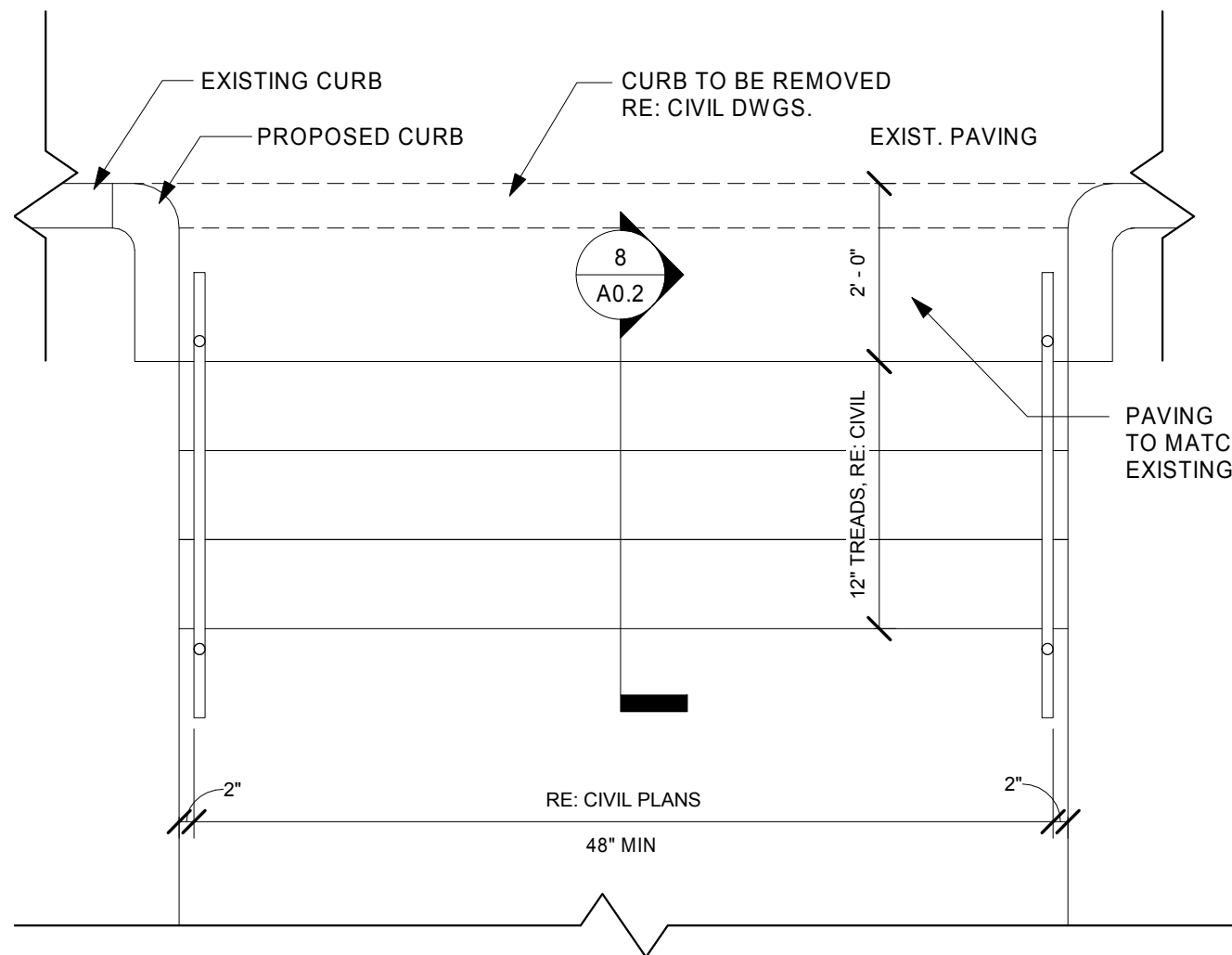
5 DUMPSTER BOLLARD
1/2" = 1'-0"



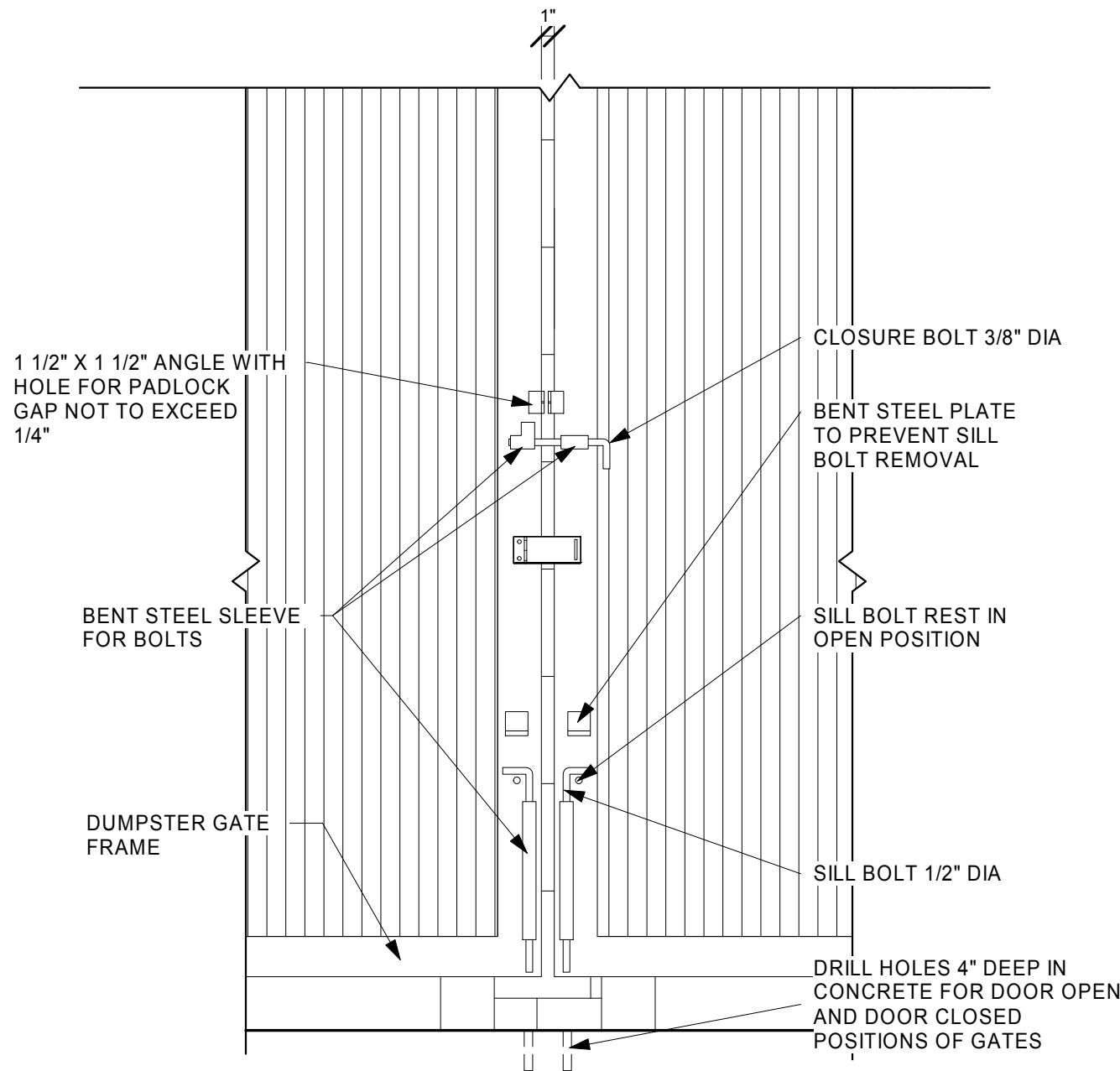
2 DUMPSTER ELEVATION
3/8" = 1'-0"

NOTES TO SHEET # = KEYED NOTES

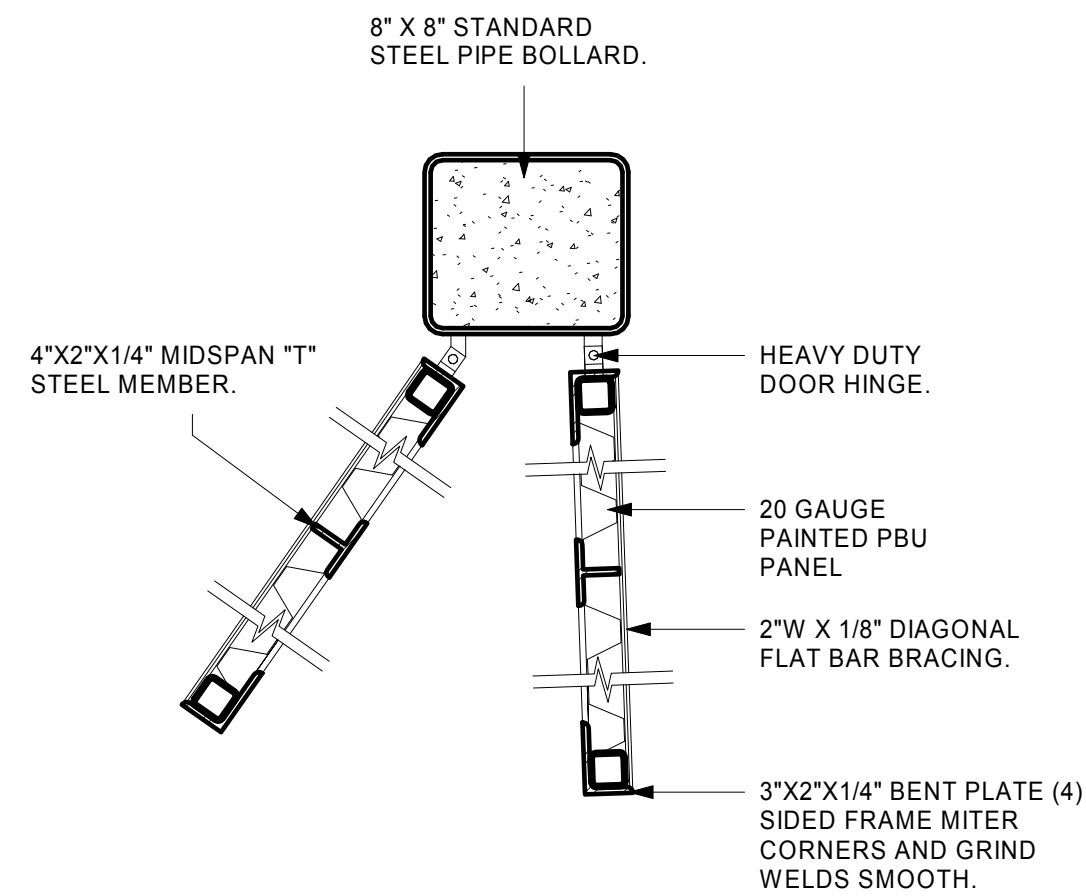
- 8" DIAMETER STANDARD STEEL PIPE BOLLARD, RE: 5 | A.02
- 2" SOLID CMU CAP COURSE, PAINTED.
- STANDARD 8" CMU; RE STRUCTURAL DWGS, PAINTED.
- JANSEN ORNAMENTAL SUPPLY CO. POWER HINGE SOLID COLD ROLLED STEEL; 3 PER DOOR.
- STEEL GATE FRAME, PAINTED.
- 8" DIAMETER STEEL PIPE BOLLARD, SIM CONDITION. 4' - 0" HIGH, RE: 5 | A0.2. PAINTED SAFETY YELLOW.
- 20 GAUGE PBU PANEL, PAINTED
- BOLLARD POST FOOTING, RE: STRUCTURAL DWGS.
- DUMPSTER CONTAINER NOT IN SCOPE.
- FLAT BAR DIAGONAL BRACING.



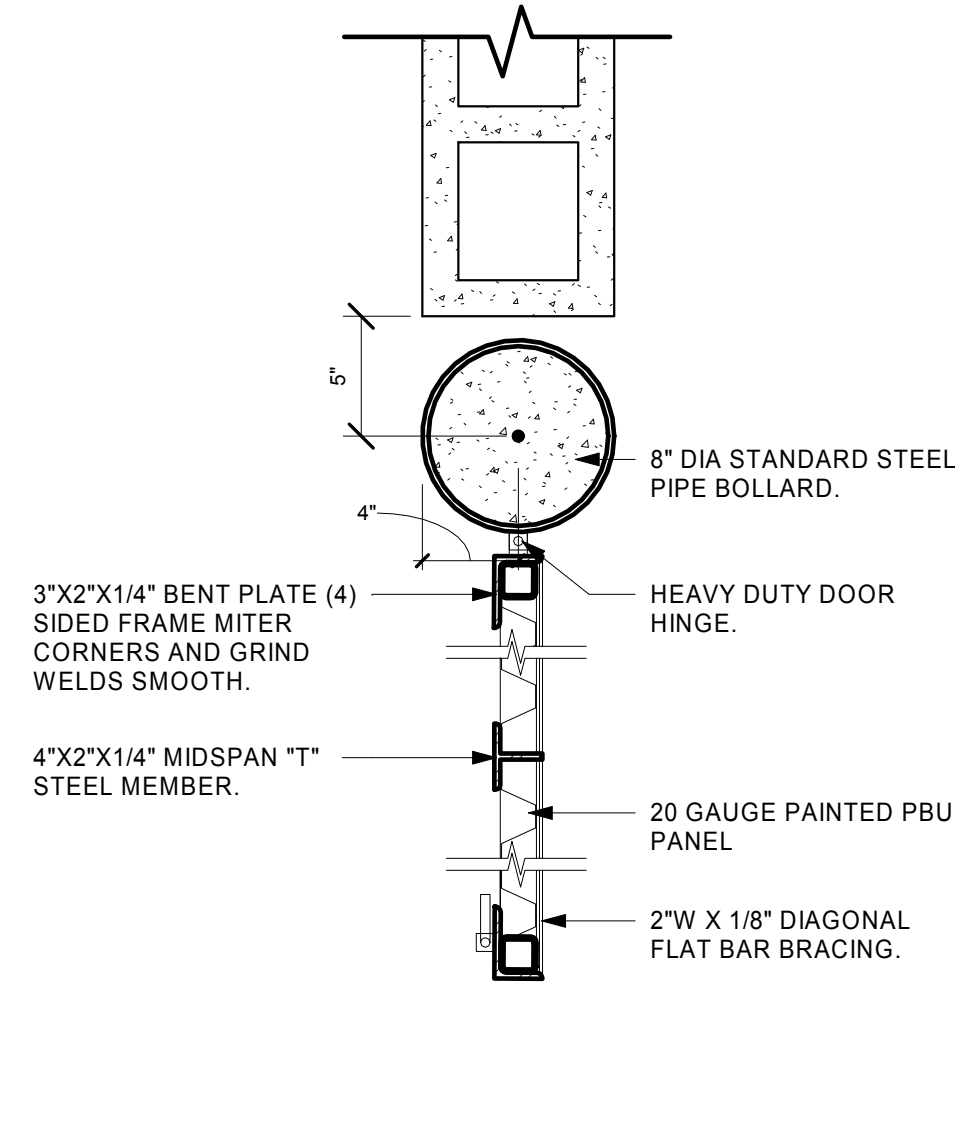
7 STAIR PLAN
1/2" = 1'-0"



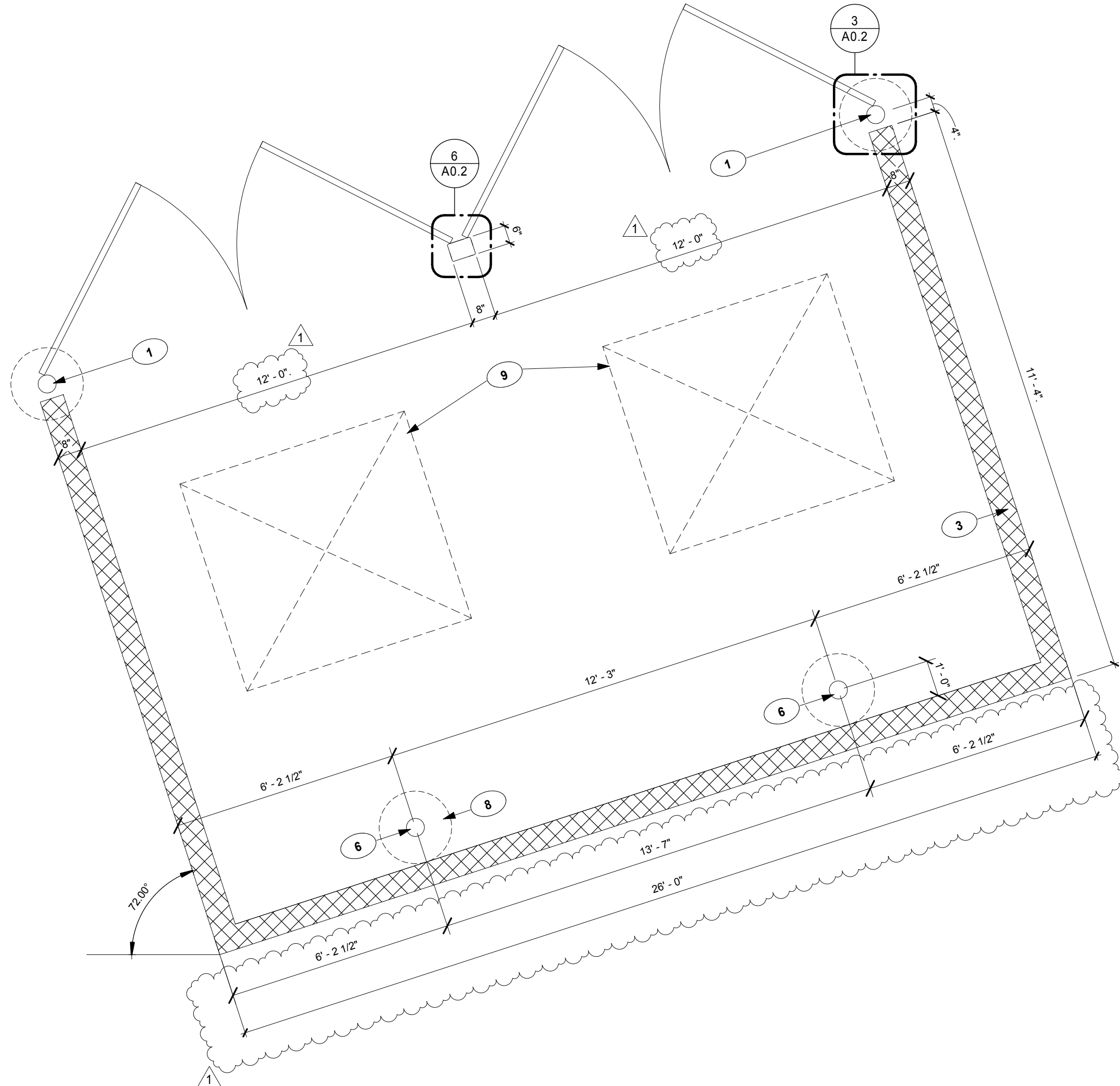
4 DUMPSTER GATE DETAIL
1" = 1'-0"



6 DUMPSTER GATE DETAIL
1 1/2" = 1'-0"



3 DUMPSTER GATE DETAIL
1 1/2" = 1'-0"



1 DUMPSTER PLAN
3/8" = 1'-0"



CTC CONTRACTORS

3200 NORTH FREEWAY
HOUSTON, TX 77009
PH: (713) 936 - 1970

DATE:	ISSUE:
03.05.2020	CONSTRUCTION SET
04.13.2020	CITY COMMENTS



Heights Venture
ARCHITECTURE • DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713 489 1103 V
DALLAS 5741 Legacy Drive, Suite 323 Plano, Texas 75024 972 489 7292 V

**FRIENDSWOOD
RETAIL**

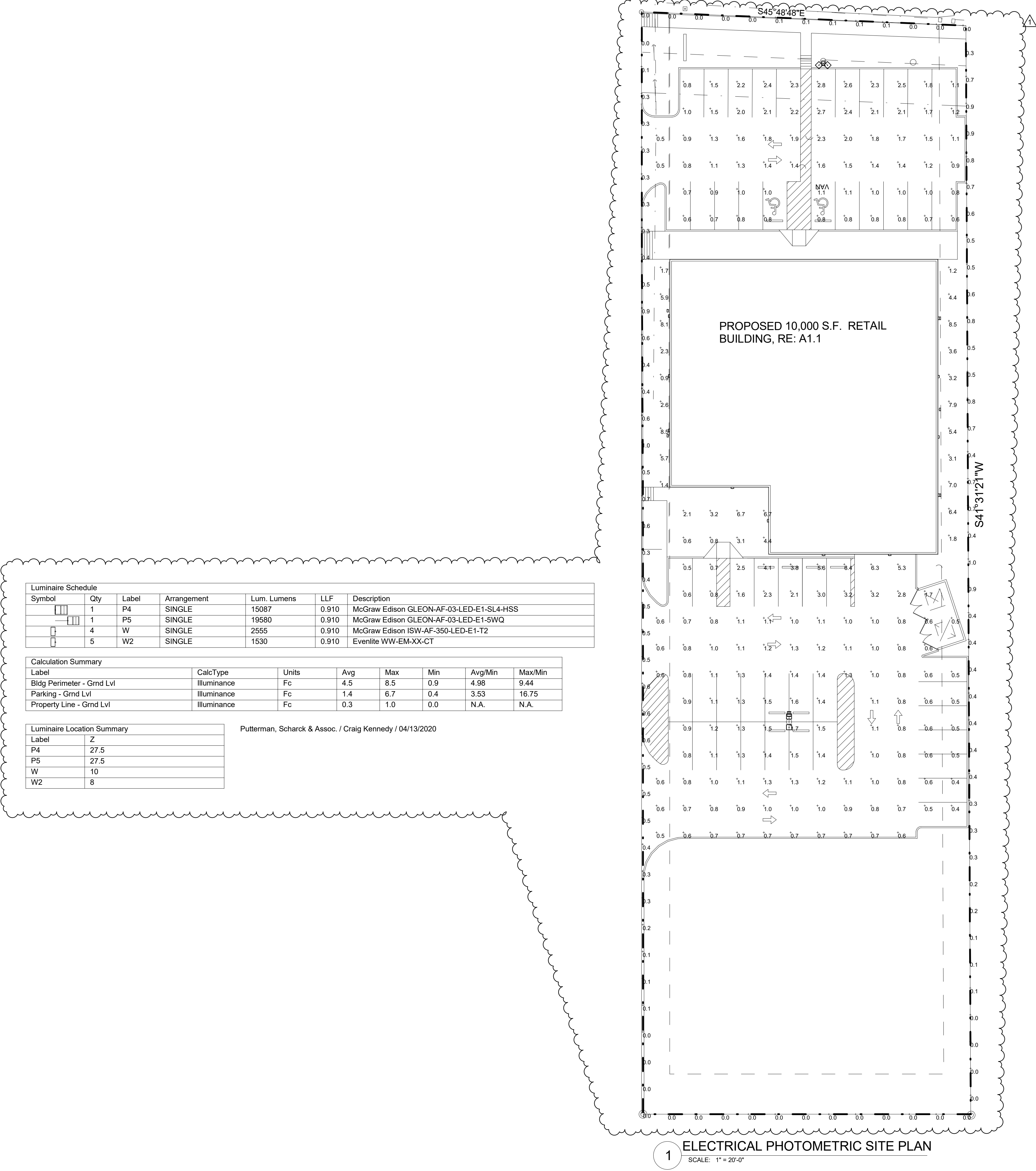
1720 S. FRIENDSWOOD DR.
FRIENDSWOOD, TX 77546

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JZ/IA	BP/SR/MK
Project Phase:	
CONSTRUCTION SET	

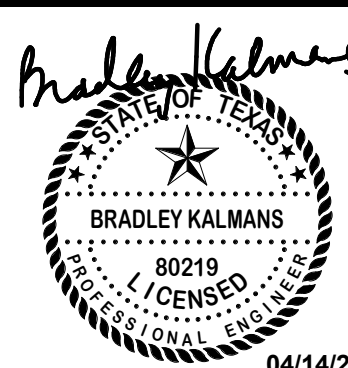
SITE DETAILS

A0.2

F.M. 518 (S. FRIENDSWOOD DRIVE)



Δ	DATE	ISSUE
	02/07/2020	ISSUE FOR PERMIT
1	04/14/2020	REVISION 1



Heights Venture
ARCHITECTURE • DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713 869 1103 V DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024 972 490 7292 V

FRIENDSWOOD
RETAIL

1620 S.FRIENDSWOOD DR.
FRIENDSWOOD, TX 77546

Project Number:	Sheet Size:
19127	24 x 36
Date / Time Plotted:	
04/14/2020	
Drawn By:	Checked By:
MG	IM
Project Phase:	
80% PROGRESS SET	

ELECTRICAL
PHOTOMETRIC
SITE PLAN

E0.0



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2020

Subject: Consideration and possible action regarding the Partial Preliminary Plat of Avalon at Friendswood Section One, a private subdivision being 68.101 acres of land out of the Mary Fabreau Survey A-69 City of Friendswood, Galveston County, Texas

Action: Significant

SUMMARY / ORIGINATING CAUSE

Avalon at Friendswood PUD was approved in 2019. This plat is for Section 1 of the development. The plat includes 50 lots and access to this section will be from an extension of Friendswood Lakes Blvd. from the West Ranch side. Rather than waiting on the Galveston County bond project to construct this small portion of Friendswood Lakes Blvd, Taylor Morrison is going to construct the portion of road required to provide access to the 50 lots being platted in Section 1.

There are many reserves shown on the plat. Some of those reserves will be converted to residential lots in the future by way of a replat. Due to the limited access, the maximum number of lots that can be built at this time is 50.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

The major concern is the coordination with League City for the future development of lots that are outside the city limits of Friendswood, but would still be dependent on Friendswood services such as water, sewer, garbage collection, and emergency services. An interlocal agreement between the City of Friendswood and the City of League City will most likely be required to resolve some of the issues.

RECOMMENDATIONS

The plans were re-reviewed by staff in the following departments: Planning, Public Works, and Engineering.

Outstanding Conditions/Reasons:

None

Other Remaining Items:

- Tree Survey - City agrees to defer tree survey until infrastructure plan submittal.
- Landscape Plan details along Friendswood Lake Blvd. will be required as part of construction plans/final plat. The landscape buffer requires 1 tree per 25 linear feet. Based on 2,030 linear feet, a minimum of 82 trees is required. Consideration required for existing 16-foot TNMP easement and placement of trees. A visual representation of the landscape plan is required.
- Inter-local Agreement with League City – applicant and City of Friendswood need to collaborate with League City to determine future plans for installation and maintenance of water, sewer, and storm sewer infrastructure; emergency services - police, fire, and EMS; and eventually trash

collection, water meter reading and utility billing (water, sewer and garbage).

ATTACHMENTS

1. Avalon at Friendswood Compliance Memo 05-13-2020
2. Avalon at Friendswood Sec 1 Prelim Plat 05-13-2020

Memo

To: Planning and Zoning Commission
From: Becky Bennett, Development Coordinator
Date: May 13, 2020
Re: Avalon at Friendswood Section 1 Preliminary Plat

Project Description: The proposed plat is to create 50 residential lots in compliance with the approved Planned Unit Development.

The plans were re-reviewed by staff in the following departments: Planning, Public Works, and Engineering.

Approval options:

☐ Approval

Standards for approval. The Commission shall approve a plat if:

- (1) It conforms to the general plan of the City of Friendswood and the current and future streets, alleys, parks, playgrounds, and public utility facilities;
- (2) It conforms to the general plans for extension of roads, streets, and public highways, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities; and
- (3) It conforms to the Subdivision Ordinance and Local Government Code Chapter 212.

☐ Conditional Approval with the following conditions*

☐ Disapproval due to the following reasons*

*Each condition or reason specified must be directly related to the requirements under the subdivision platting law and include a citation to the law, including a statute or municipal ordinance, that is the basis for the conditional approval or disapproval, if applicable, and conditions or reasons may not be arbitrary.

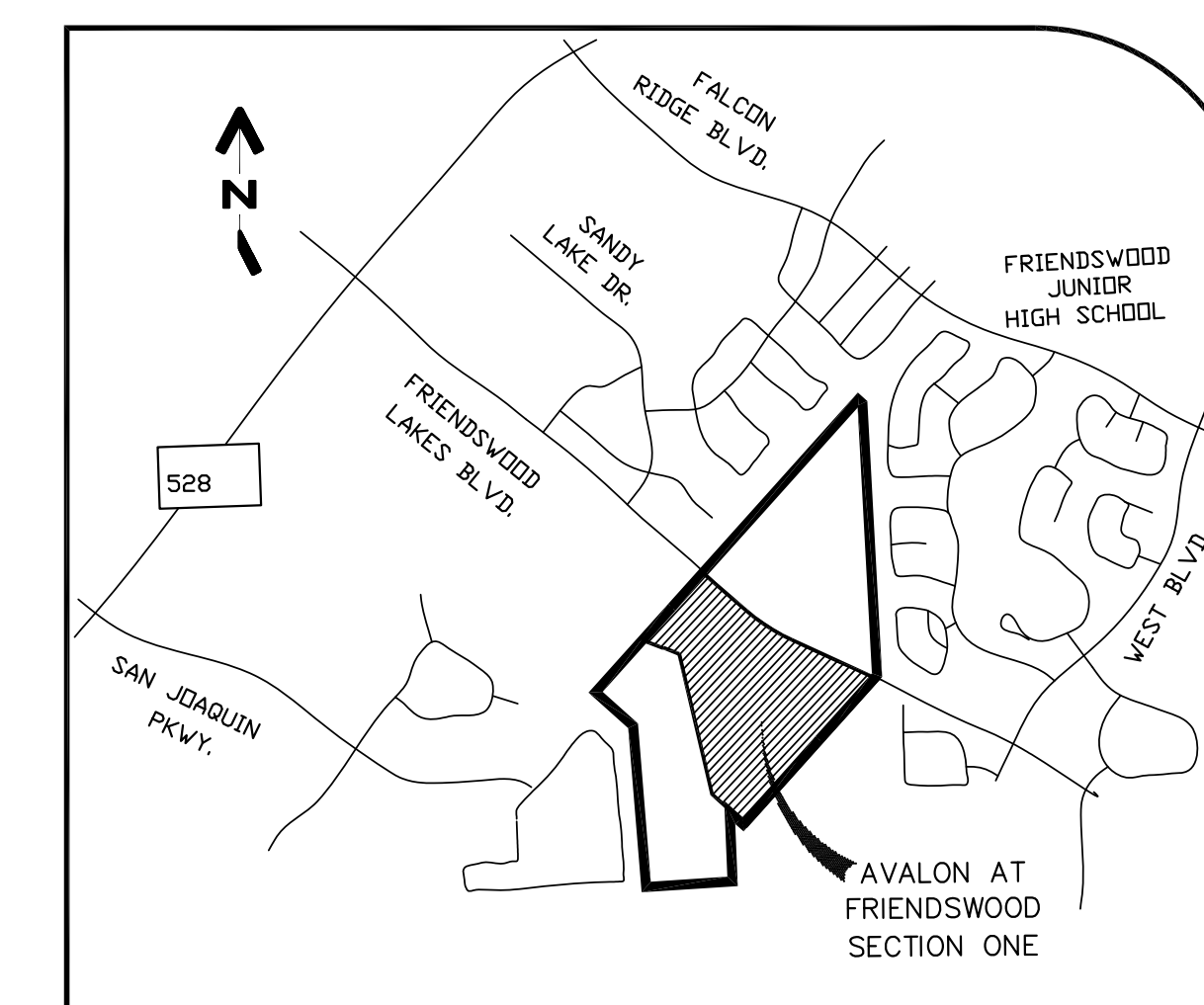
*Requires reconsideration by the Planning and Zoning Commission.

Outstanding Conditions/Reasons:

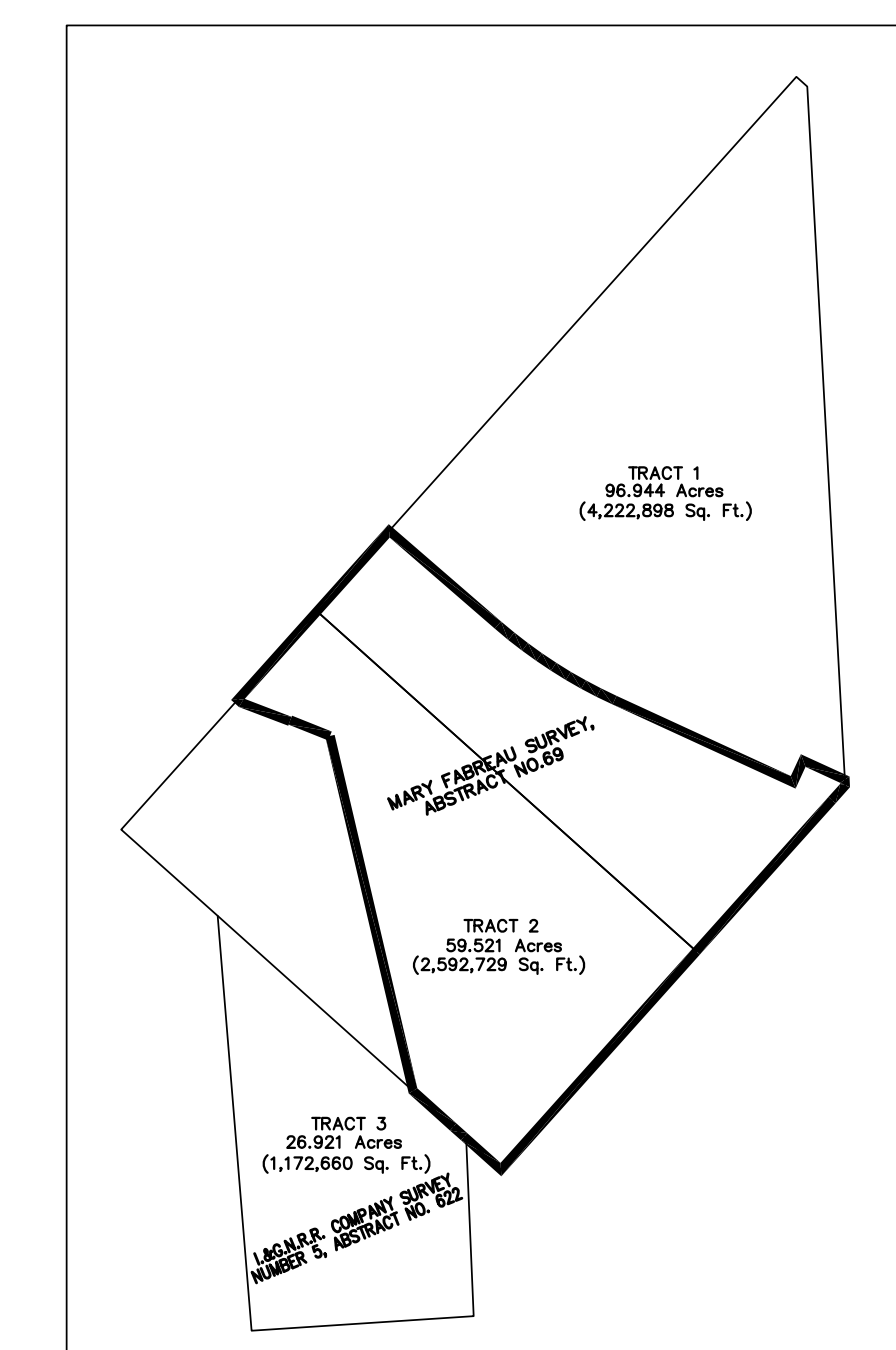
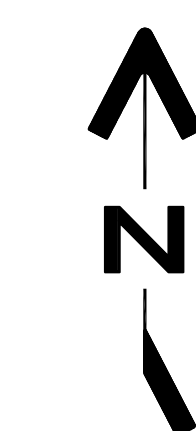
None

Remaining Items:

- Tree Survey - City agrees to defer tree survey until infrastructure plan submittal.
- Landscape Plan details along Friendswood Lake Blvd. will be required as part of construction plans/final plat. The landscape buffer requires 1 tree per 25 linear feet. Based on 2,030 linear feet, a minimum of 82 trees is required. Consideration required for existing 16-foot TNMP easement and placement of trees. A visual representation of the landscape plan is required.
- Inter-local Agreement with League City – applicant and City of Friendswood need to collaborate with League City to determine future plans for installation and maintenance of water, sewer, and storm sewer infrastructure; emergency services - police, fire, and EMS; and eventually trash collection, water meter reading and utility billing (water, sewer and garbage).



Vicinity Map
SCALE: 1"=2000'



PARTIAL PLAT DRAWING EXHIBIT
(NOT TO SCALE)

A PARTIAL PRELIMINARY PLAT OF
AVALON AT FRIENDSWOOD
SECTION ONE
A PRIVATE SUBDIVISION
BEING 68.101± ACRES OF LAND
CONTAINING 50 LOTS (70'/90' X 130' TYP.) AND
EIGHTEEN RESERVES IN FIVE BLOCKS.

OUT OF THE
MARY FABREAU SURVEY, A-69
CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS
ENGINEER/SURVEYOR:
LJA ENGINEERING
ATTN: **EDDIE RUCKER**
1904 W. GRAND PKWY. N, SUITE 100
KATY, TEXAS 77449
OWNER:
TAYLOR MORRISON OF TEXAS, INC.
ATTN: **BOBBY SKINNER**
2929 BRIARPARK DR. NORTH, SUITE 400
HOUSTON, TEXAS 77042
PLANNER:



24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422

MAY 14, 2020
MTA# 4711A

PAGE 1 OF 2
SCALE: 1"=100'
0 50 100 200

Future
Development

Future
Development

Future
Development

RESTRICTED
RESERVE "F"
LAKE/DETENTION/
LANDSCAPE/OPEN SPACE
±20.64 ACRES

Partition Agreement
First Tract
Called 941.89 Ac.
Wesley West, ET AL
(Vol.1387, Pg.384)

Correction Deed
First Tract
Called 941.89 Ac.
Neva Watkins West
to
Wesley West Cattle Company
(G.C.C.F. #9222784)

NOTE:

- | | | |
|--|--|---|
| A RESTRICTED RESERVE "A"
LANDSCAPE/OPEN SPACE/SIGNAGE
±0.57 ACRE | G RESTRICTED RESERVE "G"
RECREATION CENTER
±2.19 ACRES | N RESTRICTED RESERVE "N"
LANDSCAPE/OPEN SPACE
±3.60 ACRES |
| B RESTRICTED RESERVE "B"
LANDSCAPE/OPEN SPACE
±1.14 ACRES | H RESTRICTED RESERVE "H"
LANDSCAPE/OPEN SPACE
±1.82 ACRES | P RESTRICTED RESERVE "P"
LANDSCAPE/OPEN SPACE
±0.32 ACRE |
| C RESTRICTED RESERVE "C"
LANDSCAPE/OPEN SPACE
±0.87 ACRE | J RESTRICTED RESERVE "J"
LANDSCAPE/OPEN SPACE
±0.82 ACRE | Q RESTRICTED RESERVE "Q"
LANDSCAPE/OPEN SPACE/SIGNAGE
±0.97 ACRE |
| D RESTRICTED RESERVE "D"
LANDSCAPE/OPEN SPACE
±1.99 ACRES | K RESTRICTED RESERVE "K"
LANDSCAPE/OPEN SPACE
±0.47 ACRE | R RESTRICTED RESERVE "R"
LANDSCAPE/OPEN SPACE
±0.43 ACRE |
| E RESTRICTED RESERVE "E"
LANDSCAPE/OPEN SPACE
±3.67 ACRES | L RESTRICTED RESERVE "L"
LANDSCAPE/OPEN SPACE/SIGNAGE
±1.67 ACRES | S RESTRICTED RESERVE "S"
LANDSCAPE/OPEN SPACE
±0.07 ACRE |
| F RESTRICTED RESERVE "F"
LAKE/DETENTION/
LANDSCAPE/OPEN SPACE
±20.64 ACRES | M RESTRICTED RESERVE "M"
LANDSCAPE/OPEN SPACE
±2.38 ACRES | T RESTRICTED RESERVE "T"
LIFT STATION
±0.19 ACRE |

DISCLAIMER AND LIMITED WARRANTY
THIS PRELIMINARY SUBDIVISION PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS
OF THE CITY OF FRIENDSWOOD SUBDIVISION ORDINANCES IN EFFECT AT THE TIME THIS PLAT WAS
PREPARED ALONG WITH ANY VARIANCE OR VARIANCES TO THE PROVISIONS OF THE
AFOREMENTIONED ORDINANCE WHICH ARE SUBSEQUENTLY GRANTED BY THE FULSHEAR PLANNING &
ZONING COMMISSION AND / OR CITY COUNCIL. THIS PRELIMINARY PLAT WAS PREPARED FOR
THE LIMITED PURPOSE OF GUIDANCE IN THE PREPARATION OF ACTUAL ENGINEERING AND
DEVELOPMENT PLANS. THIS LIMITED WARRANTY IS MADE IN LIEU OF ALL OTHER WARRANTIES,
EXPRESS OR IMPLIED, AND NEITHER META PLANNING + DESIGN LLC, NOR ANY OF ITS
OFFICERS, OR DIRECTORS, OR EMPLOYEES MAKE ANY OTHER WARRANTIES OR REPRESENTATIONS,
EXPRESS OR IMPLIED CONCERNING THE DESIGN, LOCATION, QUALITY CHARACTER OF ACTUAL
UTILITIES OR OTHER FACILITIES IN, ON, OVER, OR UNDER THE PREMISES INDICATED IN THE
PRELIMINARY SUBDIVISION PLAT.

Crosshatched area is temporary easement
for turnaround until street is extended
south in a recorded plat.
Documented.

Tract A
(Called 194.21 Ac.)
Estate of George A. Bofysil, JR.
to
Yellowstone Hill Country Ranching, LLC
(G.C.C.F. #2010059686)

The Lake at San Joaquin
Section One
(Vol.18, Pg.1302)

Sierra at
West Ranch
Section One
(Plot Rec.2014A, Map No.11-13)

Sierra at
West Ranch
Section Two
(Doc. No.2015077523)

DESCRIPTION OF
68.101 ACRES
AVALON AT FRIENDSWOOD SEC 1

Being 68.101 acres of land located in the Mary Fabreau Survey, Abstract Number 69, Galveston County, Texas, out of the remainder of a called 96.944 acre tract described in the deed to Taylor Morrison of Texas, Inc. by an instrument of record in File Number 2019064239 of the Official Public Records of said Galveston County, Texas (G.C.O.P.R.), and the called 59.521 acre tract described in the deed to Taylor Morrison of Texas, Inc. by an instrument of record in File Number 2019061400, G.C.O.P.R., said 68.101 acre tract being more particularly described by metes and bounds as follows (all bearings referenced to the Texas Coordinate System, South Central Zone, NAD83 (NA2011) EPOCH 2010.00);

COMMENCING for reference at a 5/8-inch iron rod with cap stamped "WILSON SURVEY GROUP" found for the northwest corner of said 96.944 acre tract, the northeast corner of Eagle Lakes, Section 5, a subdivision of record in Volume 18, Page 554 of the Map Records of said Galveston County, Texas (G.C.M.R.) and in the south line of Falcon Ridge, Section Three, a subdivision of record in Volume 18, Page 282, G.C.M.R., from which a 5/8-inch iron rod found in the common line of said Eagle Lakes, Section 5 and Falcon Ridge, Section Two, a subdivision of record in Volume 18, Page 270, G.C.M.R. bears, North 48° 14' 26" West, 1,044.90 feet;

Thence, South 41° 54' 02" West, along the west line of said 96.944 acre tract, 2,541.04 feet to the southwest corner of a called 4.994 acre tract described in the deed to the City of Friendswood by an instrument of record in File Number 2019064237 and in the west line of said 96.944 acre tract and in the east line of Lot 19 of the David Fahay Subdivision, a subdivision of record in Volume 118, Page 415 of the Deed Records of said Galveston County, Texas (G.C.D.R.), said point also being the POINT OF BEGINNING of the herein described tract;

Thence, along the south line of said 4.994 acre tract the following three (3) courses:

1.South 49° 21' 21" East, 631.56 feet to a point for corner, the beginning of a curve;

2.601.19 feet along the arc of a tangent curve to the left, having a radius of 2,100.00 feet, a central angle of 16° 24' 10", and a chord which bears South 57° 33' 25" East, 599.14 feet to a point for corner;

3.South 65° 45' 30" East, 944.77 feet to the southeast corner of said 4.994 acre tract, in the east line of said 96.944 acre tract and in the west line of a called 941.89 acre tract (First Tract) described in the deed to Wesley West Cattle Company by instrument of record in File Number 9222784, G.C.O.P.R., from which a 5/8-inch iron rod with cap stamped "GEOSURV" bears, North 41° 52' 46" East, 79.84 feet;

Thence, South 41° 52' 46" West, along the common line of said 94.944 acre tract and said 941.89 acre tract, 848.45 feet to the southeast corner of said 94.944 acre tract and the northeast corner of aforementioned 59.521 acre tract;

Thence, South 41° 50' 53" West, along the common line of said 59.521 acre tract and said 941.89 acre tract, 1,220.71 feet to the southeast corner of said 59.521 acre tract and a reentrant corner of said 941.89 acre tract;

Thence, North 48° 09' 01" West, continuing along said common line, 494.44 feet to a point for corner, from which a found 5/8-inch iron rod with cap stamped "GEOSURV" bears, North 48° 09' 01" West, 1,089.85 feet;

Thence, North 13° 13' 57" West, departing said common line, 1,514.36 feet to a point for corner;

Thence, North 68° 16' 40" West, 175.37 feet to a point for corner;

Thence, North 73° 56' 58" West, 60.25 feet to a point for corner;

Thence, North 69° 07' 13" West, 158.62 feet to a point for corner;

Thence, North 48° 06' 56" West, 20.12 feet to the west line of said 59.521 acre tract, from which a found 5/8-inch iron rod with cap stamped "GEOSURV" bears, South 41° 53' 04" West, 724.42 feet;

Thence, North 41° 53' 04" East, along said west line, 498.02 feet to the northwest corner of said 59.521 acre tract, the southwest corner of the aforementioned 94.944 acre tract, the southeast corner of the aforementioned Lot 19, and in the north line of Lot 20 of the aforementioned David Fahay Subdivision;

Thence, North 41° 54' 02" East, along the west line of said 94.944 acre tract and the east line of said Lot 19, 450.63 feet to the POINT OF BEGINNING and containing 68.101 acres of land.

The corner monuments were not set at the client's request.

LJA Surveying, Inc.

Approved by the GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT

Director Date

Director Date

The approval granted by these signatures does not constitute the District's approval for the granting of any construction or building permits. This preliminary approval shall expire in six (6) months.

GCDD REF ID G200009

GCDD Plat Notes

- Buildings, fences or other structures shall not be erected in GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT (the DISTRICT) right-of-ways or drainage easements.
- The detention and drainage facilities are to be maintained by the property owner.
- The detention facility is to be maintained by the DISTRICT provided that the DISTRICT has approved the construction of the facility, the developer has paid the required fee, the site and access has been deeded to the DISTRICT in fee, and subject to approval by the Board.
- No building permit shall be issued for any lot within this subdivision until a detention and drainage plan has been approved by the DISTRICT.
- Additional drainage easements may be required at the time a drainage plan is submitted to the DISTRICT for approval.
- Plantings, flowerbeds or other landscaping is not permitted within side lot drainage or detention easements.
- No building permit shall be applied for until all drainage and detention facilities are constructed, inspected and approved by the DISTRICT.
- No permanent improvements including landscaping, paving, trees, sprinklers, utilities, playground equipment, park benches, tables, sport fields, piers, or sidewalks shall be constructed within the detention facility without the approval of the District.

LOT AREA SUMMARY

LOT SIZES	SECTION 1	TOTAL LOTS
60'x130'	-----	0 LOTS
70'x130'	43 LOTS	43 LOTS
90'x130'	7 LOTS	7 LOTS
TOTAL	50 LOTS	50 LOTS

BLOCK 1	
LOT	SQ. FT.
1	9,506
2	9,937
3	10,774
4	15,708
5	13,216
6	13,442
7	11,755

BLOCK 2	
LOT	SQ. FT.
1	9,450
2	9,450
3	9,450
4	9,450
5	9,450
6	9,450
7	9,450
8	9,450
9	9,378
10	14,811
11	12,598
12	9,592
13	9,371

BLOCK 3	
LOT	SQ. FT.
1	22,953
2	24,725
3	23,617
4	22,142
5	20,123
6	18,805
7	18,553

BLOCK 4	
LOT	SQ. FT.
1	15,081
2	11,902
3	10,114
4	9,438
5	10,160
6	10,816
7	12,114
8	11,443
9	14,696
10	18,788
11	19,889
12	16,771
13	12,209
14	11,539
15	11,740
16	9,897
17	9,100
18	9,100
19	9,100
20	9,100
21	9,012
22	8,837
23	11,615

A PARTIAL PRELIMINARY PLAT OF

AVALON AT FRIENDSWOOD SECTION ONE

A PRIVATE SUBDIVISION

BEING 68.101± ACRES OF LAND

CONTAINING 50 LOTS (70'/90' X 130' TYP.) AND EIGHTEEN RESERVES IN FIVE BLOCKS.

OUT of THE
MARY FABREAU SURVEY, A-69
CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS

ENGINEER/SURVEYOR:
LJA ENGINEERING
ATTN: EDDIE RUCKER
1904 W. GRAND PKWY. N, SUITE 100
KATY, TEXAS 77449

OWNER:
TAYLOR MORRISON OF TEXAS, INC.
ATTN: BOBBY SKINNER
2929 BRIARPARK DR. NORTH, SUITE 400
HOUSTON, TEXAS 77042

PLANNER:



24275 KATY FREEWAY, SUITE 200
KATY, TEXAS 77494
Tel: 281-810-1422

PAGE 2 OF 2
SCALE: 1" = 100'
0 50 100 200

MAY 14, 2020
MTA# 4711A

DISCLAIMER AND LIMITED WARRANTY
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A- PARKING IS REQUIRED IN ACCORDANCE WITH THE PARKING GROUP TABLE IN THE DESIGN CRITERIA MANUAL



FRIENDSWOOD PLANNING & ZONING COMMISSION

AGENDA ITEM FORM

Meeting Date: May 14, 2020

Subject: Consideration and possible action regarding the Preliminary Plat First Baptist Church No. 2, a Subdivision of 9.49 acres of land situated in the S. McKissick Survey, Abstract No. 151, being a replat of all of Lot 1 in Block 1 and all of Lot 1 in Block 2 of Final Plat of First Baptist Church of Friendswood, and being portions of the residue of Lot 1 and Lot 2 in Block 2 of Friendswood Subdivision, including an unrecorded portion of East Heritage Drive, as recorded in Volume 254, Page 37 of the Galveston County Deed Records, and transferred to Plat Record 7, Page 20 of the Galveston County Map Records, and Lot 1 of Harper Subdivision, an unrecorded subdivision all in Friendswood, Galveston County, Texas

Action: Significant

SUMMARY / ORIGINATING CAUSE

This plat will incorporate four properties owned by First Baptist Church into one lot. The plat will also amend the building setbacks on the properties zoned Downtown District to zero foot setbacks.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Approval of the preliminary plat will allow the church to move forward with the final plat and ultimately obtain building permits to start construction on their planned projects.

RECOMMENDATIONS

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department.

Outstanding Conditions/Reasons:

Section II. b. (2.) (a) 3. Total acreage and total number of lots, blocks, and reserves. Lots within each block shall be numbered consecutively. Blocks shall also be numbered consecutively.

Acreage discrepancy between title block and owner acknowledgement. Title report needs to remove Tract 5.

Section II. b. (2.) (a) 4. Name and address of owner. If owner is a company or corporation, name of the principal officer or owner of the entity responsible for the subdivision must be given.

Add representative's name.

Section II. b. (2.) (b.) A vicinity map, preferably in the upper right corner of the plat, to show relation of subdivision to well-known streets, political subdivisions and watercourses in all directions to a distance of at least one mile. The suggested scale of the vicinity map is one inch equals two thousand feet (1" = 2000') and shall be oriented in the same direction as the detailed subdivision drawing.

Correct the vicinity map scale.

Section III j. Building setback lines shall conform to the latest zoning ordinance.

Add regulation matrices for zoning districts SFR, MFR-L, and DD.

Section III k. (3.) Sidewalks. Sidewalks are required along all streets. Standard Plat Note #1:

“Sidewalks and ADA ramps are required along all curb and gutter streets per the approved sidewalk accessibility plan. The Developer must install sidewalks and ADA ramps along reserves and common areas prior to the City Council’s acceptance of the subdivision infrastructure. When sidewalks are required they shall be a width of not less than four feet and comply with Federal, State, and Local requirements.” If new 8-foot sidewalks are not wholly within right-of-way, public sidewalk easements will be needed. Coordinate with property owner and/or architect.

Additional comments: - Signature blocks for final plat only.

ATTACHMENTS

1. Compliance Memo_First Baptist Church No 2 Preliminary Plat
2. First Baptist Church No 2 Preliminary Plat

Memo

To: Planning and Zoning Commission

From: Becky Bennett, Development Coordinator

Date: May 11, 2020

Re: First Baptist Church No 2 Preliminary Plat

Project Description: This plat will incorporate four properties owned by First Baptist Church into one lot. The plat will also amend the building setbacks on the properties zoned Downtown District to zero foot setbacks.

The plans were reviewed by staff in the following departments: Planning, Public Works, Engineering, Fire Marshal, and Police Department.

Approval Options:

☐ Approval

Standards for approval. The Commission shall approve a plat if:

- (1) It conforms to the general plan of the City of Friendswood and the current and futures streets, alleys, parks, playgrounds, and public utility facilities;
- (2) It conforms to the general plans for extension of roads, streets, and public highways, taking into account access to and extension of sewer and water mains and the instrumentalities of public utilities; and
- (3) It conforms to the Subdivision Ordinance and Local Government Code Chapter 212.

☐ Conditional Approval with the following conditions*

☐ Disapproval due to the following reasons*

*Each condition or reason specified must be directly related to the requirements under the subdivision platting law and include a citation to the law, including a statute or municipal ordinance, that is the basis for the conditional approval or disapproval, if applicable, and conditions or reasons may not be arbitrary.

*Requires reconsideration by the Planning and Zoning Commission.

Outstanding Conditions/Reasons:

Section II. b. (2.) (a) 3. Total acreage and total number of lots, blocks, and reserves. Lots within each block shall be numbered consecutively. Blocks shall also be numbered consecutively.	Acreage discrepancy between title block and owner acknowledgement. Title report needs to remove Tract 5.
Section II. b. (2.) (a) 4. Name and address of owner. If owner is a company or corporation, name of the principal officer or owner of the entity responsible for the subdivision must be given.	Add representative's name.

Section II. b. (2.) (b.) A vicinity map, preferably in the upper right corner of the plat, to show relation of subdivision to well-known streets, political subdivisions and watercourses in all directions to a distance of at least one mile. The suggested scale of the vicinity map is one inch equals two thousand feet (1" = 2000') and shall be oriented in the same direction as the detailed subdivision drawing.	Correct the vicinity map scale.
Section III j. Building setback lines shall conform to the latest zoning ordinance.	Add regulation matrices for zoning districts SFR, MFR-L, and DD.
Section III k. (3.) Sidewalks. Sidewalks are required along all streets. Standard Plat Note #1: "Sidewalks and ADA ramps are required along all curb and gutter streets per the approved sidewalk accessibility plan. The Developer must install sidewalks and ADA ramps along reserves and common areas prior to the City Council's acceptance of the subdivision infrastructure. When sidewalks are required they shall be a width of not less than four feet and comply with Federal, State, and Local requirements."	If new 8-foot sidewalks are not wholly within right-of-way, public sidewalk easements will be needed. Coordinate with property owner and/or architect.
Additional comments:	- Signature blocks for final plat only.

Remaining Items:

STATE OF TEXAS
COUNTY OF GALVESTON

9-19
We, FIRST BAPTIST CHURCH OF FRIENDSWOOD acting by and through MOE MAYS being an officer of FIRST BAPTIST CHURCH OF FRIENDSWOOD, hereinafter referred to as Owners, whether one or more, of the 10.3035 acre tract described in the above and foregoing plat of FIRST BAPTIST CHURCH OF FRIENDSWOOD NO 2, do hereby make and establish said subdivision of said property according to all lines, dedications, restrictions and notations on said plat and hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind myself, my heirs, successors and assigns to warrant and forever defend the title to the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purposes forever an unobstructed aerial easement above the ground level upward, to all public easements shown hereon.

WITNESS my (or our) hand in the City of Friendswood, Texas, this ____ day of _____, 2020.

By: Moe Mays
Officer

ATTEST:

STATE OF TEXAS
COUNTY OF GALVESTON

BEFORE ME, the undersigned authority, on this day personally appeared MOE MAYS, officer of, FIRST BAPTIST CHURCH OF FRIENDSWOOD, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and considerations therein expressed (add for corporations, "and in the capacity therein and herein stated, and as the act and deed of said corporations").

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 2020.

APRIL REYNERO
Notary Public in and for the State of Texas
My Commission Expires: _____

CERTIFICATE FOR SURVEYOR

I, KEVIN K. KOLB, am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that all bearings, distances, and other associated boundary information on the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that all boundary corners, angle points, points of curvature and other points of reference have been marked with iron (or other suitable permanent metal) pipes or rods having an outside diameter of not less than three-quarter inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the nearest survey corner.

KEVIN K. KOLB
Texas Registration No. 5269

CERTIFICATE FOR CITY ENGINEER

I, Jildardo Arias, P.E., CFM, City Engineer and Director of Engineering of the City of Friendswood, Texas, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the City of Friendswood, Texas and further it complies with all of the ordinances as currently adopted by City Council.

By: Jildardo Arias, P.E., CFM, City Engineer/Director of Engineering

GALVESTON COUNTY

I, Dwight D. Sullivan, County Clerk, Galveston County, Texas, do hereby certify that the written instrument was filed for record in my office on _____, 2020, at _____ o'clock, _____ m, and duly recorded on _____, 2020, at _____ o'clock, _____ m, instrument # _____, Galveston County Records.

Witness my hand and seal of office, at Galveston, Texas, the day and date last above written.

Dwight D. Sullivan
County Clerk
Galveston County, Texas

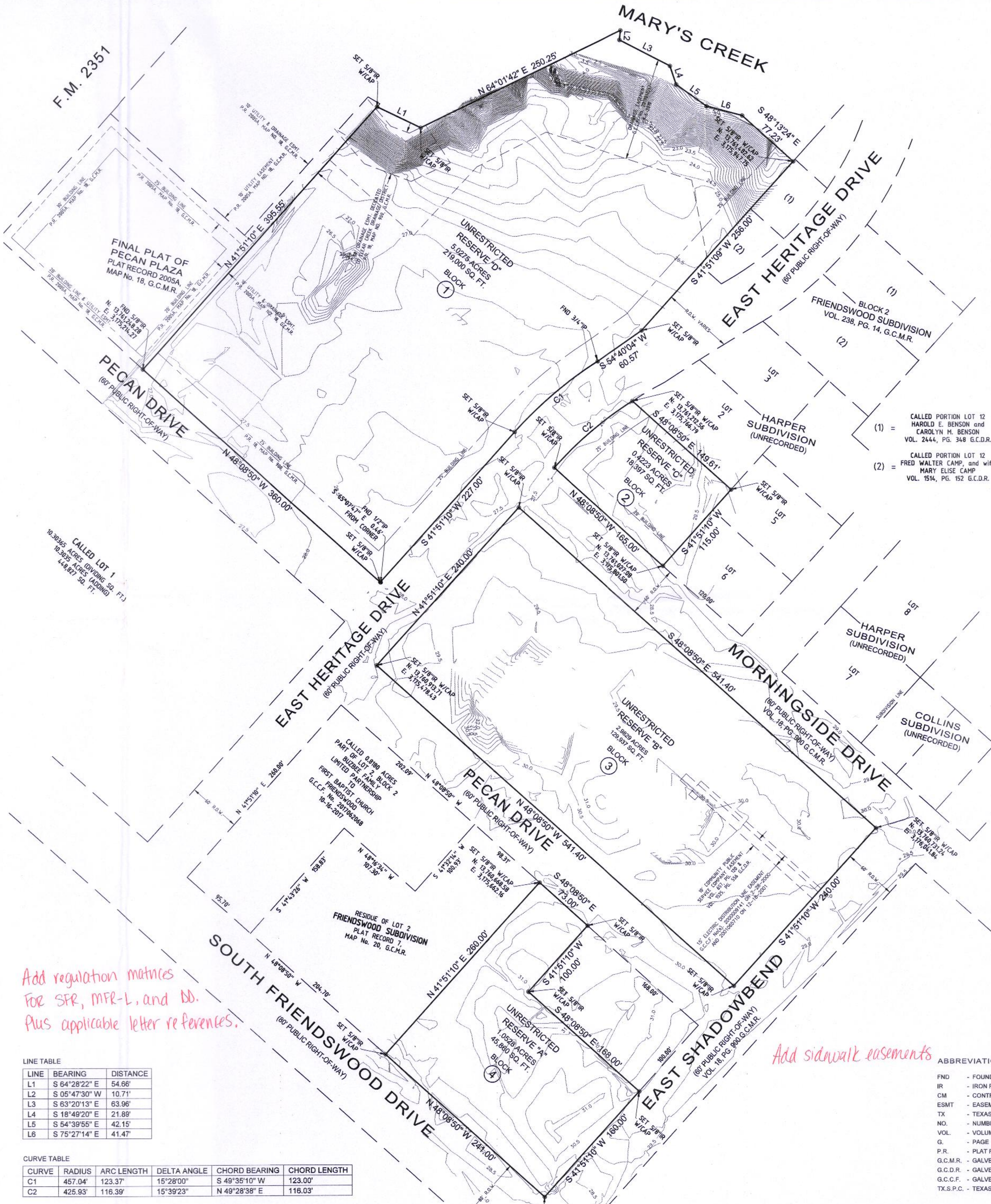
BY: DEPUTY

Add regulation matrices
for SFR, MFR-L, and MD.
Plus applicable letter references.

LINE	BEARING	DISTANCE
L1	S 64°28'22" E	54.66'
L2	S 05°47'30" W	10.71'
L3	S 63°20'13" E	63.96'
L4	S 18°49'20" E	21.89'
L5	S 54°39'55" E	42.15'
L6	S 75°27'14" E	41.47'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	457.04'	123.37'	15°28'00"	S 49°35'10" W	123.00'
C2	425.93'	116.39'	15°39'23"	N 49°28'38" E	116.03'

Remove signature blocks from
Preliminary Plat. Only used on
Final Plat.



PROJECT BENCHMARK

HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBER 010110

Brass disc stamped RM 010110 on bridge at FM 2351 and Clear Creek located on downstream, east sidewalk, at the NE corner of bridge, N. of stream centerline in the Clear Creek Watershed near stream A100-00-00.

Elevation: 26.66 feet NAVD 1988, 2001 adjusted.

F.E.M.A. FLOOD ZONE STATEMENT

I have examined the flood insurance rate map, community panel no. 48167C0012 G, dated August 15, 2019 and have determined that the tracts hereby surveyed lie partially within zone "X" or areas determined to be outside the 500-year floodplain, partially within zone "Shaded X" or areas determined to be inside the 500-year floodplain, partially within zone "AE" or areas determined to be inside the 100-year floodplain, and partially within zone "AE floodway".

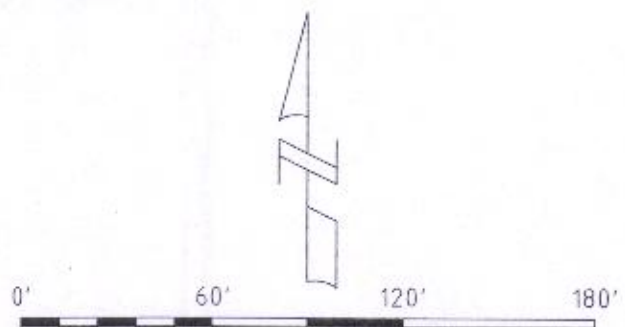
100-year base flood elevation: 26 feet (based on FIRM map)

Note: The information in this statement was obtained from the FEMA Flood Map Service Center. This map is for use in administering the national flood insurance program. It does not necessarily identify all areas subject to flooding under specific conditions.

CITY OF FRIENDSWOOD

STANDARD PLAT NOTES

- Sidewalks and ADA ramps are required along all curb and gutter streets per the approved sidewalk accessibility plan. The Developer must install sidewalks and ADA ramps along reserves and common areas prior to the City Council's acceptance of the subdivision infrastructure. When sidewalks are required they shall be a width of no less than four feet and comply with Federal, State, and Local requirements.
- No residential, commercial or industrial structure shall be permitted to be built nearer than 150 feet from any well or related facility, other than structures necessary to operate the well or facility.
- Except for low-pressure distribution system pipelines as defined in Chapter 26, of the Friendswood City Code, no residential, commercial or industrial structure shall be erected or moved to a location nearer than 50 feet to any pipeline, other than structures necessary to operate the pipeline.
- The City of Friendswood shall not be responsible for maintenance of private streets (driveways, sidewalks, and emergency access easements), waterlines, sanitary sewer lines, storm sewer facilities (detention ponds, drainage easements, outfalls and swales), recreational areas, reserves and other private facilities that are within private easements; the First Baptist Church of Friendswood shall be responsible for these items. The City of Friendswood shall be responsible for maintenance of public streets, sidewalks, street signs, waterlines, sanitary sewer lines, storm sewer facilities, drainage easements, outfalls and swales that are within the public right-of-way or within public and/or exclusive easements. The maintenance of street lights shall be the responsibility of Texas New Mexico Power.
- All utility companies have been contacted and the easements shown on the plat constitute all of the easements required by the utility companies for their operations.
- The finished floor elevations of all structures shall be located above the base flood elevation established by FEMA, and as prescribed in the Flood Damage Prevention Ordinance of the City of Friendswood, Texas.
- Any and all right of way islands located within the boundaries of this plat, even if not shown on the face of the plat, shall be maintained by the First Baptist Church of Friendswood.
- There are no existing pipelines or pipeline easements within the limits of this subdivision.



REASON FOR REPLAT: CONSOLIDATE PROPERTIES INTO ONE PLAT AND TO MODIFY BUILDING LINES ON RESERVES A, B & D

PRELIMINARY PLAT OF FIRST BAPTIST CHURCH OF FRIENDSWOOD NO 2

A SUBDIVISION OF 9.4855 ACRES OF LAND SITUATED IN THE S. MCKISSICK SURVEY, ABSTRACT NO. 151, GALVESTON COUNTY, TEXAS, BEING A REPLAT OF ALL OF LOT 1, IN BLOCK 1, AND ALL OF LOT 1, IN BLOCK 2, OF FINAL PLAT OF FIRST BAPTIST CHURCH OF FRIENDSWOOD, AND BEING PORTIONS OF THE RESIDUE OF LOT 1 AND LOT 2, IN BLOCK 2, OF FRIENDSWOOD SUBDIVISION, INCLUDING AN UNRECORDED PORTION OF EAST HERITAGE DRIVE, AS RECORDED IN VOLUME 254, PAGE 37 OF THE GALVESTON COUNTY DEED RECORDS, AND TRANSFERRED TO PLAT RECORD 7, PAGE 20 OF THE GALVESTON COUNTY MAP RECORDS, GALVESTON COUNTY, TEXAS, AND LOT 1 OF HARPER SUBDIVISION, AN UNRECORDED SUBDIVISION IN GALVESTON COUNTY, TEXAS.

SCALE: 1" = 60'
4 RESERVES

OWNER: 4 BLOCKS

FIRST BAPTIST CHURCH OF FRIENDSWOOD

111 E. HERITAGE DRIVE
FRIENDSWOOD, TEXAS 77546
281-482-7573

LAND SURVEYOR:

TSE
TOTAL SURVEYORS, INC.
4301 CENTER STREET, DEER PARK, TEXAS
PHONE: (281) 479-8719 | TOTALSURVEYORS.COM
T.S.P.C. FIRM REGISTRATION NO. 10073308

ABBREVIATION LEGEND:

FND - FOUND
IR - IRON ROD
CM - CONTROL MONUMENT
ESMT - EASEMENT
TX - TEXAS
NO. - NUMBER
VOL. - VOLUME
G. - PAGE
P.R. - PLAT RECORD
G.C.M.R. - GALVESTON COUNTY MAP RECORDS
G.C.D.R. - GALVESTON COUNTY DEED RECORDS
G.C.C.F. - GALVESTON COUNTY CLERKS FILE
TX.S.P.C. - TEXAS STATE PLANE COORDINATES

GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT

STANDARD PLAT NOTES

- Buildings, fences or other structures shall not be erected in GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT (the DISTRICT) right-of-ways or drainage easements.
- The detention and drainage facilities are to be maintained by the property owner. Use this note for private or single lot system only.
- The detention facility is to be maintained by the DISTRICT provided that the DISTRICT has approved the construction of the facility, the developer has paid the required fee, the site and access has been deemed to the DISTRICT in fee, and subject to approval by the Board.
- No building permit shall be issued for any lot within this subdivision until a detention and drainage plan has been approved by the DISTRICT.
- Additional drainage easements may be required at the time a drainage plan is submitted to the DISTRICT for approval.
- Plantings, flowerbeds or other landscaping is not permitted within side lot drainage or detention easements.
- No building permit shall be applied for until all drainage and detention facilities are constructed, inspected and approved by the DISTRICT.
- No permanent improvements including landscaping, paving, trees, sprinklers, utilities, playground equipment, park benches, tables, sport fields, piers, or sidewalks shall be constructed within the detention facility without the approval of the District.

Approved by the GALVESTON COUNTY CONSOLIDATED DRAINAGE DISTRICT

Director _____ Date _____

Director _____ Date _____

This is to certify that the above was signed based on the recommendation of the District's Engineer having reviewed all sheets provided and found them to be in general compliance with the District's "Drainage Criteria Manual". This approval is only valid for three hundred sixty-five (365) calendar days. Please note that this does not necessarily mean that the plat has been completely checked and verified. The plat as submitted, was prepared, signed, and sealed by a Professional Land Surveyor licensed to practice surveying in the State of Texas, which conveys responsibility and accountability to that Surveyor.

GCCDD Ref ID# 200007

METES AND BOUNDS DESCRIPTION
5.0275 ACRES (219,000 SQ. FT.)
S. MCKISSICK SURVEY, ABSTRACT NO. 151
CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS

BEING 5.0275 ACRES OR 219,000 SQUARE FEET OF LAND SITUATED IN THE S. MCKISSICK SURVEY, ABSTRACT NO. 151, GALVESTON COUNTY, TEXAS, BEING ALL OF THAT CERTAIN CALLED LOT 1, IN BLOCK 2, OF FINAL PLAT OF FRIENDSWOOD BAPTIST CHURCH, A SUBDIVISION ACCORDING TO THE MAP OR PLAT THEREOF RECORDED UNDER PLAT RECORD 18, MAP NO. 900 OF THE GALVESTON COUNTY MAP RECORDS, ALL OF THAT CERTAIN CALLED 0.8151 ACRE TRACT OF LAND, CONVEYED TO FIRST BAPTIST CHURCH OF FRIENDSWOOD, AND JOSEPH MITCHELL WRIGHT AND ARTHA T. WRIGHT, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 2007037162 ON JUNE 7, 2007, ALL OF THAT CERTAIN CALLED 0.9117 ACRE TRACT OF LAND, CONVEYED TO FIRST BAPTIST CHURCH OF FRIENDSWOOD, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 2007037164 ON JUNE 7, 2007, AND A PORTION OF EAST HERITAGE DRIVE, A CALLED 60-FOOT WIDE PUBLIC RIGHT-OF-WAY, SAID 5.0275 ACRES BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Ø ALL BEARINGS AND COORDINATES HEREIN WERE OBTAINED FROM GPS OBSERVATIONS AND ARE REFERENCED TO NAD83 HORIZONTAL PROJECTION ZONE TEXAS SOUTH CENTRAL ZONE 4204.

BEGINNING AT A 5/8-INCH IRON ROD WITH PLASTIC CAP SET FOR CORNER, FROM WHICH A 1/2-INCH IRON PIPE WAS FOUND AT A BEARING AND DISTANCE OF SOUTH 69° 07' 47" EAST - 0.46 FEET, SAID CORNER BEING THE SOUTHEAST BOUNDARY CORNER OF SAID LOT 1, SAME BEING THE INTERSECTION OF THE NORTHWEST RIGHT-OF-WAY LINE OF SAID EAST HERITAGE DRIVE, WITH THE NORTHEAST RIGHT-OF-WAY LINE OF PECAN DRIVE, A CALLED 60-FOOT WIDE PUBLIC RIGHT-OF-WAY;

THENCE NORTH 48° 08' 50" WEST, ALONG THE SOUTHWEST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE NORTHEAST RIGHT-OF-WAY LINE OF SAID PECAN DRIVE, FOR A DISTANCE OF 360.00 FEET, TO A 5/8-INCH IRON ROD FOUND FOR CORNER, SAID CORNER BEING THE SOUTHWEST BOUNDARY CORNER OF SAID LOT 1, SAME BEING THE SOUTHEAST BOUNDARY CORNER OF A CALLED 15-FOOT STRIP OF LAND, CONVEYED TO WILLIAM B. PATTON, SR. AND WIFE, MYRA A. PATTON, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 855051 ON DECEMBER 12, 1995, AND BEING A POINT IN THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN DRIVE;

THENCE NORTH 41° 51' 10" EAST, ALONG THE NORTHWEST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE SOUTHEAST BOUNDARY LINE OF SAID 15-FOOT STRIP, FOR A DISTANCE OF 395.55 FEET, TO A POINT FOR CORNER IN THE CENTERLINE OF MARY'S CREEK;

THENCE SOUTH 64° 28' 22" EAST, WITH THE CENTERLINE OF MARY'S CREEK, AND ALONG A NORTHERLY BOUNDARY LINE OF SAID LOT 1, FOR A DISTANCE OF 54.66 FEET, TO A POINT FOR CORNER, SAID CORNER BEING THE NORTHWEST BOUNDARY CORNER OF A CALLED 0.8151 ACRE TRACT OF LAND, CONVEYED TO FIRST BAPTIST CHURCH OF FRIENDSWOOD, AND JOSEPH MITCHELL WRIGHT AND ARTHA T. WRIGHT, BY DEED RECORDED GALVESTON COUNTY CLERK'S FILE NO. 2007037162 ON JUNE 7, 2007;

THENCE NORTH 64° 01' 42" EAST, WITH THE CENTERLINE OF MARY'S CREEK, AND ALONG THE NORTHWEST BOUNDARY LINE OF SAID 0.8151 ACRE TRACT, FOR A DISTANCE OF 250.25 FEET, TO A POINT FOR CORNER;

THENCE SOUTH 05° 47' 30" WEST, WITH THE CENTERLINE OF MARY'S CREEK, AND ALONG THE NORTHERLY BOUNDARY LINE OF SAID 0.8151 ACRE TRACT, FOR A DISTANCE OF 10.71 FEET, TO A POINT FOR CORNER, SAID CORNER BEING A POINT IN THE EASTERLY BOUNDARY LINE OF SAID 0.8151 ACRE TRACT, SAME BEING THE NORTHWEST BOUNDARY CORNER OF A CALLED 0.9177 ACRE TRACT OF LAND, CONVEYED TO FIRST BAPTIST CHURCH OF FRIENDSWOOD, BY DEED RECORDED GALVESTON COUNTY CLERK'S FILE NO. 2007037164 ON JUNE 7, 2007;

THENCE IN AN EASTERLY DIRECTION, AND WITH THE CENTERLINE OF MARY'S CREEK, AND ALONG THE NORTHERLY BOUNDARY LINES OF SAID 0.9177 ACRE TRACT, THE FOLLOWING BEARINGS AND DISTANCES:

SOUTH 63° 20' 13" EAST, FOR A DISTANCE OF 63.96 FEET;

SOUTH 18° 49' 20" EAST, FOR A DISTANCE OF 21.89 FEET;

SOUTH 54° 39' 55" EAST, FOR A DISTANCE OF 42.15 FEET;

SOUTH 75° 27' 14" EAST, FOR A DISTANCE OF 41.47 FEET;

SOUTH 48° 13' 24" EAST, FOR A DISTANCE OF 77.23 FEET, TO A 5/8-INCH IRON ROD WITH PLASTIC CAP SET FOR CORNER, SAID CORNER BEING LOCATED AT THE NORTHEAST BOUNDARY CORNER OF SAID 0.9177 ACRE TRACT;

THENCE SOUTH 41° 51' 09" WEST, ALONG THE SOUTHEAST BOUNDARY LINE OF SAID 0.9177 ACRE TRACT, SAME BEING, FOR A DISTANCE OF 256.00 FEET, TO A 5/8-INCH IRON ROD WITH PLASTIC CAP SET FOR CORNER, SAID CORNER BEING LOCATED AT THE SOUTHEAST BOUNDARY CORNER OF SAID 0.9177 ACRE TRACT, AND BEING THE INTERSECTION OF THE NORTHWEST RIGHT-OF-WAY LINE OF EAST HERITAGE DRIVE, A CALLED 60-FOOT WIDE PUBLIC RIGHT-OF-WAY, WITH THE NORTHEAST RIGHT-OF-WAY LINE OF SAID EAST HERITAGE DRIVE;

THENCE SOUTH 54° 40' 00" WEST, ACROSS THE RIGHT-OF-WAY OF SAID EAST HERITAGE DRIVE, FOR A DISTANCE OF 60.57 FEET, TO A 3/4-INCH IRON PIPE FOUND FOR CORNER, SAID CORNER BEING THE NORTHEAST BOUNDARY CORNER OF SAID LOT 1, SAME BEING THE INTERSECTION OF THE NORTHWEST RIGHT-OF-WAY LINE OF SAID EAST HERITAGE DRIVE, WITH THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID EAST HERITAGE DRIVE;

THENCE SOUTH 41° 51' 10" WEST, ALONG THE SOUTHEAST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE NORTHWEST RIGHT-OF-WAY LINE OF SAID EAST HERITAGE DRIVE, FOR A DISTANCE OF 227.00 FEET, TO THE POINT OF BEGINNING AND CONTAINING WITHIN THESE CALLS 219,000 SQUARE FEET OR 5.0275 ACRES OF LAND.

METES AND BOUNDS DESCRIPTION
0.4223 ACRES (18,397 SQ. FT.)
LOT 1, HARPER SUBDIVISION
S. MCKISSICK SURVEY, ABSTRACT NO. 151
CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS

BEING 0.4223 ACRES OR 18,397 SQUARE FEET OF LAND SITUATED IN THE S. MCKISSICK SURVEY, ABSTRACT NO. 151, GALVESTON COUNTY, TEXAS, BEING ALL OF THAT CERTAIN CALLED LOT 1, OF HARPER SUBDIVISION, AN UNRECORDED SUBDIVISION IN GALVESTON COUNTY, TEXAS, SAME BEING ALL OF THAT CERTAIN CALLED TRACT ONE (1), CONVEYED TO FIRST BAPTIST CHURCH OF FRIENDSWOOD, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 2011064225 ON DECEMBER 20, 2011, SAID 0.4223 ACRES BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Ø ALL BEARINGS AND COORDINATES HEREIN WERE OBTAINED FROM GPS OBSERVATIONS AND ARE REFERENCED TO NAD83 HORIZONTAL PROJECTION ZONE TEXAS SOUTH CENTRAL ZONE 4204.

BEGINNING AT A 5/8-INCH IRON ROD WITH PLASTIC CAP SET FOR CORNER, SAID CORNER BEING THE NORTHWEST BOUNDARY CORNER OF SAID LOT 1, SAME BEING THE NORTHWEST BOUNDARY CORNER OF SAID TRACT ONE (1), THE INTERSECTION OF THE NORTHEAST RIGHT-OF-WAY LINE OF MORNINGSIDE DRIVE, A CALLED 60-FOOT WIDE PUBLIC RIGHT-OF-WAY, WITH THE SOUTHEAST RIGHT-OF-WAY LINE OF EAST HERITAGE DRIVE, A CALLED 60-FOOT WIDE PUBLIC RIGHT-OF-WAY, AND BEING THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE WITH THE NORTHWEST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID EAST HERITAGE DRIVE, AND ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 425.53 FEET, A DELTA ANGLE OF 19° 39' 25", AND A CHORD BEARING AND DISTANCE OF NORTH 49° 28' 35" EAST - 116.03 FEET, FOR AN ARC DISTANCE OF 116.39 FEET, TO A 5/8-INCH IRON ROD WITH PLASTIC CAP SET FOR CORNER, SAID CORNER BEING THE NORTHEAST BOUNDARY CORNER OF SAID TRACT ONE (1), SAME BEING THE NORTHEAST BOUNDARY CORNER OF SAID LOT 1, AND THE NORTHWEST BOUNDARY CORNER OF THAT CERTAIN CALLED LOT 5, CONVEYED TO ROSIE RILEY, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 2005058843 ON OCTOBER 23, 2009;

THENCE SOUTH 48° 08' 50" EAST, ALONG THE NORTHEAST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE NORTHEAST BOUNDARY LINE OF SAID TRACT ONE (1), AND THE SOUTHWEST BOUNDARY LINE OF SAID LOT 2, FOR A DISTANCE OF 149.61 FEET, TO A 5/8-INCH IRON ROD WITH PLASTIC CAP SET FOR CORNER, SAID CORNER BEING THE SOUTHEAST BOUNDARY CORNER OF SAID TRACT ONE (1), SAME BEING THE SOUTHEAST BOUNDARY CORNER OF SAID LOT 1, THE SOUTHWEST BOUNDARY CORNER OF SAID LOT 2, AND A POINT IN THE NORTHWEST BOUNDARY LINE OF THAT CERTAIN CALLED LOT 5, CONVEYED TO ANDREW D. CHALK AND LISA M. CAMP, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 2005053026 ON AUGUST 4, 2005;

THENCE SOUTH 41° 51' 10" WEST, ALONG THE SOUTHEAST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE SOUTHEAST BOUNDARY LINE OF SAID TRACT ONE (1), AND THE NORTHWEST BOUNDARY LINE OF SAID LOT 5, PASSING THE NORTHWEST BOUNDARY CORNER OF SAID LOT 5, SAME BEING THE NORTHEAST BOUNDARY CORNER OF THAT CERTAIN CALLED LOT 6, CONVEYED TO SHANNON SIVCOSKI, A SINGLE WOMAN, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 2004081588 ON DECEMBER 10, 2004, AND CONTINUING FOR A TOTAL DISTANCE OF 115.00 FEET, TO A 5/8-INCH IRON ROD WITH PLASTIC CAP SET FOR CORNER, SAID CORNER BEING THE SOUTHWEST BOUNDARY CORNER OF SAID TRACT ONE (1), SAME BEING THE SOUTHWEST BOUNDARY CORNER OF SAID LOT 1, THE NORTHWEST BOUNDARY CORNER OF SAID LOT 6, AND BEING A POINT IN THE NORTHEAST RIGHT-OF-WAY LINE OF SAID MORNINGSIDE DRIVE;

THENCE NORTH 48° 08' 50" WEST, ALONG THE SOUTHWEST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE SOUTHWEST BOUNDARY LINE OF SAID TRACT ONE(1), AND THE NORTHEAST RIGHT-OF-WAY LINE OF SAID MORNINGSIDE DRIVE, FOR A DISTANCE OF 165.00 FEET, TO THE POINT OF BEGINNING AND CONTAINING WITHIN THESE CALLS 18,397 SQUARE FEET OR 0.4223 ACRES OF LAND.

METES AND BOUNDS DESCRIPTION
2.9829 ACRES (129,937 SQ. FT.)
S. MCKISSICK SURVEY, ABSTRACT NO. 151
CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS

BEING 2.9829 ACRES OR 129,937 SQUARE FEET OF LAND SITUATED IN THE S. MCKISSICK SURVEY, ABSTRACT NO. 151, GALVESTON COUNTY, TEXAS, BEING ALL OF THAT CERTAIN CALLED LOT 1, IN BLOCK 1, OF FINAL PLAT OF FRIENDSWOOD BAPTIST CHURCH, A SUBDIVISION ACCORDING TO THE MAP OR PLAT THEREOF RECORDED UNDER PLAT RECORD 18, MAP NO. 900 OF THE GALVESTON COUNTY MAP RECORD, GALVESTON COUNTY, TEXAS, SAID 2.9829 ACRES BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Ø ALL BEARINGS AND COORDINATES HEREIN WERE OBTAINED FROM GPS OBSERVATIONS AND ARE REFERENCED TO NAD83 HORIZONTAL PROJECTION ZONE TEXAS SOUTH CENTRAL ZONE 4204.

BEGINNING AT A 5/8-INCH IRON ROD WITH PLASTIC CAP SET FOR CORNER, SAID CORNER BEING THE SOUTHWEST BOUNDARY CORNER OF SAID LOT 1, SAME BEING THE INTERSECTION OF THE NORTHEAST RIGHT-OF-WAY LINE OF SAID PECAN DRIVE, WITH THE SOUTHEAST RIGHT-OF-WAY LINE OF EAST HERITAGE DRIVE, A CALLED 60-FOOT WIDE PUBLIC RIGHT-OF-WAY;

THENCE NORTH 41° 51' 10" EAST, ALONG THE NORTHWEST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID EAST HERITAGE DRIVE, FOR A DISTANCE OF 240.00 FEET, TO A 5/8-INCH IRON ROD SET FOR CORNER, SAID CORNER BEING THE NORTHWEST BOUNDARY CORNER OF SAID LOT 1, SAME BEING THE INTERSECTION OF THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID EAST HERITAGE DRIVE, WITH THE SOUTHWEST RIGHT-OF-WAY LINE OF MORNINGSIDE DRIVE, A CALLED 60-FOOT WIDE PUBLIC RIGHT-OF-WAY;

THENCE SOUTH 48° 08' 50" EAST, ALONG THE NORTHEAST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID MORNINGSIDE DRIVE, FOR A DISTANCE OF 541.40 FEET, TO A 5/8-INCH IRON ROD SET FOR CORNER, SAID CORNER BEING THE NORTHEAST BOUNDARY CORNER OF SAID LOT 1, SAME BEING THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID MORNINGSIDE DRIVE, WITH THE NORTHWEST RIGHT-OF-WAY LINE OF SAID SHADOWBEND DRIVE, A CALLED 60-FOOT WIDE PUBLIC RIGHT-OF-WAY;

THENCE SOUTH 41° 51' 10" WEST, ALONG THE SOUTHEAST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE NORTHWEST RIGHT-OF-WAY LINE OF SAID SHADOWBEND DRIVE, FOR A DISTANCE OF 240.00 FEET, TO A 5/8-INCH IRON ROD SET FOR CORNER, SAID CORNER BEING THE SOUTHEAST BOUNDARY CORNER OF SAID LOT 1, SAME BEING THE INTERSECTION OF THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID SHADOWBEND DRIVE, WITH THE NORTHWEST RIGHT-OF-WAY LINE OF SAID PECAN DRIVE;

THENCE NORTH 48° 08' 50" WEST, ALONG THE SOUTHWEST BOUNDARY LINE OF SAID LOT 1, SAME BEING THE NORTHEAST RIGHT-OF-WAY LINE OF SAID PECAN DRIVE, FOR A DISTANCE OF 541.40 FEET, TO THE POINT OF BEGINNING AND CONTAINING WITHIN THESE CALLS 129,937 SQUARE FEET OR 2.9829 ACRES OF LAND.

METES AND BOUNDS DESCRIPTION
1.0528 ACRES (45,860 SQ. FT.)
S. MCKISSICK SURVEY, ABSTRACT NO. 151
CITY OF FRIENDSWOOD, GALVESTON COUNTY, TEXAS

BEING 1.0528 ACRES OR 45,860 SQUARE FEET OF LAND, SITUATED WITHIN THE S. MCKISSICK SURVEY, ABSTRACT NO. 151, GALVESTON COUNTY, TEXAS, AND BEING PORTION OF LOT 2, BLOCK 2, OF FRIENDSWOOD SUBDIVISION RECORDED IN PLAT RECORD 7, MAP NO. 20 OF THE GALVESTON COUNTY MAP RECORDS, SAME BEING ALL OF THAT CERTAIN CALLED 1.0528 ACRES OF LAND CONVEYED TO FIRST BAPTIST CHURCH OF FRIENDSWOOD, RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 2017015386 ON MARCH 10, 2017, SAID 1.0528 ACRE TRACT BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Ø ALL BEARINGS AND COORDINATES HEREIN WERE OBTAINED FROM GPS OBSERVATIONS AND ARE REFERENCED TO NAD83 HORIZONTAL PROJECTION ZONE TEXAS SOUTH CENTRAL ZONE 4204.

COMMENCING AT A 1-INCH IRON PIPE FOUND AT THE INTERSECTION OF THE NORTHEAST RIGHT-OF-WAY LINE OF PECAN DRIVE, A CALLED 60 FOOT WIDE PUBLIC RIGHT-OF-WAY, WITH THE NORTHWEST RIGHT-OF-WAY LINE OF EAST SHADOWBEND AVENUE, A CALLED 60 FOOT WIDE PUBLIC RIGHT-OF-WAY, SAME BEING THE SOUTHEAST CORNER OF THE FINAL PLAT OF FIRST BAPTIST CHURCH OF FRIENDSWOOD, A SUBDIVISION ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT RECORD 18, MAP NO. 900 OF THE GALVESTON COUNTY MAP RECORDS;

THENCE, SOUTH 41° 51' 10" WEST, ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID EAST SHADOWBEND AVENUE, PASSING THE NORTHEAST RIGHT-OF-WAY LINE OF SAID PECAN DRIVE, AT A DISTANCE OF 60.00 FEET, AND CONTINUING FOR A TOTAL DISTANCE OF 160.00 FEET TO A CHISELED "X" IN CONCRETE FOUND FOR CORNER, SAID "X" BEING THE SOUTHEAST BOUNDARY CORNER OF A CALLED 0.385 ACRE TRACT, CONVEYED TO JOSEPH & MARK PRIHODA, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 80-02724, AND BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT;

THENCE, SOUTH 41° 51' 10" WEST, CONTINUING ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF SAID EAST SHADOWBEND AVENUE, SAME BEING THE SOUTHEAST BOUNDARY LINE OF SAID 1.0528 ACRE TRACT, FOR A DISTANCE OF 160.00 FEET TO A CHISELED "X" IN CONCRETE FOUND FOR CORNER, SAID CORNER BEING THE SOUTHEAST BOUNDARY CORNER OF SAID 1.0528 ACRE TRACT, SAME BEING THE INTERSECTION OF THE NORTHEAST RIGHT-OF-WAY LINE OF SOUTH FRIENDSWOOD DRIVE, A CALLED 80 FOOT WIDE PUBLIC RIGHT-OF-WAY, WITH THE NORTHWEST RIGHT-OF-WAY LINE OF SAID EAST SHADOWBEND AVENUE;

THENCE, NORTH 48° 08' 50" WEST, ALONG THE SOUTHWEST BOUNDARY LINE OF SAID 1.0528 ACRE TRACT, SAME BEING THE NORTHEAST RIGHT-OF-WAY LINE OF SAID SOUTH FRIENDSWOOD DRIVE, A DISTANCE OF 241.00 FEET, TO A 5/8-INCH IRON ROD WITH PLASTIC CAP FOUND FOR CORNER, SAID CORNER BEING THE SOUTHEAST BOUNDARY CORNER OF A CALLED 0.589 ACRE TRACT OF LAND, CONVEYED TO LOCKWOOD NATIONAL BANK, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 2015072418;

THENCE, NORTH 41° 51' 10" EAST, ALONG THE EASTERLY LINE OF SAID CALLED 0.589 ACRE TRACT, AND A CALLED 0.381 ACRE TRACT, CONVEYED TO LOCKWOOD NATIONAL BANK, BY DEED RECORDED UNDER GALVESTON COUNTY CLERK'S FILE NO. 83-00287, FOR A DISTANCE OF 260.00 FEET TO A 5/8-INCH IRON ROD WITH PLASTIC CAP FOUND FOR CORNER, SAID CORNER BEING THE NORTHEAST BOUNDARY CORNER OF SAID 0.589 ACRE TRACT, SAME BEING THE NORTHWEST BOUNDARY CORNER OF SAID 1.0528 ACRE TRACT;

THENCE, SOUTH 48° 08' 50" EAST, ALONG THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID PECAN DRIVE, FOR A DISTANCE OF 73.00 FEET, TO A 5/8-INCH IRON ROD WITH PLASTIC CAP, FOUND IN THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID PECAN DRIVE, SAID CORNER BEING THE NORTHWEST BOUNDARY CORNER OF SAID 0.385 ACRE TRACT;

THENCE, SOUTH 41° 51' 10" WEST, ALONG THE NORTHWEST BOUNDARY LINE OF SAID 0.385 ACRE TRACT, FOR A DISTANCE OF 100.00 FEET, TO A 5/8-INCH IRON ROD WITH PLASTIC CAP FOUND FOR CORNER;

THENCE, SOUTH 48° 08' 50" EAST, ALONG THE SOUTHWEST BOUNDARY LINE OF SAID 0.385 ACRE TRACT, FOR A DISTANCE OF 168.00 FEET, TO THE POINT OF BEGINNING AND CONTAINING WITHIN THESE CALLS 45,860 SQUARE FEET OR 1.0528 ACRES OF LAND.

REASON FOR REPLAT: CONSOLIDATE PROPERTIES INTO ONE PLAT AND TO MODIFY BUILDING LINES ON RESERVES A, B & D

PRELIMINARY PLAT OF
FIRST BAPTIST CHURCH OF
FRIENDSWOOD NO 2

A SUBDIVISION OF 9.4855 ACRES OF LAND SITUATED IN THE S. MCKISSICK SURVEY, ABSTRACT NO. 151, GALVESTON COUNTY, TEXAS, BEING A REPLAT OF ALL OF LOT 1, IN BLOCK 1, AND ALL OF LOT 1, IN BLOCK 2, OF FINAL PLAT OF FIRST BAPTIST CHURCH OF FRIENDSWOOD, AND BEING PORTIONS OF THE RESIDUE OF LOT 1 AND LOT 2, IN BLOCK 2, OF FRIENDSWOOD SUBDIVISION, INCLUDING AN UNRECORDED PORTION OF EAST HERITAGE DRIVE, AS RECORDED IN VOLUME 254, PAGE 37 OF THE GALVESTON COUNTY DEED RECORDS, AND TRANSFERRED TO PLAT RECORD 7, PAGE 20 OF THE GALVESTON COUNTY MAP RECORDS, GALVESTON COUNTY, TEXAS, AND LOT 1 OF HARPER SUBDIVISION, AN UNRECORDED SUBDIVISION IN GALVESTON COUNTY, TEXAS.

SCALE: 1" = 60'
4 RESERVES

DATE: MAY, 2020
4 BLOCKS

FIRST BAPTIST CHURCH OF FRIENDSWOOD

111 E. HERITAGE DRIVE
FRIENDSWOOD, TEXAS 77546
281-482-7573

LAND SURVEYOR:



4301 CENTER STREET, DEAR PARK, TEXAS
PHONE: 281.479.8719 | TOTALSURVEYORS.COM
T.S.P.L.S. FIRM REGISTRATION No. 10079306



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2020

Subject: Consideration and possible action regarding a recommendation to City Council regarding amendments to the Planning and Zoning Rules of Procedure (2019-15) to remove the 90 day limit on denied agenda items

Action: Significant

SUMMARY / ORIGINATING CAUSE

This item is a recommendation to City Council to amend the Rules of Procedure for the Planning and Zoning Commission in order for our local rules to be consistent with state law. The recent changes to Local Government Code Chapter 212 affect the Commission's approval procedures. Currently, P&Z rules state that a denied motion cannot be brought back to the Commission within 90 days. HB 3167 established approval procedures for the Commission. A plat or plan can be approved, approved with conditions or disapproved with reasons. If approved with conditions or disapproved with reasons, the applicant has the opportunity to address conditions/reasons and bring the item back to the Commission for re-consideration. A timeline cannot be placed upon the applicant. Once resubmitted, the item must be on a P&Z agenda within 15 days.

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

Amending the P&Z Rules of Procedure keeps our local rules consistent with state law. Staff is also working on amendments to the Subdivision Ordinance as well to be consistent with the changes included in HB 3167.

RECOMMENDATIONS

The proposed amendment is to add an exception and reference the new state law, rather than removing that rule completely. The new state law only applies to plats (Ch. 212), and not site plans since they are regulated by Ch. 211. City staff and the Commission typically work with applicants to achieve a solution rather than just letting them reapply to the Commission until they get a different answer. There could potentially be a situation where this rule might work in favor of the Commission; therefore, it is staff's recommendation to leave the rule and add the exception.

Proposed amendment:

Rule 11. Reconsideration of a Subject.

When a motion or other measure of any sort has been placed before the Commission and defeated, the same identical question shall not again be considered by the Commission until ninety (90) days have elapsed from the date of the denial, unless the item is a plat or plan being submitted to the Commission in accordance with the approval procedures outlined in Chapter 212 of the Local Government Code.

ATTACHMENTS

1. R2020-XX PZ Rules of Procedure Proposed Amendments

RESOLUTION NO. R2020-XX

**A RESOLUTION ADOPTING RULES OF PROCEDURE FOR
THE PLANNING AND ZONING COMMISSION OF THE CITY
OF FRIENDSWOOD, TEXAS, PURSUANT TO AUTHORITY
CONTAINED IN SECTION 2-3 OF THE CODE OF THE CITY
OF FRIENDSWOOD, TEXAS; AND REPEALING
RESOLUTION NO. R2019-15.**

* * * * *

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FRIENDSWOOD,
TEXAS:**

Section 1. The following rules of procedure shall govern all meetings and proceedings of the Planning and Zoning Commission (“Commission”) of the City of Friendswood, Texas, and the conduct of its members and persons in attendance at such meetings:

Rule 1. Meetings - Regular and Special.

(A) The Commission shall meet in the Council Chambers of the City Hall on the second and fourth Thursday of each month, commencing at 7:00 o’clock p.m., provided one or more complete applications have been submitted requiring their consideration. In the event Thursday falls on a holiday, the meeting for that day shall be rescheduled as determined by the Commission. Any meeting of the Commission may be recessed from hour to hour for a period of time not to exceed 24 hours, by a majority vote of the members present at such meeting, and such recessed meeting shall be held without further notice.

(B) Special meetings of the Commission shall be held by the call of the Chairman or of four (4) or more members. Such meetings may be held at City Hall or at another location within the City designated by the Commission.

(C) Four (4) members shall constitute a quorum for the transaction of business.

(D) The Commission may retire into Executive Session as authorized by the Open Meetings Act (Texas Government Code Chapter 551). These Rules of Procedure shall apply to the conduct of commissioners in an Executive Session, provided they do not conflict with the provisions of the Open Meetings Act.

Rule 2. Chairman Call to Order.

The Chairman, or in his absence the Vice Chairman, shall preside at all meetings of the Commission. In the absence of the Chairman and Vice Chairman, any member elected by a majority of the Commission at such meeting may preside unless another member has been designated by the Chairman. The Chairman or acting Chairman, shall assume the chair, call the Commission to order, and the Secretary shall record the roll.

Rule 3. Handling of Agenda Subjects.

The Commission shall be the sole judge of its own procedure and shall be in full control of the business before it. Neither the Chairman, the Vice Chairman, nor any member appointed to preside shall have any power to either recess a meeting or adjourn a meeting, or prevent the Commission from considering an agenda item, or lay the same out for consideration, except in accordance with Texas Open Meetings Act, the City Charter and as otherwise provided herein. If, notwithstanding the positive provisions of the Rule, the presiding officer, whether Chairman, Vice Chairman, or member presiding, shall attempt to prevent the Commission from taking any action on any agenda item brought before it, any member present may call for a vote of the Commission to consider the matter.

Rule 4. Conduct of Chairman and Members.

Any member of the Commission, including the Chairman, who shall fail to observe decorous and orderly behavior during a meeting of the Commission shall be subject to expulsion from such meeting upon motion passed by two-thirds vote of the Commission present at the meeting. Any member reprimanded by motion or expelled from a meeting by motion who thereafter commits another breach of decorous and orderly behavior during a subsequent meeting shall be subject to the same power of Commission to reprimand him/her, expel him/her from the meeting, or subject such member to complaint, investigation, and conviction of official misconduct.

Rule 5. Non-interruption

Members of the Commission shall be permitted to address the Chair while either seated or standing, and after recognition shall not be interrupted while speaking without his consent.

Rule 6. Handling of Question of Order.

All questions of order shall be decided by the presiding officer with right of appeal of his/her decision to the Commission members, and a majority of the Commissioners present may overrule the decision of the Chair. When the Chair

rules on a point of order and one of the members states "I appeal the ruling of the Chair", or words to such effect, no other business shall be transacted until the question, "Shall the ruling of the Chair be sustained?" be voted on. The Chairman shall immediately put such question to vote without debate, and, if he/she fails to do so immediately, any member of the Commission may put the question to a vote.

Rule 7. Procedure for Submitting Agenda Items.

Any person requesting the placement of an action item on any Commission Meeting agenda must notify the Planning and Zoning Secretary of same at least eight (8) working days prior to the meeting. All backup information such as plats, site plans, etc., must be submitted at that time. Agenda items which do not require action at a Commission Meeting may be submitted up to seventy-two (72) hours in advance of the meeting. The Commission may adopt a policy regulating the number of items on an agenda.

Rule 8. Motion to Table.

Since the Commission has regularly scheduled meetings, a motion to table, when carried, does not permanently defeat a measure. If a motion or other measure is tabled by a majority vote of the Commission, such motion, or other measure, if not sooner removed from the table, must be removed at the third meeting, and acted upon, even if only to place the item on the table again.

Rule 9. Procedure to Debate.

Upon any measure being laid out, or any motion being made, any member present, before there is any debate opened on the subject, may make a parliamentary objection to the consideration of the subject which need not be seconded. No debate shall then be permitted, and the Chairman shall immediately put the question, "Shall the objection be sustained?" If the objection is sustained by a vote of two-thirds of the members present, the motion or other measure is permanently defeated for that meeting and shall not be debated (except in accordance with Rule 11).

Rule 10. Closing of Debate.

If, during debate upon any motion or other matter before the Commission, any member moves that the subject under discussion be put to a vote without further debate (and such a motion need not be seconded), the Chairman shall immediately ask the Commission, "Is there any objection to proceeding to vote on the motion or other measure before the Commission being taken immediately?" If any member objects, the Chairman shall immediately and without debate put the question, "Shall the subject being discussed be put to a vote without debate?" To a vote of the Commission, and if two-thirds of the members present vote in

favor of ordering the vote, debate on the question shall be closed and a vote on the motion or other measure shall be taken immediately.

Rule 11. Reconsideration of a Subject.

When a motion or other measure of any sort has been placed before the Commission and defeated, the same identical question shall not again be considered by the Commission until ninety (90) days have elapsed from the date of the denial, unless the item is a plat or plan being submitted to the Commission in accordance with the approval procedures outlined in Chapter 212 of the Local Government Code.

Rule 12. Reducing Motion to Writing.

All oral motions must be seconded before being put to a vote by the Chair (except where otherwise provided in these Rules), and upon request of any member or Chairman, the party making any such oral motion (except a motion to order a vote on a subject being considered per Rule 10 or table, or other such procedural matter) shall reduce the same to writing, or request the Secretary to do the same. If a motion be made by any member of the Commission in writing and filed with the presiding office, it shall still require a second.

Rule 13. Secretarial Procedure.

A member of the City Staff shall be assigned the duties of the secretary for the Commission and shall act as reading and recording clerk to the Commission. By his or her signature, the Secretary shall certify the correctness of the minutes and journals, shall record all actions taken by the Commission, shall record the vote upon each measure when taken by the ayes and nays, and shall perform such other duties as may be required. The secretary shall mark the absence of any member of the Commission. The secretary shall test and attest to the satisfactory operation of the tape recorder, and maintain proper functioning and tape changes as needed throughout the meeting. In the absence of the Secretary, any suitable person may be appointed by the Secretary or Chairman to serve as acting Secretary of any meeting. The Secretary shall ensure that a tape recording of any executive session shall be made and shall secure such following each meeting.

The Secretary shall keep a copy of these Rules and any other required documents available for reference.

Rule 14. Voting.

All action required of the Commission shall be made by an affirmative vote of four (4) or more members of the Commission present at such Commission meetings. Excluding conflicts of interest as provided by state law or by City charter, all members present at each meeting must vote on each subject presented

for Commission vote. All votes must be taken in accordance with section 3.10, article III of the City charter.

Rule 15. Citizen's Right to be Heard.

Any citizen shall have a reasonable opportunity to be heard at any and all regular and special meetings of the Commission in regard to any and all matters to be considered at any such meeting, or such other matters as citizens may wish to bring to the commission's attention, provided, however, that any matter not posted on the agenda may not be discussed by commissioners nor shall any action be taken except to indicate that the matter may be placed on a later agenda. A time shall be set aside during each commission meeting for the commission to hear from the public, such designated time not to exceed five (5) minutes per person. The Chairman shall retain the discretion to further limit or increase this time for public comments on agenda items. Citizens attending any regularly scheduled meeting may speak before the Commission by completing a form and presenting it to the Secretary prior to the beginning of such meeting.

No member of the public shall be heard until recognized by the presiding officer. Any member of the public interrupting commission proceedings, or failing to abide by these rules of procedure in addressing commission, shall be deemed guilty of disorderly conduct and, at the direction of the presiding officer, shall be removed from council chambers by the sergeant-at-arms or other agent designated by the Commission. Any citizen shall be entitled to visit city hall, during regular business hours, and inspect all past commission meeting minutes, and the agenda relating to those items to be considered by the commission in advance of the meeting and inform himself or herself as to the matters to be considered.

Rule 16. Order of Business - Regular Meetings.

Unless agreed to otherwise by majority vote of Commission, the normal order of business before the Commission in any regular meeting shall be as follows:

- (1) Call to order
- (2) The Secretary shall mark the absence of the Chairman or any other member of the Commission.

- (3) The Commission shall receive petitions and hear any of the public as provided in Rule 15, and any appeal or other matter specially set for public hearing shall then be heard by the Commission.
- (4) Consent agenda
 - A. Minutes
 - B. Final plats
- (5) Tabled items shall then be considered.
- (6) Items for discussion and action shall then be considered.
- (7) Staff Reports and reports from Commissioners and council liaison.
- (8) Adjournment.

Rule 17. Order of Business for Special Meetings.

Unless agreed to otherwise by majority vote of Commission, the normal order of business before the Commission in any special meeting shall be as follows:

- (1) Call to order.
- (2) The Secretary shall mark the absence of the Chairman or any other member of the Commission.
- (3) The Chairman shall state the purpose(s) of the meeting.
- (4) No business shall be discussed or acted upon at such meeting unless the subject has been duly posted in accordance with the Texas open meetings act.
- (5) Adjourn meeting.

Rule 18. Suspension of Rules of Procedure.

Any one or all of these rules of procedure may be suspended in order to allow a particular consideration of a matter, provided that it does not violate state law, or the City's Home Rule Charter, and provided not less than two-thirds of the members present vote in favor of such suspension. Where any rule embodies a provision of state law, identically or in substance, such rule may not be suspended. The requirement of two-thirds of members present to suspend a rule shall not apply to Rules 16 and 17, but the order of business may be suspended by a majority vote.

Rule 19. Rules of Procedure.

Except where in conflict with state law, the City's Home Rule Charter, city ordinance, or the rules of procedure adopted by this Resolution, the rules of procedure laid down in Robert's Rules of Order, 75th Anniversary Edition, shall govern the proceedings of the Commission.

Section 2. Rules regarding official instruments of the Commission.

The Commission shall utilize five (5) instruments to formally report its work as follows:

Instrument 1. Official Notice.

- (A) Provisions for advance general announcement of Commission meetings.
- (B) Provisions for special notice of abutting and adjacent parties having interest in an application before the Commission.

Instrument 2. Agenda

The agenda of the Commission shall have coherent and consistent structure, with similar items grouped together and relevant staff reports clearly referenced or attached.

Instrument 3. Staff Report.

A staff report shall be prepared regarding each item requiring action on the agenda and shall become a part of the official record of Commission proceedings. The staff report shall consist of the following:

- (A) Description of the proposal;
- (B) Notation of compliance with existing adopted city ordinances and plans;
- (C) Anticipated impact of the proposal upon existing city streets, services and facilities;
- (D) Recommendations to bring the proposal into compliance with adopted ordinances and plans, if required.

Instrument 4. Minutes.

The structure of the minutes shall follow the order of the agenda, or the_order of the items as considered. The content of minutes shall

recognize all information presented to the Commission whether by staff, other public agencies or commissions, community groups, or interested parties. The minutes shall provide formal record of the Commission's actions, including the name of the mover and seconder by motions, the specific construction of motions, and the voting record. This record must be provided for all motions, whether passed or defeated. The minutes of each meeting shall be prepared, made publicly available, and adopted by the Commission at a subsequent meeting; at the subsequent meeting, revisions of the minutes may be made by vote.

Instrument 5. Resolutions.

A resolution may take the form of an official recommendation, coupled with a recitation of reasons, to a legislative or administrative unit; or it may be a definitive action of approval or disapproval over which the Commission holds jurisdiction. Commission resolutions shall contain a clear and specific recitation of reasons for the decision reported. These reasons are necessary to support a recommendation to the Commission. They are required when the Commission rejects or amends the recommendation contained with the staff report. Here, the findings and recommendation of the staff should be clearly separated from the findings and recommendations of the Commission.

Section 3. The City of Friendswood, Galveston/Harris Counties, Texas, Resolution

No. R2010-09 is hereby repealed.

ADOPTED by the Planning and Zoning Commission of the City of Friendswood on this the ____ day of _____, 2020.

Joe Matranga, Chairman
Planning & Zoning Commission

ATTEST:

Aubrey Harbin, Director of Community Development/Planner
Planning & Zoning Commission

* * * * *

PASSED, APPROVED, AND RESOLVED by City Council this the 1st day of June, 2020.

Mike Foreman
Mayor

ATTEST:

Melinda Welsh, TRMC
City Secretary



FRIENDSWOOD PLANNING & ZONING COMMISSION AGENDA ITEM FORM

Meeting Date: May 14, 2020

Subject: From Staff - March/April DRC Report, commercial and residential project updates, City Council action and ordinance updates

Action: Choose an Option

SUMMARY / ORIGINATING CAUSE

IMMINENT CONSEQUENCES / BENEFIT TO COMMUNITY

RECOMMENDATIONS

ATTACHMENTS

1. April 2020 DRC Report

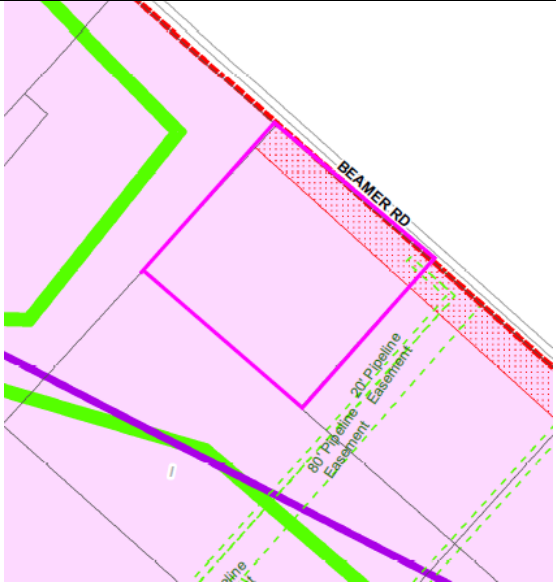
Memo

To: Planning & Zoning Commission
 From: Aubrey Harbin, Director of Community Development/Planner
 Date: May 4, 2020
 Re: DRC Report

The following DRC Meetings were held in March/April 2020.

Project	Current Zoning	Zone Change Required? Y/N	Issues discussed	Location
Friendswood Link Rd. – 3.2 acres 36 town homes (March)	MFR-GHD	Not required for town homes at 6 units per acre The request for 12 units per acres would require a zone change to MFR-H.	Rezoning not required, however applicant inquired about changing the zoning to Multi-Family Residential – High Density to allow the density for 36 town homes (12 units per acre). The Future Land Use Map shows the property development as high density residential. Some decision makers have expressed a desire for more diverse housing. Other townhome developments have been successful. Increased density is going to be the biggest challenge, but this being a small tract may help. Platting required; site plan approval required; screening adjacent to SFR required; water and sewer services are available; from Engineering – traffic control during construction will be key due to this being an interlocal thoroughfare used by schools, daycares and businesses; on-site detention required; AE Flood Zone – mitigation required; fire hydrant required within 300 feet	

203 and 205 W Shadowbend 2 new single family homes – tear downs/rebuilds Owner is requesting to reconfigure lots – both lots are currently 120feet wide – request is to make one lot 150 and the other 90. (March)	SFR	No	Plat required; water and sewer are available and existing for both lots; eligible to purchase regional detention; no hazardous flood zones; current building codes apply; sidewalk not required due to recent exceptions added	
302 Whispering Pines Ave. Request to subdivide into 2 lots – one lot having existing access from Friendswood Link Rd.; the other having access from Quaker Bend	SFR	No	Cul-de-Sac required to extend Quaker Bend; to install gate, the cul-de-sac would be platted as a private road; construction plans for infrastructure required; installation of road and any public utilities required before plat recordaion; water and sewer lines crossing the interior property line to be placed in dedicated easements; water line to be replaced and looped; sanitary sewer is available; the house with frontage on Whispering Pines may use existing taps if they are in good condition; eligible for regional detention; hazardous flood zones exist, but there is buildable area outside the flood zones; fire hydrants required with 500 feet; Knox key switch recommended for gate; current building codes apply	e 

0 Beamer Rd 5 acres of a 10 acre tract to construct 20,000 square foot indoor volleyball facility/gymnasium	I	No	Plat required; site plan approval required; 10ft landscape buffer required along Beamer Rd; water and sewer are not available – options include extending the nearest water line (approx 3,000 feet away), water well (cannot adversely impact City's available permitted credit thru the Harris Galveston Subsidence District), an septic system for sewer; on-site detention required; located in AE Flood zone; fire sprinkler and fire alarm systems required; current building and fire codes apply	
Meadow Lark Subdivide into 2 residential lots Property is located on Friendswood/Galveston County and Pearland/Brazoria County border	SFR	No	Proposed lot configuration does not meet City of Friendswood lot frontage requirements (min. 120feet per lot for open ditch streets); platting would be required with City of Friendswood, City of Pearland, Galveston County Consolidated Drainage District and Brazoria County Drainage District #4; owner can apply to extend City of Friendswood water service down Meadow Lark if City of Pearland provides a no objection letter stating that they cannot provide services; outside city rates, etc. would apply; on-site detention would most likely be required since the frontage of the property is located in Brazoria County, unless other options are available from BCDD#4.	